

TOWN OF WINCHENDON



NOTICE OF MEETING & PUBLIC HEARINGS

Pursuant to the provisions of Chapter 39, Section 23B of the General Laws, as amended, notice is hereby given that a meeting of the following board, committee, or commission will be held on the date and time specified below. Said meeting will be open to the public and press. Note that votes may be taken on any of the agenda items.

BOARD/COMMITTEE: Conservation Commission

DATE: Thursday, February 11, 2021 **TIME:** 6:00 p.m.

LOCATION: Conducted by Remote Participation

ALL MEETING NOTICES MUST BE FILED AND TIME STAMPED IN THE TOWN CLERK'S OFFICE AND POSTED ON THE MUNICIPAL BULLETIN BOARD 48 HOURS PRIOR TO THE MEETING. (in accordance with Chapter 303 Acts of 1975). THE MEETING ROOM IS HANDICAPPED ACCESSIBLE. WITH ADVANCE NOTICE THE CONSERVATION COMMISSION CAN ARRANGE REASONABLE ACCOMODATIONS FOR PERSONS WITH OTHER DISABILITIES. TO REQUEST ASSISTANCE, CONTACT THE CONSERVATION AGENT AT 978-297-5410

To participate in the Remote Meeting please follow the instructions below:

Meeting ID: 982 2199 7866

Passcode: 9660812

Join Zoom Meeting via computer or smartphone with video and audio options

<https://winchendonk12.zoom.us/j/98221997866?pwd=dnF4ZDRFZjY2eVk5VU4yT1pNYVpDQT09>

To call in and participate in audio via any telephone

Dial +1 (929) 436-2866 and follow prompts for Meeting ID and Password above

Documents regarding agenda items are available on the Town website – www.townofwinchendon.com

Pursuant to Governor Baker's March 12, 2020 Order Suspending Certain Provisions of the Open Meeting Law, G.L. c. 30A, §20, and the Governor's March 15, 2020 Order imposing strict limitation on the number of people that may gather in one place, this meeting of the Town of Winchendon Conservation Commission and Public Hearings will be conducted via remote participation to the greatest extent possible.

Agenda:

Call to Order

Minutes 1/14/2021

Announcements

Lionel Cloutier has been appointed by the Select Board to serve on the Conservation Commission

Public Hearings

6:05pm Amendment of Order of Conditions Hearing DEP 345-0649

- Applicant: West Street 1 Solar, LLC
- Project Address: West Street; Assessor's Map 2, Parcels 109
- Description: Request to permanently leave boulders covering sections of buffer.

6:10pm Notice of Intent Hearing DEP 345-0712

- Applicant: Diane Coulter
- Project Address: 55 Island Road; Assessor's Map 2, Parcels 8
- Description: Construction of a new retaining wall with steps in wetland buffer adjacent to garage.

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- | | | |
|--------|---|---------------|
| 6:15pm | Notice of Intent Hearing
• Applicant: Barkley Enterprises – Jamison VanDyke
• Project Address: Gardner Road; Assessor's Map 12, Parcels 8
• Description: Construction of an access driveway within wetland buffer for forestry. | DEP # pending |
| 6:20pm | Notice of Intent Hearing
• Applicant: Barkley Enterprises – Jamison VanDyke
• Project Address: 16 North Ashburnham Road Assessor's Map 9, Parcels 50
• Description: construction of a single family home with related grading, septic system and well between 50' and 100' from the wetland. | DEP # pending |
| 6:25pm | Notice of Intent Hearing
• Applicant: Jonah Ketola – Alotek Contractors
• Project Address: 30 Madison Ave. Assessor's Map 12, Parcels 95
• Description: construction of a single family home and garage with related grading, fire cistern and well between 50' and 100' from the wetland | DEP # pending |
| 6:30pm | Notice of Intent Hearing
• Applicant: Jonah Ketola – Alotek Contractors
• Project Address: 35 Madison Ave. Assessor's Map 12, Parcels 84
• Description: construction of a single family home and garage with related grading, and septic system between 50' and 100' from the wetland | DEP # pending |
| 6:35pm | Notice of Intent Hearing
• Applicant: Jonah Ketola – Alotek Contractors
• Project Address: 51 Madison Ave. Assessor's Map 12, Parcels 85
• Description: construction of a single family home and garage with related grading, and septic system between 50' and 100' from the wetland | DEP # pending |

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- | | | |
|--------|--|----------------|
| 6:40pm | Notice of Intent Hearing | DEP # pending |
| | <ul style="list-style-type: none">• Applicant: Chris and Tracey Brennan of CTB Enterprises• Project Address: Gardner Road Assessor's Map 9, Parcels 17• Description: work includes grading, stormwater management, paved driveway and paved parking lot between 50' and 100' from the wetland in conjunction with a new commercial building. | |
| 6:45pm | Notice of Intent Hearing | DEP # 345-0715 |
| | <ul style="list-style-type: none">• Applicant: Vahe Bedian• Project Address: 34 West Shore Dr Assessor's Map 6, Parcels 43• Description: construction of a stone retaining wall within 50' of the lake | |
| 6:46pm | Notice of Intent Hearing | DEP # Pending |
| | <ul style="list-style-type: none">• Applicant: Matthew Olson of Ashoryn, LLC• Project Address: Mill Glen – Lot 1 Assessor's Map 10, Parcels 67• Description: construction of a single family home and garage with related grading, and septic system between 150' and 200' from the river | |

Enforcement Order Followup –

- 6 Island Road – Cindy Fitch – EO req'd NOI by 12/21 – discussion of fines
- 16 Monomonac E – Philip White – discussion of fines and restoration

Report back on National Grid Herbicide rules and process –

Restrictions exist based on proximity to wetlands, public water supply and private wells. The list of private wells is maintained by the MA Dept of Agriculture. Within 50' of a well no chemical means can be used. Between 50' – 100' only low pressure foliar techniques are permitted, not more frequently than every 24 months. I can forward the Yearly Operating Plan (YOP) with the 250 pages of specific labels and chemicals. All are considered sensitive herbicides by MDAR.

Adjourn

TOWN OF WINCHENDON



Conservation Commission Regular Meeting/Public Hearing Minutes

January 14, 2021 remotely at www.zoom.com

Meeting ID: 975 8689 0956 Passcode: 9562443

Members Present: Dave Whitaker, Ken Wante, Kyle Bradley, Melissa Blanchard
 Others Present: Alison Manugian (Conservation Agent), Kelley Fike, Rick Ward, Rodney Galton, Barbara Anderson, Marc Dorwart, Jim Bigfoot, Sarah Montfreda, Nancy Martin, Nick Santangelo, Mary Kate Schneeweis, Kevin Clark, Scott Crichton, Paul Grasewicz, other members of the public.

Meeting called to order by Chair Kyle Bradley at 6:01pm

Announcements -

- A Manugian announced that Lionel Cloutier, a former Conservation Commission member, has requested reappointment to the Commission. Following brief discussion **D. Whitaker made a motion to recommend that the Select Board appoint Mr. Cloutier. M. Blanchard seconded this motion and all voted aye via roll call.**
- A Manugian notified the Commission of the annual notice from National Grid to the Select Board, of their annual vegetation management planned activities. M. Blanchard asked about the herbicides used and potential impact on nearby wells. A. Manugian will look into this and provide information at the next meeting.

Minutes

- **D. Whitaker made a motion to approve the draft minutes of December 10, 2020. DK. Wante seconded the motion and all approved via roll call.**
- **D. Whitaker made a motion to approve the draft minutes of December 17, 2020. DK. Wante seconded the motion and all approved via roll call.**

Notice of Intent Hearing Scott Crichton DEP 345-0714

206 Lakeview Dr. (Map 10, Parcels 24) Removal of 5 healthy trees 65' to 90' from wetland.

D. Whitaker read the public hearing notice and the hearing was opened by the Chairman.

S. Crichton, Applicant, explained that the five healthy pine trees are 65 to 90' off of the wetland. Branches fall on vehicles parked in driveway and pitch is damaging vehicles.

All four members present indicated general comfort as trees are beyond 50' from the wetland

S. Crichton added that he would also like to do minor trimming of limbs closer to the lake damaged in last year's storms – one broken limb and one large dead branch. Consensus of members is to add this verbal request to the NOI.

S. Crichton indicated preference to pull stumps nearest to driveway and to grind the stump closest to the lake (65' away).

K. Wante made a motion to close the hearing and issue the Order of Conditions with standard conditions.

M. Blanchard seconded this motion and all approved via roll call.

Amendment of Order of Conditions Hearing ECOS Solar – Rodney Galton DEP 345-0692

Spring Street; (Map 9, Parcels 97 & 98) Request to expand permitted fenced in area for safety reasons.

D. Whitaker read the public hearing notice and the Chair opened the public hearing.

A Manugian offered a summary of this request, as preliminarily discussed at the December meeting. The initial plan was to fence in the array areas only, recent ATV traffic and incidents prompted a request from the Environmental Police and Town Police to expand the fencing to property lines.

R. Galton updated the Commission that the crash gate at the entry has been installed and they have requests out for fencing bids.

No Commission members had questions.

D. Whitaker made a motion to close the hearing and amend the fencing locations in the original Order of Conditions. DK. Wante seconded the motion and all approved via roll call

TOWN OF WINCHENDON
Conservation Commission Minutes – January 14, 2021

*Amendment of Order of Conditions Hearing West Street 1 Solar, LLC DEP 345-0649
West Street; (Map 2, Parcel 109) Request to permanently leave boulders covering sections of buffer.*

D. Whitaker read the public hearing notice and the Chair opened the public hearing.

A Manugian offered a summary of the project – a large ground mount solar array install that is largely completed. During construction more rocks were found than had been anticipated. These were placed on-site, many within the 100' wetland buffer. The current Order of Conditions stipulates four inches of loam with seeding. A request is in to Tighe and Bond to review the current site.

K. Bradley expressed concerns about the boulders.

N. Santangelo, Engineer with Beals and Thomas, outlined that the granting of the request to amend the Order would bring the project into compliance. The boulders have been placed only one rock deep and there are no piles – the underlying topography is steep and variable. At this point the removal of the boulders would create additional disturbance for the site and species.

K. Bradley admonished that the applicant and team can't change a project mid-stream to do whatever works for them without permissions.

K. Fike present, Engineer for NEXAMP stated that they had conversations with the previous Agent and Inspector (Matt Marro) during construction and that verbal permissions were given. The boulders and stumps placed on the abutting property were removed back to the project site in 2019.

K. Bradley indicated that without written permission from the Commission that there is no evidence this process change was accepted.

D. Whitaker indicated he walked the site today and that there is a tremendous amount of rock. He would like a 3rd party review and encouraged a site walk for anyone who hasn't seen the property. They may be able to leave the rock and cover with wood chips and loam. Any encroachment remaining onto the abutting property would need to be resolved.

K. Bradley asked if the rocks have value to other contractors – D. Whitaker indicated they do.

K. Wante indicated concerns about small wildlife being unable or unwilling to traverse the boulders. He too wondered if they could be buried and vegetation established.

K. Bradley indicated that he has significant concerns about setting a precedent allowing changes to be made without permission.

D. Whitaker clarified that he doesn't think the site is ok as it is, but that perhaps something can be done with the boulders in place.

K. Wante indicated concern about further damage possible by removing the boulders.

M. Blanchard indicated that the boulders are evident in google maps and she was upset to review.

S. Monfreda, an abutter, indicated her previous email to members and the photos she shared. The first two photos show the reuse onsite of the boulders that were removed from her property. She is unhappy that there was no attempt to get permission by the applicant, forgiveness was expected. The project currently has created a situation that is effectively an island surrounded by wetlands. (A. Manugian clarified that per the previous emails boulders/rocks such as this are considered to be construction debris.) S. Monfreda clarified that construction debris disposal was prohibited in the original Order of Conditions and that such can not be buried.

M. Dorwart wondered if the site is open to the public for review and expressed strong concerns that allowing this change in permission will open the door to future projects to ignore permissions then argue that remedy will impact the newly created 'habitat'. This is an opportunity for the Commission to set priorities and direct future growth of the Town; which is also key to the master plan.

K. Bradley reminded viewers to attend Town Meetings as this is where the bylaws and rules get set.

D. Whitaker motioned to continue the hearing to 6:05pm on February 11th for review as there is currently a violation of the Order in place. M. Blanchard seconded the motion and all voted aye via roll call.

TOWN OF WINCHENDON
Conservation Commission Minutes – January 14, 2021

Notice of Intent Hearing *Diane Coulter*

DEP 345-0712

55 Island Road; (Map 2, Parcel 8) Construction of a new retaining wall with steps adjacent to garage.

D. Whitaker reread the public hearing notice although this is a continuation. The applicant is unable to attend today and has requested a further continuance to 6:10pm on February 11, 2021.

K. Wanted motioned to so continue the hearing. M. Blanchard seconded the motion and all voted aye via roll call.

Notice of Intent Hearing *Barkley Enterprises & Paul Grasewicz*

DEP # pending

Gardner Road; (Map 12, Parcel 8) Construction of an access driveway within wetland buffer for forestry.

D. Whitaker and K. Bradley read the public hearing notice and the Chair opened the public hearing.

P. Grasewicz provided an introduction of the new plan (as altered by the stormwater report requested by DEP). The owner intends to log part of the site then pull the stumps and retain or sell the parcel for development. Coming in off of Route 140 some fill and a filtration bed with rock will be required. A swale is proposed to guide runoff back to the treatment area within the site. He noted that an additional Notice of Intent application will be required for further development.

K. Bradley inquired if it's viable to request that the Commission be notified of sale of the parcel. A Manugian clarified that this is a current standard condition that can be highlighted to the applicant in any Order issued.

K. Bradley asked for Board and Public Comments.

M. Blanchard indicated a desire to walk the site, which looks pretty good on paper.

Nancy Martin, an abutter at 101 Gardner Road, indicated that she has lived in her home for 38 years and is very opposed to an access road near her property. The wetland is a river in her estimation and the culvert capacity is annually exceeded. She first learned of the project when she found strangers on her property who asserted their intent to create a road between the site and nearby Raymond Road. She has been in contact with the Town and the State about this project. N. Martin continued that the water will run downhill and that it will flood her land. She doesn't like the applicant's attempt to intimidate her. She has numerous questions about traffic and parking during construction among other items.

K. Bradley reminded everyone that the Commission can only consider the facts and application, which doesn't include personal offence or applicant behavior.

N. Martin requested a site walk to review the project and the many wildlife impacts.

K. Bradley clarified that all projects must control stormwater on-site and that no additional runoff or storm impact on her property is allowed.

N. Martin stated that there is confusion over the property lines and she would like time to review and retain a surveyor.

P. Grasewicz stated that they research clearly tied in the shown property lines with those of her parcel and Route 140. The property is over nine acres and actual pins were found at the front and back points of her property lines. The second team out there, as seen by N. Martin, was flagging the property line to ensure that there are no incursions onto her property.

P. Grasewicz confirmed A Manugian's assumption that a state curb cut permit will be needed.

A. Manugian reminded all present that without a DEP file number the hearing can not be closed.

D. Whitaker indicated no significant concerns.

M. Blanchard would like to continue so a site walk can take place.

D. Whitaker motioned to continue the hearing to 6:15pm on February 11, 2021. K. Wante seconded the motion and all present voted aye via roll call.

TOWN OF WINCHENDON
Conservation Commission Minutes – January 14, 2021

Certificate of Compliance Requests

- 566 Lakeview – Kameel Nasr (DEP #345-0710)
A Manugian stated that this was a straightforward replacement of residential D-box and septic tank, which was done in accordance with the plans and approved by the Board of Health.
K. Wante motioned to grant the certificate of compliance. D. Whitaker seconded the motion and all present voted aye via roll call.
K. Bradley requested that A Manugian review their ability to have the agent issue these approvals in the future.

- West Street – West Solar 2, LLC (DEP #345-0650)
A Manugian outlined that that the project is completed with As-Builts. The work was done in conformance with the Order and additional plantings were placed at the request of the residential abutter.
D. Whitaker motioned to grant the certificate of compliance. K. Wante seconded the motion and all present voted aye via roll call.

- 606 School St – Warren Field (DEP #345-0644)
A Manugian summarized the site review at this newly constructed single family home. The site looks good and she will monitor vegetation growth into the spring. The applicant knows that he will be responsible to re-seed if there are issues.
K. Wante motioned to grant the certificate of compliance. D. Whitaker seconded the motion and all present voted aye via roll call.

Enforcement Order - 16 Monomonac Road East - Philip White

A Manugian summarized that the owner had approached her regarding emergency tree removals for septic replacement. At that site visit two additional trees, one dead and one a 30' tall 'stump' were discussed for removal while the tree service was on-site. Both were more than 50' from the wetland and verbal permission was granted. A call came in late last week that tree(s) were being removed near the brook on-site. An Enforcement Order was issued to halt work following discussion with DEP. Request here is for the Commission to affirm that Enforcement Order.

D. Whitaker asked and received confirmation that this Order will not halt the septic work.

D. Whitaker motioned to affirm the Enforcement Order. K. Wante seconded the motion and all present voted aye via roll call.

16 Island Road – Ryan McCauley

An agenda item for preliminary discussion of possible project(s) at 16 Island Road was requested. No one is present to discuss.

Chair opened up for final public comments and other items from members. None were forthcoming.

K. Wante motioned to adjourn the meeting. D. Whitaker seconded the motion and all present voted aye via roll call.

The meeting was ended at 7:14pm by the Chair K Bradley.

Legal Notice
Winchendon Conservation Commission

Off West Street (east side); Assessor's Map 2, Lot 109

Pursuant to the provisions of M.G.L. Chapter 131, Section 40, and the Town of Winchendon Wetlands Protection Bylaw, the Winchendon Conservation Commission will hold a public meeting on Thursday, January 14, 2021 at 6:10 pm to consider the request filed by West Street 1 Solar, LLC on behalf of property owner Winchendon Ventures, LLC to Amend the Existing Order of Conditions (DEP 345-0649) to allow large boulders to be placed within the 100' wetland buffers at West Street; Assessor's Map 2, Lot 109 in conjunction with the 1.3MW DC Solar Array project. The meeting will be held via zoom unless it is safe to meet in the 2nd Floor Auditorium of the Winchendon Town Hall, 109 Front Street.

For additional information or to arrange accommodations please email amanugian@townofwinchendon.com.

REQUEST FOR AMENDED ORDER OF CONDITIONS

WEST STREET 1 SOLAR

**West Street (East Side)
Winchendon, Massachusetts**

Prepared for:

**West Street 1 Solar, LLC
101 Summer Street, 2nd Floor
Boston MA 02110**

Prepared by:



BEALS + THOMAS

BEALS AND THOMAS, INC.
32 Court Street
Plymouth, MA 02360

*Submitted in Compliance with the Massachusetts
Wetlands Protection Act and the Winchendon Wetlands
Protection Bylaw*

December 14, 2020

December 14, 2020

Alison Manugian, Conservation Agent
Winchendon Conservation Commission
109 Front Street
Winchendon, Massachusetts

Via: FedEx and Email to amanugian@townofwinchendon.com

Reference: Request for Amended Order of Conditions
MassDEP File No. 345-0649
West Street 1 Solar
West Street (East Side)
Winchendon, Massachusetts
B+T Project No. 2896.00

Dear Members of the Commission:

On behalf of the Applicant, West Street 1 Solar, LLC, Beals and Thomas, Inc. respectfully submits this Request for Amended Order of Conditions for the West Street 1 Solar Project previously approved under the Order of Conditions dated October 26, 2017 (MassDEP File No. 345-0649).

This filing is submitted in accordance with the Massachusetts Wetlands Protection Act, MGL, Chapter 131, Section 40, and associated Regulations at 310 CMR 10.00 (collectively referred to as the Act) and the Winchendon Wetlands Protection Bylaw (the Bylaw).

As you are aware, the approved work includes construction of a new 1.3-MW DC solar photovoltaic array on property located on the east side of West Street in Winchendon Massachusetts. The Applicant herein proposes to amend the approved plans to allow large boulders encountered during the construction of the array to be placed outside of the approved fence line but within the previously-approved limit of work along the northern and western sides of the array. This work is located within the 100-foot wetland buffer zone to the previously-delineated BVW-1 and B-series bordering vegetated wetlands (BVW). The boulders have already been placed within the buffer zone, and the adjacent area is stable. The acceptance of this amendment will not result in new or additional work proposed within the buffer zone. Please refer to the enclosed red-line exhibit that further depicts the proposed amendment.

As required, enclosed are two (2) copies of the completed Request as well as supporting plans. The following information is included for your review:

144 Turnpike Road
Southborough, MA 01772

Regional Office: Plymouth, MA

T 508.366.0560 | www.bealsandthomas.com | F 508.366.4391

Alison Manugian, Conservation Agent
Winchendon Conservation Commission
December 14, 2020
Page 2

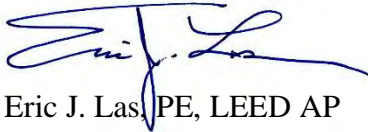
Section 1.0: Abutter Information;
Section 2.0: Exhibit

As required, a copy of this filing has been provided to the Central Regional Office of the Massachusetts Department of Environmental Protection (MassDEP). Enclosed is a check in the amount of \$60.00 for the required filing fee. Pursuant to requirements of the Bylaw and Regulations, a list of abutters within 100 feet of the subject property is enclosed in Section 2.0. We understand that the Town of Winchendon is responsible for notifying abutters and placing the legal advertisement in the Gardner News, and that the Gardner News will bill the Applicant directly.

Should you have any questions regarding this matter or require additional information, please contact us at (508) 366-0560. We thank you for your consideration of this Request and look forward to meeting with the Commission at the next available public hearing.

Very truly yours,

BEALS AND THOMAS, INC.



Eric J. Las, PE, LEED AP
Principal

Enclosures

cc: Winchendon Town Clerk (1 copy via email)
MassDEP Central Regional Office (1 copy via Certified Mail and email)
West Street 1 Solar, LLC (1 copy via email)

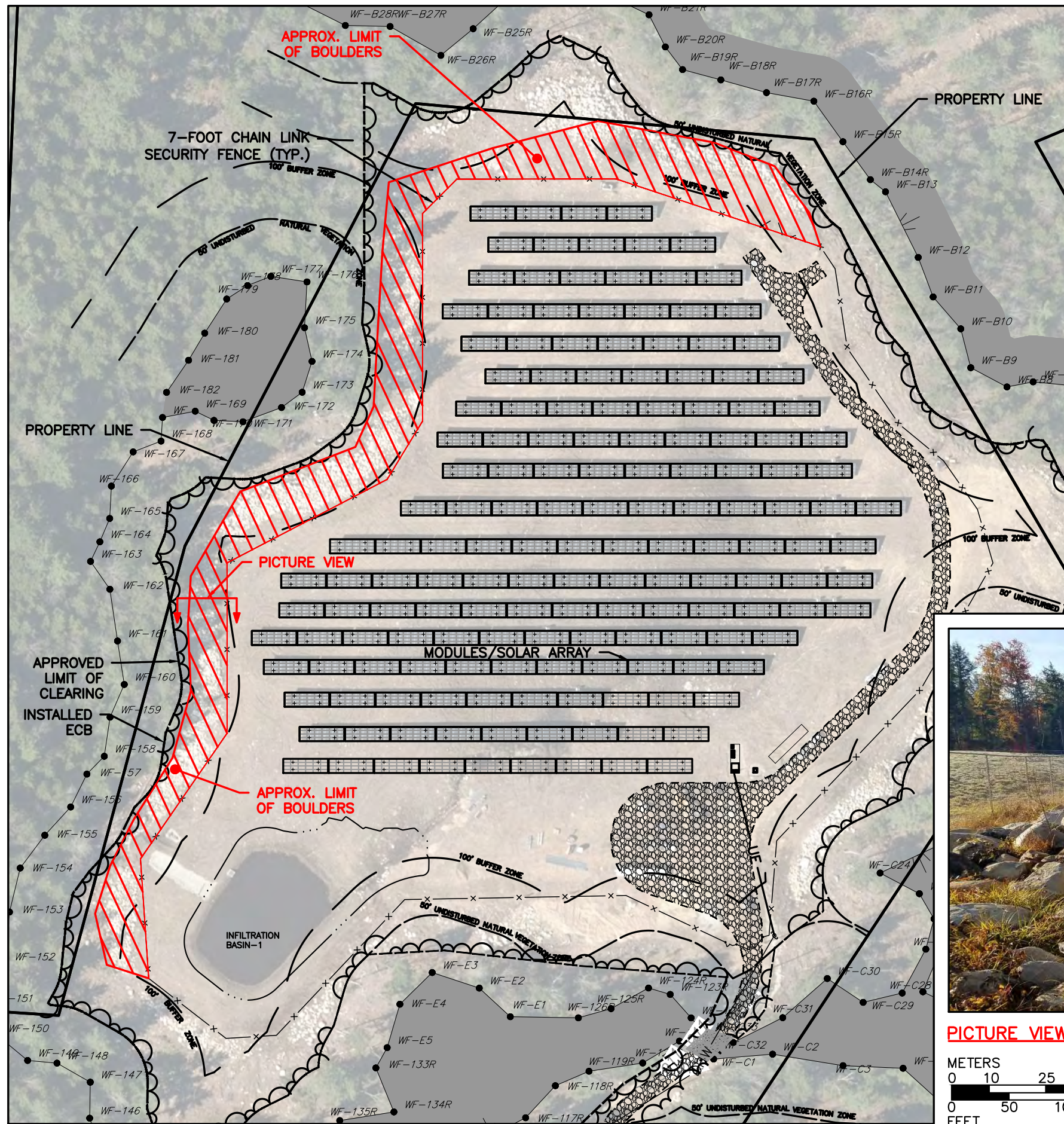
NPS/MKS/ejl/mac/289600PT004

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1.0 ABUTTER INFORMATION.....1-2
2.0 EXHIBIT2-1

Section 2.0
Exhibit

Limit of Boulders Outside Fence Area Exhibit
Prepared by Beals and Thomas, Inc.
In 1 Page
Dated December 14, 2020

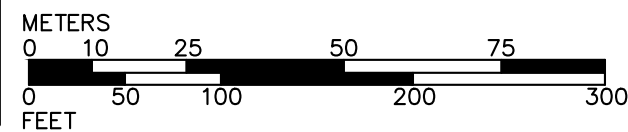


NOTES:

1. LIMITS OF BOULDERS OUTSIDE OF THE FENCE ON THE NORTH AND WEST SIDES OF THE ARRAY WERE LOCATED BY BEALS AND THOMAS INC. USING ON-THE-GROUND GPS METHODS ON OCTOBER 15, 2020.
2. AERIAL IMAGERY WAS DOWNLOADED FROM OLIVER USGS COLOR ORTHOS 2019 FOR VISUAL PURPOSES ONLY.



PICTURE VIEW: LOOKING SOUTH



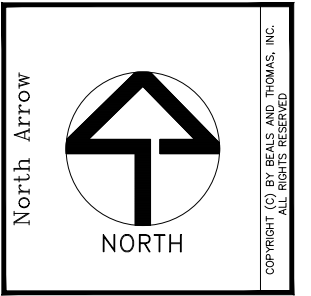
**Limit of Boulders Outside
Fence Area Exhibit**
Exhibit 001

Date: 12/14/2020
Plan No. 289600P026B-001
B+T Project No. 2896.00

Scale: 1" = 100'

West Street Solar
Winchendon, Massachusetts

Nexamp, Inc.
101 Summer Street, 2nd Floor
Boston, Massachusetts



Alison Manugian

From: Nick Santangelo <NSantangelo@bealsandthomas.com>
Sent: Monday, December 21, 2020 2:20 PM
To: Alison Manugian
Cc: dmcewen@nexamp.com; kfike@nexamp.com; Mary Kate Schneeweis; Eric Las
Subject: RE: Winchendon- Request for Amended Order of Conditions - West Street 1 Solar - DEP File No. 345-0649

Good afternoon Alison,

The Request for Amended Order of Conditions should have a minimal impact on the originally permitted and approved drainage patterns, habitat, and wildlife corridors. In B+T's opinion as the Engineer of Record, the Project was built in substantial compliance with the existing Order of Conditions. During the original design of the Project in 2017, the area outside of the fence was modeled as a Meadow cover type (CN 71) and under constructed conditions B+T would describe the cover type as Brush Fair (CN 70); which would yield no increase in stormwater runoff from the original approval to the constructed conditions.

The Project was designed and built with an 8" critter gap in the fence so as to maintain the existing wildlife corridor to the extent practicable. The current conditions of rocks and mixed woody/herbaceous vegetation around the fence are anticipated to provide specific wildlife habitat values and should not function as a significant or stressor to the travel corridor for species utilizing the site. Such habitat values include nesting and escape cover for small animals (within the crevasses between the rocks), basking areas for reptiles, and potential hunting and feeding areas for larger wildlife.

Removal of these rocks and existing vegetation would not only disturb the soils but would also be disruptive to wildlife currently utilizing this corridor. Soil disturbances resulting from the stone removal may result in downgradient erosion and sedimentation into wetland resource areas and would subsequently disturb the current habitat conditions. As such, leaving the stones in place through amending the Order of Conditions is not anticipated to adversely impact the statutory interests of the Wetlands Protection Act or Bylaw in relation to wildlife habitat.

Sincerely,

Nick Santangelo, EIT
Civil Engineer-In-Training
Beals + Thomas
O: 508.366.0560

From: Alison Manugian <AManugian@townofwinchendon.com>
Sent: Tuesday, December 15, 2020 10:07 AM
To: Mary Kate Schneeweis <mschneeweis@bealsandthomas.com>
Cc: dmcewen@nexamp.com; kfike@nexamp.com; Nick Santangelo <NSantangelo@bealsandthomas.com>
Subject: RE: Winchendon- Request for Amended Order of Conditions - West Street 1 Solar - DEP File No. 345-0649

I have received the email submission and will move forward with scheduling and notices.

I think it will be helpful for the Commission to have an explanation of the impacts this requested change will have on drainage patterns and wildlife. Can that be submitted for their review in advance of the meeting on 1/14?

Thank you,
Alison

Alison Manugian

From: Sarah Monfreda <samonfreda@gmail.com>
Sent: Tuesday, January 12, 2021 10:55 AM
To: Alison Manugian
Subject: West Solar 1

Alison,

Could you please forward the below email to the other members of the conservation board? Also, I would like to drop off an envelope of photographs for each board member and for you. Would it be possible to do that today and for you to facilitate getting them to the other board members? I know we are getting down to the wire because the meeting is Thursday. Thank you for your help!

Sarah

To the Members of the Town of Winchendon Conservation Commission,

My name is Sarah Monfreda and I am reaching out to you regarding the West Street Solar 1 Project, and their request to amend their original order of conditions. I apologize in advance for the length of this email but, I feel the issue is important and I wanted to reach out to you to express my opinion on what is going on with this project.

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I have serious concerns about a new request to amend/modify the present Order of Conditions. NEXAMP, on behalf of Winchendon Ventures, is asking for an amendment, after they have nearly completely filled in the buffer zone with a tremendous amount of construction debris. Construction debris that the order of condition strictly prohibited, and no effort has been made to remove it in over almost 2 years. This solar field was essentially built on an "island" of land surrounded by wetlands. During public hearings we were assured that they would use care when it came to the wetlands. These piles of boulders have been placed in the buffer zone inside the ECB on more than 50% of the perimeter of the solar field itself.

It should be noted that the map included with NEXAMP's request for modification is inaccurate as it does not reflect all of the areas where they have placed these large piles of boulders in the buffer zone. There is at least one additional area on my property where they have placed them that is not shown on their plan.

The amendment they are requesting is not for a small area of change, or for a few boulders here and there. There is a massive area in the wetland buffer zone that has been filled in. Many of the piles of boulders in the wetland area buffer zone are stacked 10 to 30 feet high. To me, this appears to be in significant violation of the original Order of Conditions. Specifically:

Item #40 "Unless reused, excavated soil shall be removed from the 100-foot buffer zone on a day to day basis. All excess excavated soil and imported fill shall be removed from the 100-foot buffer zone upon the completion of construction and grading."

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Item # 45 "All embankments and disturbed areas within the 100-foot Buffer Zone and Riverfront Area shall be loamed, fertilized, and seeded upon completion of construction and grading. A minimum of 4-inches of topsoil shall form the seedbed" "All disturbed areas shall be graded, loamed and seeded prior to November 1 of each year. No disturbed areas or stockpiled material shall be left unprotected during the winter season" - Let me remind you here that we are now in the second winter season since they have done any groundwork with this project.

I feel this requested amendment is being done long after the work was already done and with an effort to not have to correct the mess they have left over there. Any potential destabilization of the soil that removal of those boulders may cause is because they never should have been placed there to begin with, and I feel they are responsible for dealing with whatever damage it has created at this point and any mitigation needed to correct the same. They have changed the grade and elevation of the land with these mounds of boulders, damaged or killed much of the plant life that had been growing there before, and disrupted the original wildlife habitat in that Buffer Zone.

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remained unrepaired. This company seems to show a pattern of disregard for their responsibility to protect the wetlands they are building in.

In the Town of Winchendon's Bylaws regarding wetlands it states: "In reviewing activities within a buffer zone, the Commission shall presume the buffer zone is important to the protection of other resource areas because work performed in close proximity have a high likelihood of adverse impact, either immediately, as a consequence of construction, or over time, These adverse impacts from construction can include , without limitation, erosion, siltation, loss of groundwater recharge, poor water quality and loss of wildlife habitat."

This buffer zone is important! It is the very reason there was an Order of Conditions for this project; to mitigate any potential damage and to protect the surrounding wetlands. My land surrounding this project is currently in 61B conservation. My father owns an abutting piece of conservation property very close to this project which is also in 61B conservation. We think the land here is worth preserving, undeveloped, for the long term. As citizens of this town, we ask you to help us protect not only our properties but these resources that we are trying to preserve as well. We are not asking Nexamp to change what they are doing, we are just requesting that they comply with the original order of conditions they agreed to.

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Pictures A & B (see labels on back of pictures) show areas on my property, in the buffer zone, which has been filled in with construction debris/boulders, and which are not shown on the map presented in the amendment request. The rest are examples of what the current condition of the buffer zone is. Please note the ECB shown in the pictures mark the 50-foot point beyond the wetlands. The wetlands buffer zone, extends another 50 feet towards the solar project and this area is what they have filled in with boulders.

Thank you for taking the time to read my email and listening to my concerns.

Regards,
Sarah Monfreda
430 School Street, Winchendon
978-502-5526



Photo A



Photo B



Photo C



Photo D



Photo E



Photo F

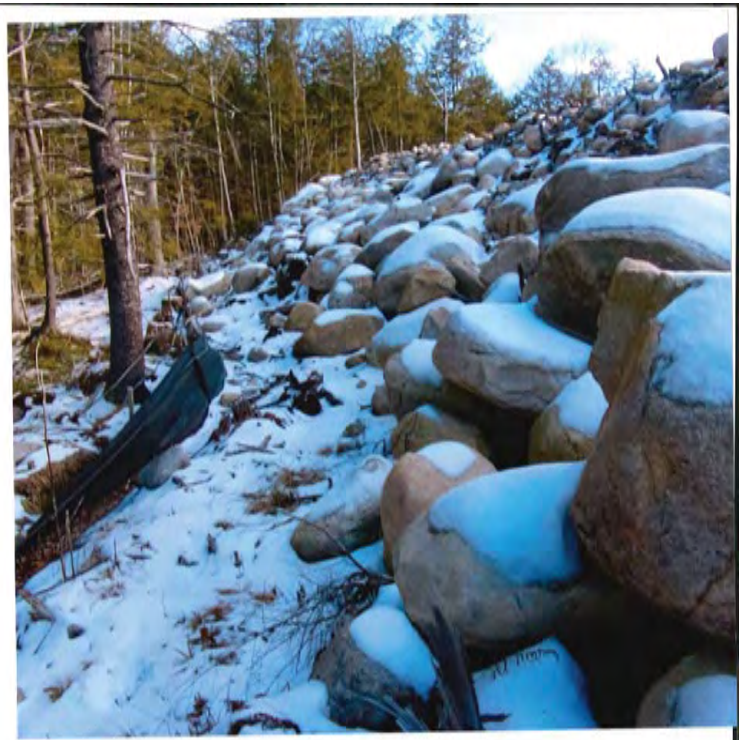


Photo G



Photo H

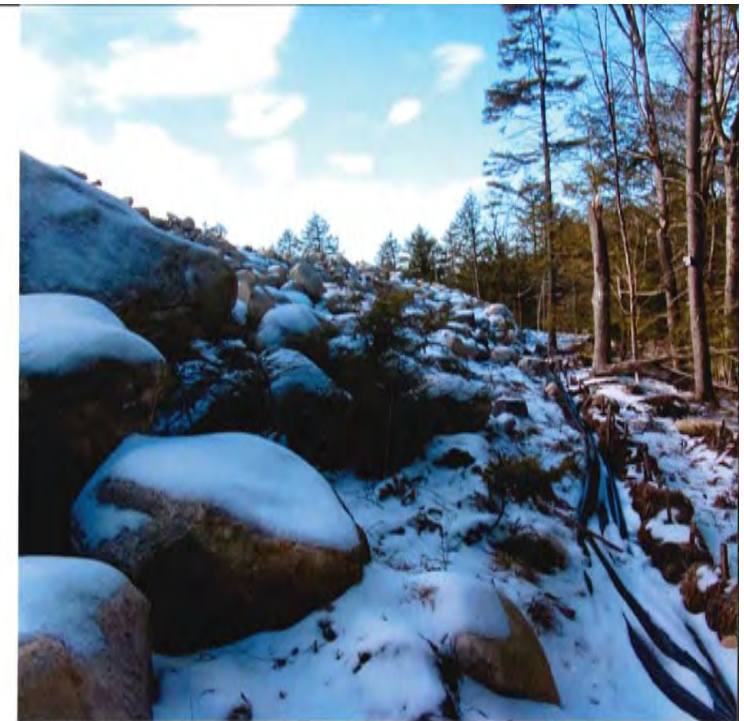


Photo I



Photo J

An official website of the United States government.



Sustainable Management of Construction and Demolition Materials

Related Resources

- [Learn about how the Disaster Debris Recovery Tool can help find materials and waste management locations before and after a disaster strikes](#)
- [Resource Conservation and Recovery Act \(RCRA\) in Focus: Construction, Demolition and Renovation](#)
- [Best Practices for Reducing, Reusing and Recycling C&D Materials](#)
- [The State of the Practice of Construction and Demolition Material Recovery](#)
- [Organizations Working to Reduce the Disposal of C&D Materials](#)
- [Large-Scale Residential Demolition](#)
- [Managing Materials and Wastes for Homeland Security Incidents](#)

Construction and Demolition (C&D) materials consist of the debris generated during the construction, renovation and demolition of buildings, roads, and bridges. EPA promotes a Sustainable Materials Management (SMM) approach that identifies certain C&D materials as commodities that can be used in new building projects, thus avoiding the need to mine and process virgin materials.

On this page:

- [What Are C&D Materials?](#)
- [C&D Materials in America](#)
- [Benefits of Reducing the Disposal of C&D Materials](#)
- [What You Can Do](#)
 - [Source Reduction/Reducing Materials Use](#)
 - [Salvaging and Reusing C&D Materials](#)
 - [Recycling C&D Materials](#)
 - [Rebuying C&D Materials](#)

What Are C&D Materials?

Construction and demolition (C&D) materials are generated when new building and civil-engineering structures are built and when existing buildings and civil-engineering structures are renovated or demolished (including deconstruction activities). Civil-engineering structures include public works projects, such as streets and highways, bridges, utility plants, piers, and dams.

C&D materials often contain bulky, heavy materials such as:

- Concrete
- Wood (from buildings)
- Asphalt (from roads and roofing shingles)
- Gypsum (the main component of drywall)
- Metals
- Bricks
- Glass
- Plastics
- Salvaged building components (doors, windows, and plumbing fixtures)
- Trees, stumps, earth, and rock from clearing sites

C&D Materials in America

C&D materials constitute a significant waste stream in the United States. These various C&D materials can be diverted from disposal and managed into new productive uses.

EPA's waste characterization report, the [Advancing Sustainable Materials Management: 2018 Fact Sheet](#), estimates the C&D material generation and the mass quantities of the generated materials that were directed to next use or sent to landfills in the United States. C&D materials included in the report are steel, wood products, drywall and plaster, brick and clay tile, asphalt shingles, concrete, and asphalt concrete. The generation estimates represent C&D material amounts from construction, renovation and demolition activities for buildings, roads and bridges, and other structures. "Next use" designates an intended next-use market for a C&D material, which depending on the material, may include fuel, manufactured products, aggregate, compost and mulch or soil amendment. Estimates are based on publicly available data from government and industry organizations.

Additional Studies and Reports

- [State Specific Information on C&D Materials](#)
- [Estimating 2003 Building-Related Construction and Demolition Materials Amounts](#)
- [1998 Characterization of Building-Related Construction and Demolition Debris in the United States](#)

Alison Manugian

From: Sarah Monfreda <samonfreda@gmail.com>
Sent: Tuesday, January 12, 2021 10:55 AM
To: Alison Manugian
Subject: West Solar 1

Alison,

Could you please forward the below email to the other members of the conservation board? Also, I would like to drop off an envelope of photographs for each board member and for you. Would it be possible to do that today and for you to facilitate getting them to the other board members? I know we are getting down to the wire because the meeting is Thursday. Thank you for your help!

Sarah

To the Members of the Town of Winchendon Conservation Commission,

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Thank you for taking the time to read my email and listening to my concerns.

Regards,
Sarah Monfreda
430 School Street, Winchendon
978-502-5526

TOWN OF WINCHENDON

Conservation Commission



Telephone (978) 297-5410

109 Front Street
Winchendon, Massachusetts 01475-1758

Legal Notice Winchendon Conservation Commission

Pursuant to the provisions of M.G.L. Chapter 131, Section 40, and the Town of Winchendon Wetlands Protection Bylaw, the Winchendon Conservation Commission will hold a public hearing on Thursday, December 10, 2020 at 6:20 pm to consider the Notice of Intent filed by Diane Coulter for proposed work within the 100-foot Buffer Zone to Bordering Vegetated Wetlands at 55 Island Road, Assessor's Map 2, Lot 8. The proposed work includes construction of a retaining wall with steps adjacent to the existing garage. The hearing will be held remotely via www.zoom.com or if it is safe to do so, in the 2nd Floor Auditorium of the Winchendon Town Hall, 109 Front Street.

Additional information is available by emailing amanugian@townofwinchendon.com.

December 3

Why did I get this notice?

We send this notice to comply with Massachusetts law and/or local regulations that require notice to applicants, abutters and other parties in interest of a pending land issue.

If this is a notice of public hearing or project application you have the right to attend the hearing and participate.

If you have questions please email Alison Manugian at amanugian@townofwinchendon.com



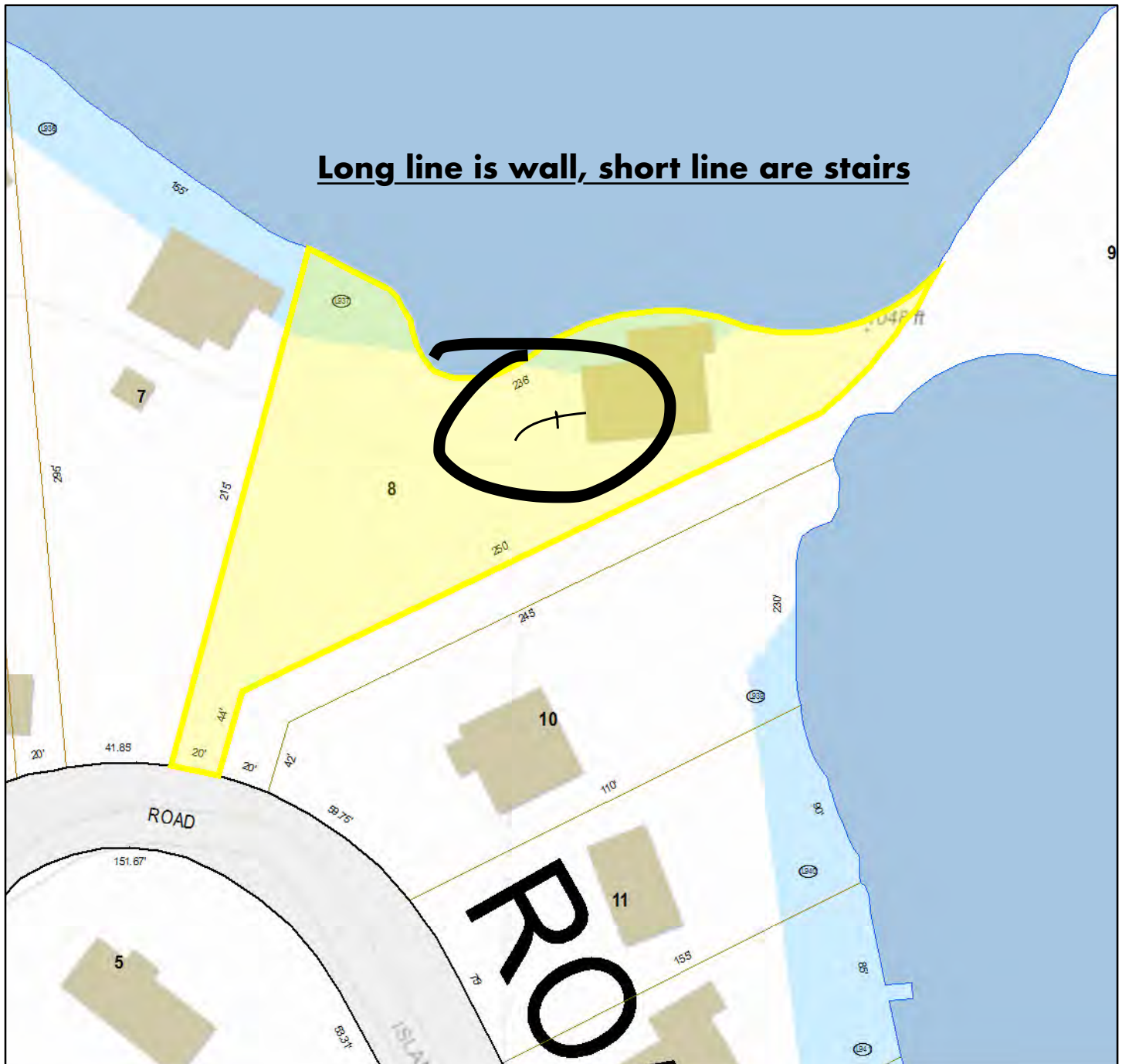
55 Island Road

Winchendon, MA

1 inch = 60 Feet



August 25, 2020



	PWater		Right of Ways
	Property Line		Water-poly
	Public Road		
	Buildings		

Data shown on this map is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this map.





Larger circle is proposed wall, smaller circle is 2 or 3 stairs

TOWN OF WINCHENDON

Conservation Commission



Telephone (978) 297-5410

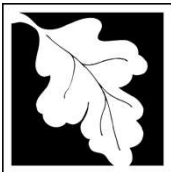
109 Front Street
Winchendon, Massachusetts 01475-1758

Legal Notice Winchendon Conservation Commission

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Additional information is available by emailing amanugian@townofwinchendon.com

January 7, 2021



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Winchendon
City/Town

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note: Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>Gardner Road</u>	<u>Winchendon</u>	<u>01475</u>
a. Street Address	b. City/Town	c. Zip Code
Latitude and Longitude:		
<u>12</u>	<u>42.64096</u>	<u>-72.01107</u>
f. Assessors Map/Plat Number	d. Latitude	e. Longitude
	<u>8</u>	
	g. Parcel /Lot Number	

2. Applicant:

<u>Jamison</u>	<u>VanDyke</u>	
a. First Name	b. Last Name	
<u>Barkley Enterprises, LLC</u>		
c. Organization		
<u>1032 NH Route 119 Unit # 4</u>		
d. Street Address		
<u>Rindge</u>	<u>NH</u>	<u>03461</u>
e. City/Town	f. State	g. Zip Code
<u>978-888-8407</u>	<u>jbvandyke@formupfoundations.com</u>	
h. Phone Number	i. Fax Number	j. Email Address

3. Property owner (required if different from applicant): Check if more than one owner

<u></u>	<u></u>	
a. First Name	b. Last Name	
<u></u>		
c. Organization		
<u></u>		
d. Street Address		
<u></u>	<u></u>	<u></u>
e. City/Town	f. State	g. Zip Code
<u></u>	<u></u>	<u></u>
h. Phone Number	i. Fax Number	j. Email address

4. Representative (if any):

<u>Paul</u>	<u>Grasewicz</u>	
a. First Name	b. Last Name	
<u>GRAZ Engineering, LLC</u>		
c. Company		
<u>323 W. Lake Road</u>		
d. Street Address		
<u>Fitzwilliam</u>	<u>NH</u>	<u>03447</u>
e. City/Town	f. State	g. Zip Code
<u>603-585-6959</u>	<u>paul@grazengineering.com</u>	
h. Phone Number	i. Fax Number	j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u>\$110.00</u>	<u>\$42.50</u>	<u>\$67.50</u>
a. Total Fee Paid	b. State Fee Paid	c. City/Town Fee Paid



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
WPA Form 3 – Notice of Intent
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Winchendon

City/Town

A. General Information (continued)

6. General Project Description:

We are proposing the construction of an access drive for forestry purposes through the buffer of a wetland.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Worcester	
a. County	b. Certificate # (if registered land)
23081	127
c. Book	d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Gardner Road Forestry Access Plan

*Map-12, Parcel-8 Gardner Road
Winchendon, Massachusetts*

Stormwater Inspection & Maintenance Manual

January 6, 2021

Responsible Parties

The stormwater management system shall be operated and maintained by the Owner, Jamison VanDyke, during construction (logging) and until such time as the property is sold or a new Order of Conditions and stormwater site plan is in plan. Any subsequent owner shall be responsible for the requirements described herein.

Short Term Maintenance

During construction, all site runoff shall be routed through permanent drainage facilities where available. Temporary sediment basins shall be constructed to control disturbed area runoff where the permanent system is not in place. The controls shall be constructed and maintained to minimize erosion and sediment transport.

Inspection and Long Term Maintenance

See the following sections for the stormwater elements:

- Filter Bed
- Grassed Treatment Swale
- Sediment Forebay
- Detention Basin

In addition to the individual sheets, a “Stormwater Construction Site Inspection Report” is enclosed which should also be filled out for each periodic site inspection.

Erosion Control

As defined on the plans and the Town of Winchendon Regulation, sedimentation and erosion controls must be installed prior to commencement of construction. Maintenance of the sedimentation and erosion controls during construction shall be by the owner. All sedimentation and erosion controls must be monitored regularly and shall be replaced /repaired as necessary. Fill out Inspection sheet ‘E’ for general erosion control inspections

INSTRUCTIONS:

1. In BMP Column, click on Blue Cell to Activate Drop Down Menu
2. Select BMP from Drop Down Menu
3. After BMP is selected, TSS Removal and other Columns are automatically completed.

Version 1, Automated: Mar. 4, 2008

Location:

TSS Removal Calculation Worksheet

B BMP ¹	C TSS Removal Rate ¹	D Starting TSS Load*	E Amount Removed (C*D)	F Remaining Load (D-E)
Grass Channel	0.50	1.00	0.50	0.50
Sediment Forebay	0.25	0.50	0.13	0.38
Extended Dry Detention Basin	0.50	0.38	0.19	0.19
	0.00	0.19	0.00	0.19
	0.00	0.19	0.00	0.19

Total TSS Removal =

Separate Form Needs to be Completed for Each Outlet or BMP Train

Project:
 Prepared By:
 Date:

*Equals remaining load from previous BMP (E) which enters the BMP

GRAZ Engineering, LLC

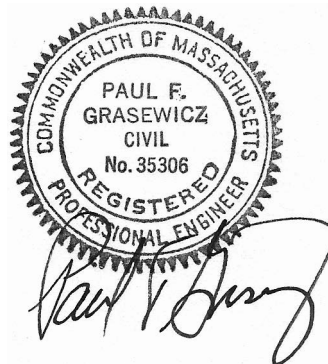
www.GRAZENGINEERING.COM

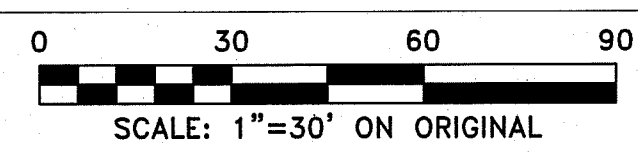
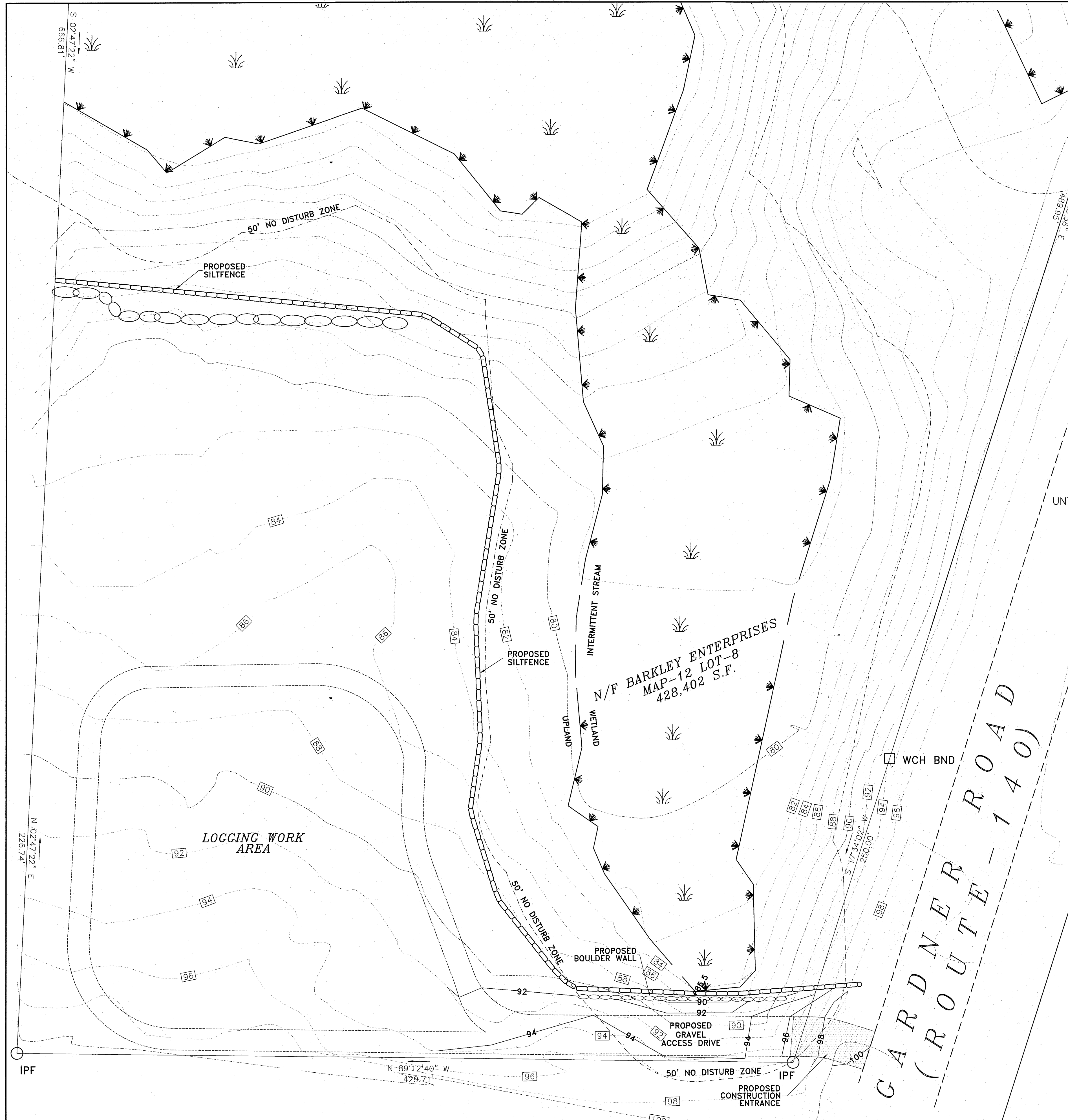
• 323 West Lake Road • Fitzwilliam, NH 03447 • Telephone (603) 585-6959 • Fax (603) 585-6960

Barkley Enterprises Forestry Access Site Plan Stormwater Hydrology Summary

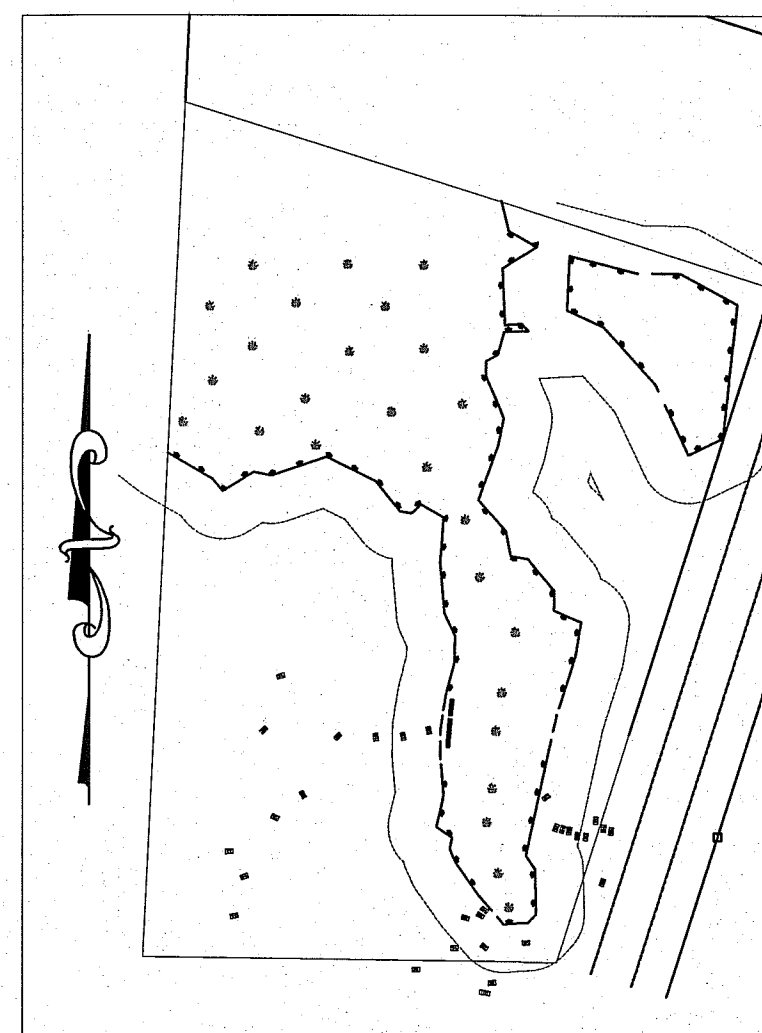
Stormwater management facilities were designed to mitigate stormwater runoff in the proposed interim site development conditions (logging) to attenuate the 2 year and 10 years storms in accordance with the Mass Stormwater Regulations. The NRCS soil report data indicates that the site soils are hydrological group-C. The 100 year storm was slightly higher than pre-development, however, the increase in volume is a mere 0.041 acre-feet. Not only would the peak increase be unnoticeable, but the small volume would be undetectable in the large swamp on the north side of this property. The peak rates of runoff (in 'cfs') are compared as follows:

	<u>2 year</u>	<u>10 year</u>	<u>100 year</u>
Pre (Reach-1R):	1.88	4.76	12.94
Post (Reach-1R):	1.08	4.48	13.99

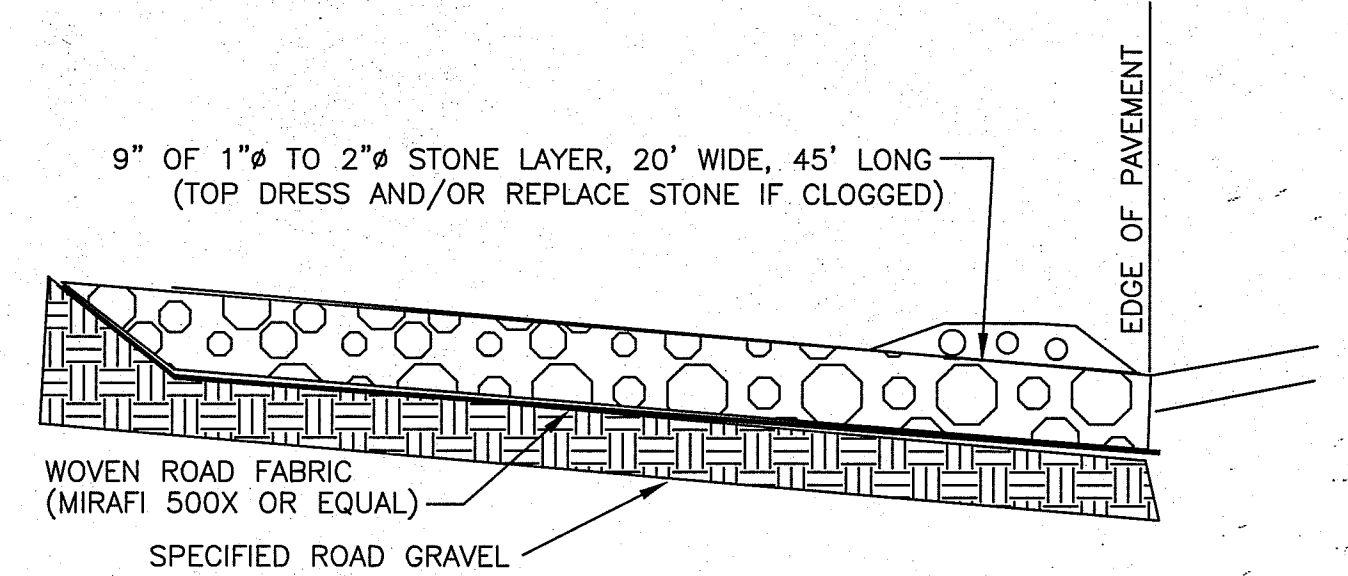
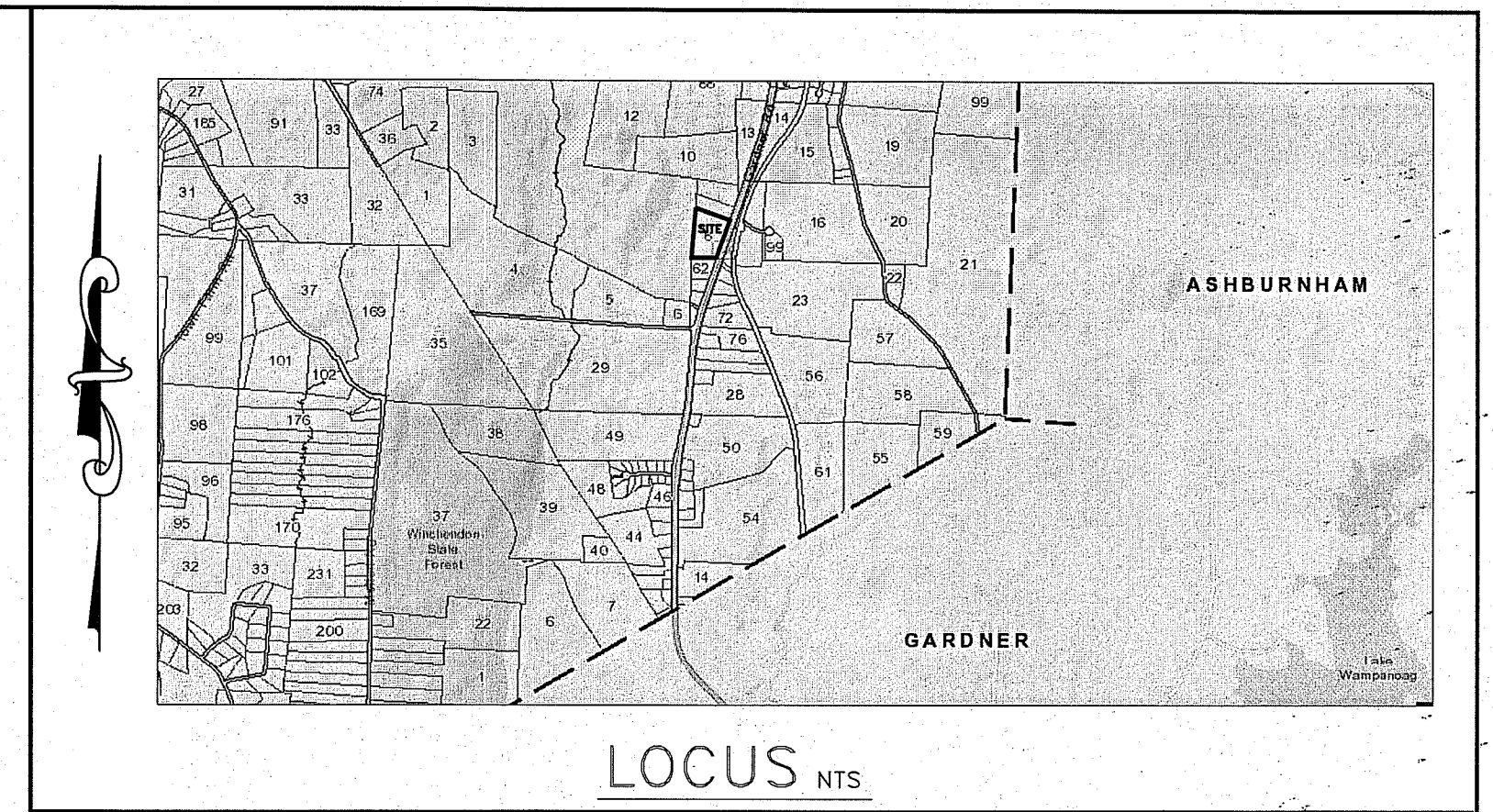




SITE PLAN 1"=30'

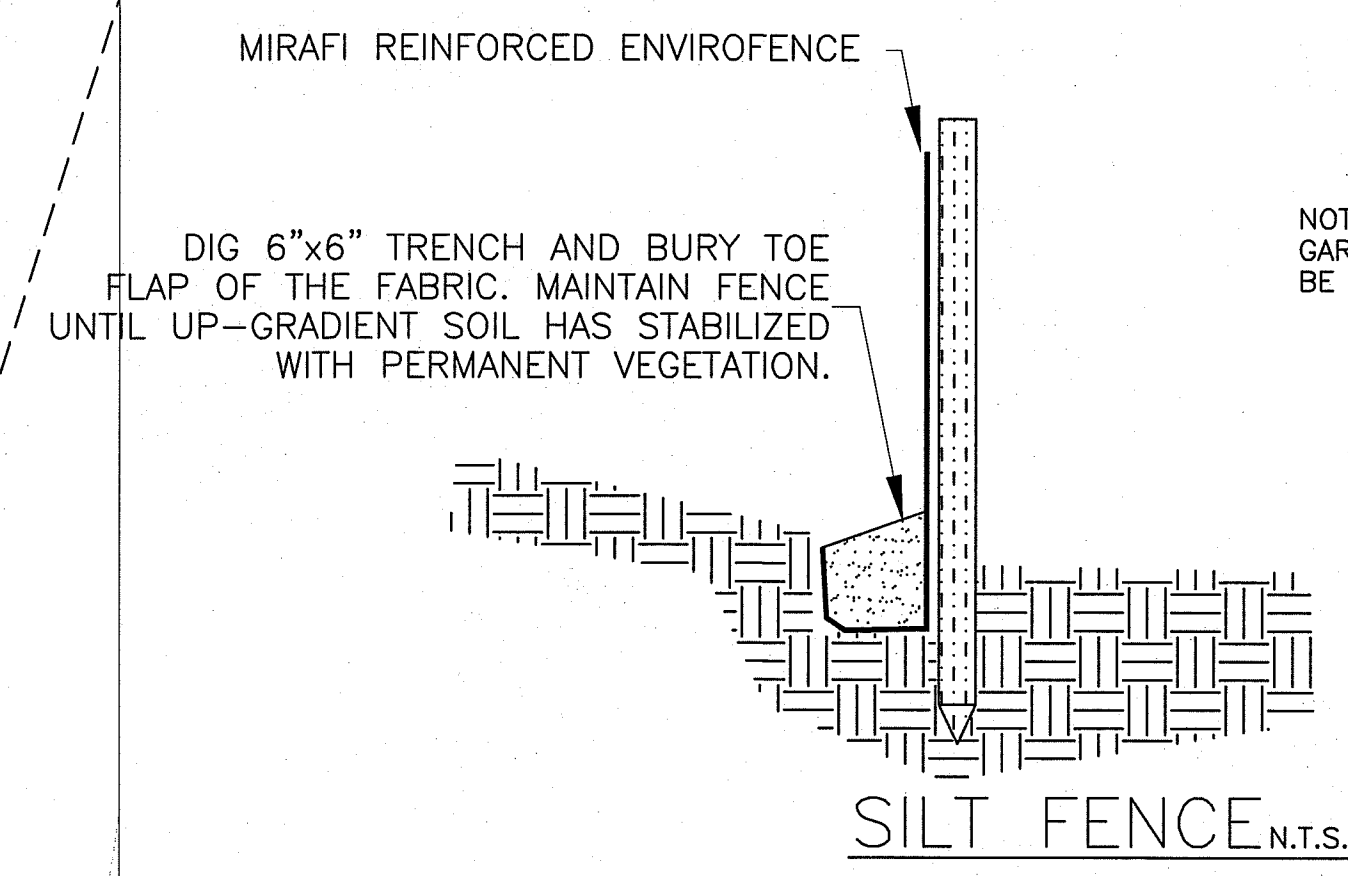


LOT LOCUS 1"=200'



NOTE: IF STONE PAD DOES NOT ADEQUATELY PRECLUDE MUD TRACKING ONTO GARDNER ROAD, HAND REMOVAL AND/OR WASHING AT APPROVED LOCATION SHALL BE PERFORMED.

CONSTRUCTION ENTRANCE DETAIL N.T.S.

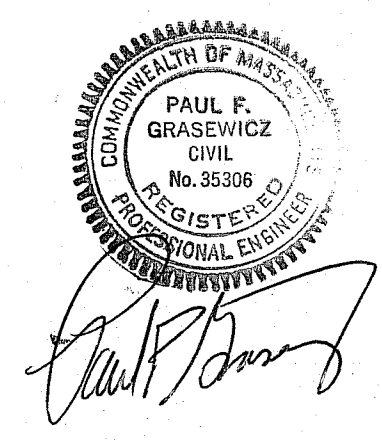
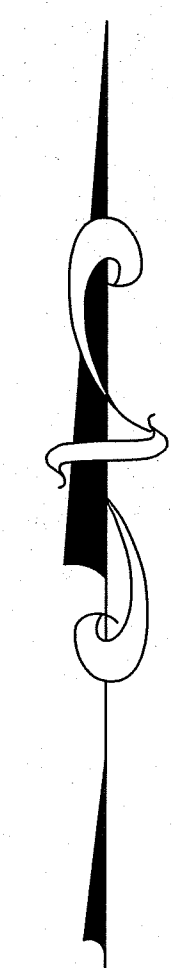


DIG 6"x6" TRENCH AND BURY TOE FLAP OF THE FABRIC. MAINTAIN FENCE UNTIL UP-GRADIENT SOIL HAS STABILIZED WITH PERMANENT VEGETATION.

SILT FENCE N.T.S.

NOTES

1. THE PURPOSE OF THIS PLAN IS TO DEPICT A PROPOSED ACCESS DRIVEWAY FOR FORESTRY PURPOSES.
2. THE SUBJECT PROPERTY IS LOCATED IN THE HIGHWAY COMMERCIAL ZONING DISTRICT.
 DIMENSIONAL REQUIREMENTS:
 AREA=75,000 S.F.
 FRONTAGE=250'
 MINIMUM FRONT SETBACK=75'
 MINIMUM SIDE SETBACK=25'
 MINIMUM REAR SETBACK=25'
3. EROSION CONTROLS TO BE INSTALLED PRIOR TO ANY CONSTRUCTION/LOGGING BEGINS.
4. NO WORK IS TO BE DONE OUTSIDE WITHIN THE 50' NO DISTURB LINE ASIDE FROM WHAT IS SHOWN ON THIS PLAN.



FORESTRY ACCESS & NOTICE OF INTENT PLAN
 MAP-12 LOT-8
 GARDNER ROAD (ROUTE-140)
 WINCHENDON, MA 01475

PREPARED FOR:
 BARKLEY ENTERPRISES, LLC
 1032 N.H. RT 119 W
 RINDGE, NH 03461

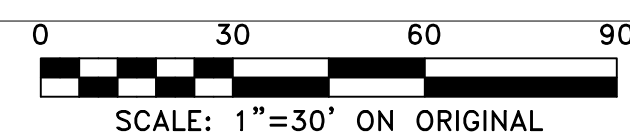
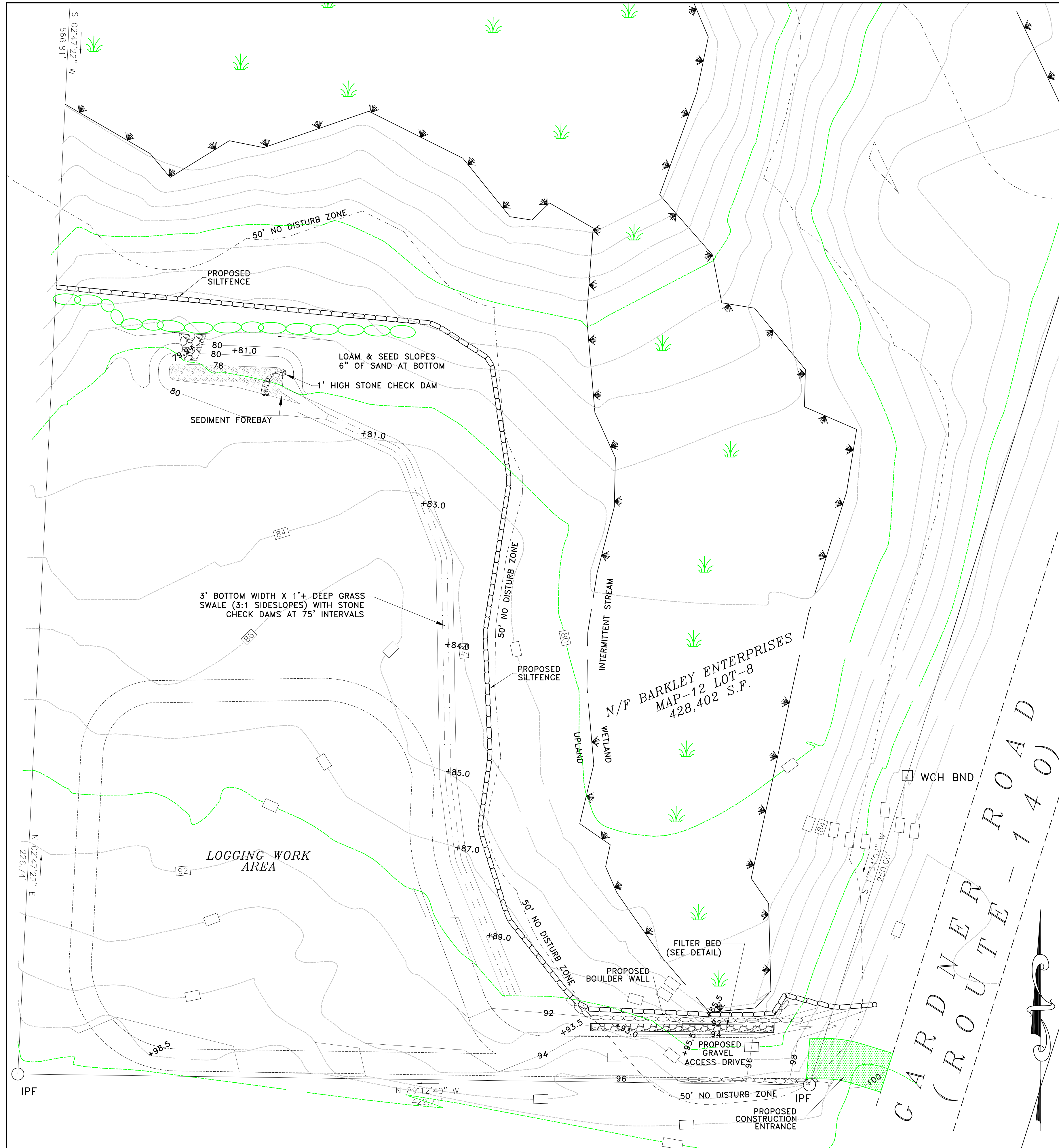
DECEMBER 29, 2020

GRAZ Engineering, LLC

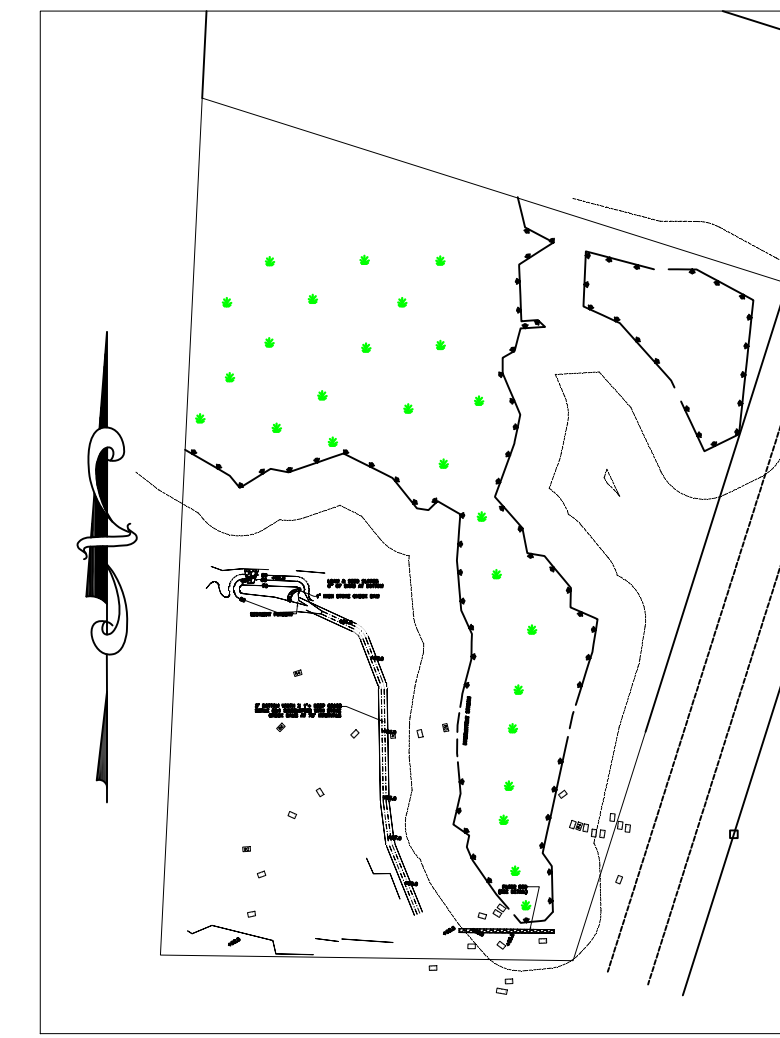
323 WEST LAKE ROAD; FITZ WILLIAM, NH 03447; (603) 585-6959

JOB NO. 18012

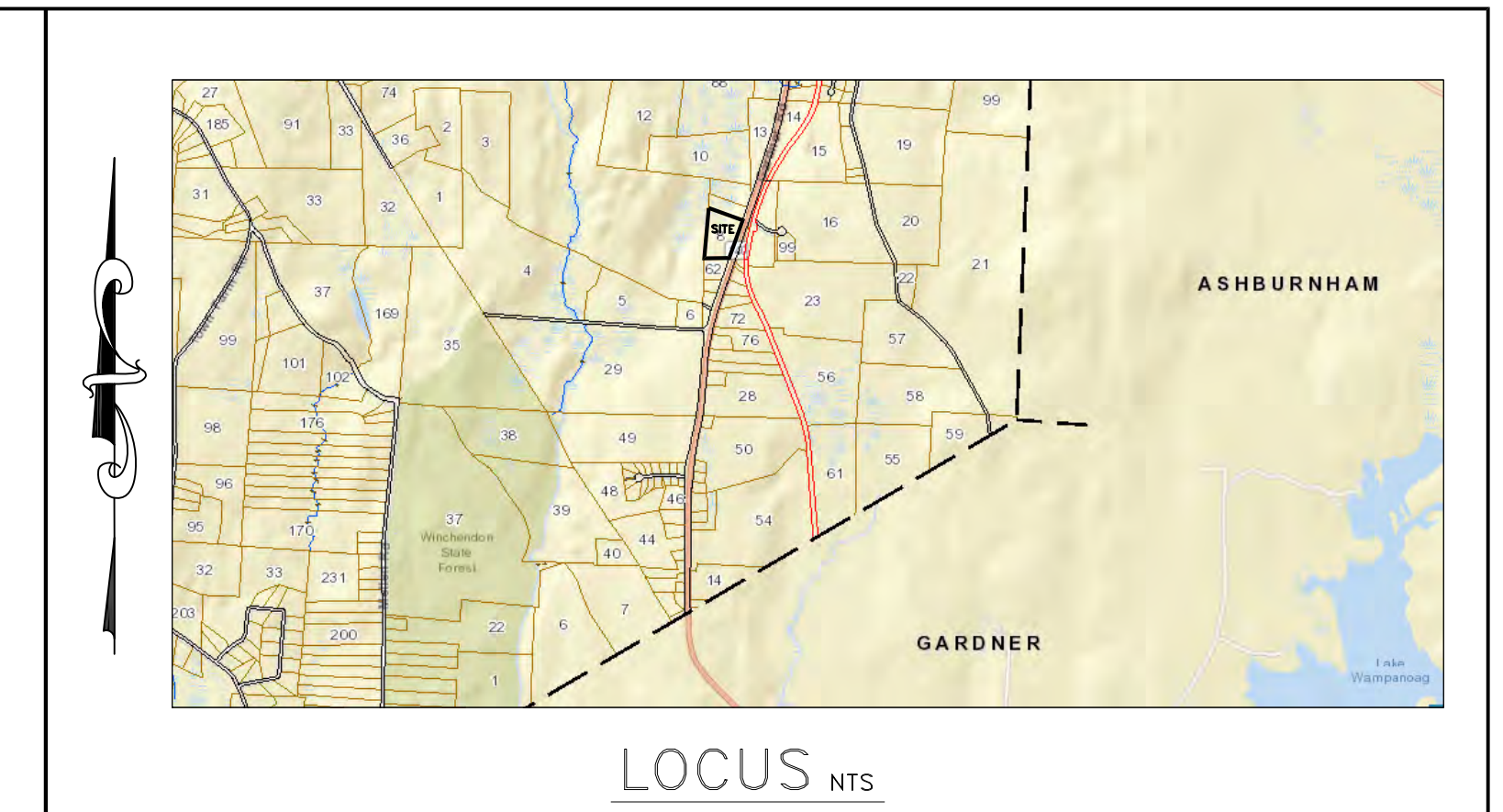
SHEET 1 OF 1



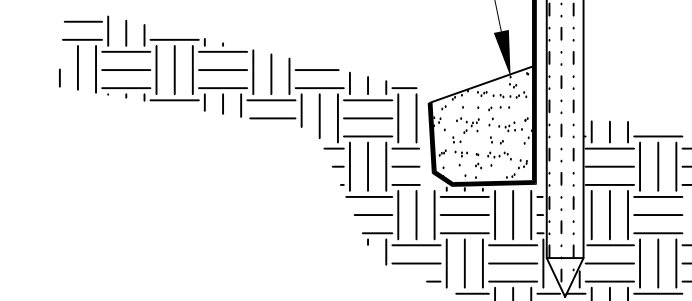
SITE PLAN 1"=30'



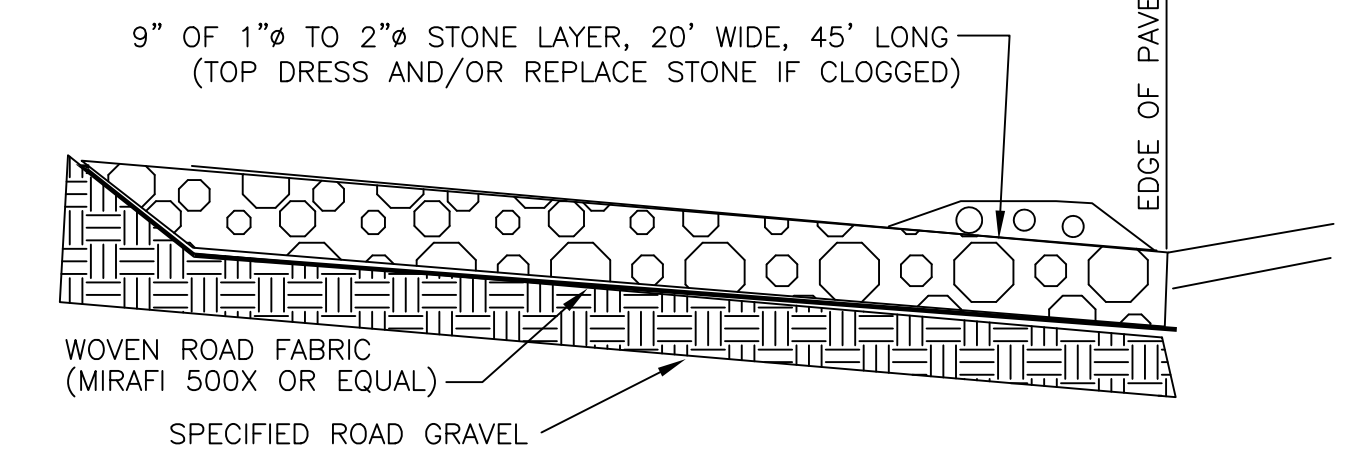
LOT LOCUS 1"=200'



MIRAFI REINFORCED ENVIROFENCE
 DIG 6"x6" TRENCH AND BURY TOE FLAP OF THE FABRIC. MAINTAIN FENCE UNTIL UP-GRADE SOIL HAS STABILIZED WITH PERMANENT VEGETATION.

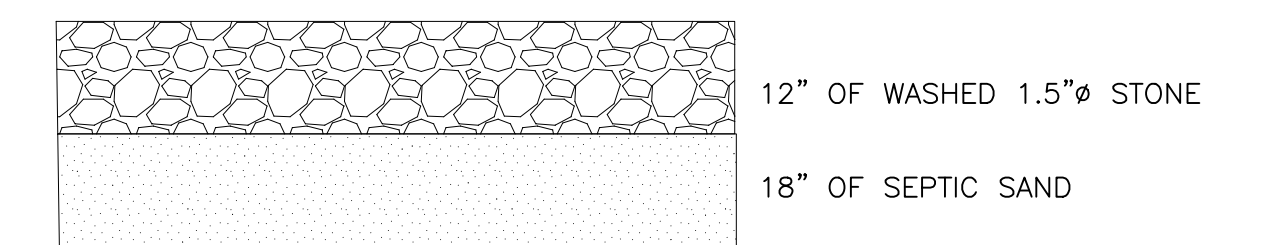


SILT FENCE N.T.S.



NOTE: IF STONE PAD DOES NOT ADEQUATELY PRECLUDE MUD TRACKING ONTO GARDNER ROAD, HAND REMOVAL AND/OR WASHING AT APPROVED LOCATION SHALL BE PERFORMED. MADOT ACCESS PERMIT REQUIRED.

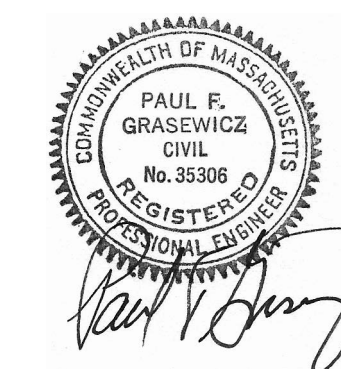
CONSTRUCTION ENTRANCE DETAIL N.T.S.



FILTER BED DETAIL N.T.S.

NOTES

1. THE PURPOSE OF THIS PLAN IS TO DEPICT A PROPOSED ACCESS DRIVEWAY FOR FORESTRY PURPOSES.
2. THE SUBJECT PROPERTY IS LOCATED IN THE HIGHWAY COMMERCIAL ZONING DISTRICT.
 DIMENSIONAL REQUIREMENTS:
 AREA=75,000 S.F.
 FRONTAGE=250'
 MINIMUM FRONT SETBACK=75'
 MINIMUM SIDE SETBACK=25'
 MINIMUM REAR SETBACK=25'
3. EROSION CONTROLS TO BE INSTALLED PRIOR TO ANY CONSTRUCTION/LOGGING BEGINS.
4. NO WORK IS TO BE DONE OUTSIDE WITHIN THE 50' NO DISTURB LINE ASIDE FROM WHAT IS SHOWN ON THIS PLAN.
5. A NEW NOTICE OF INTENT SHALL BE FILED ONCE A PLAN FOR FINAL PROPOSED SITE DEVELOPMENT IS PREPARED (INCLUDING UPDATED/APPROPRIATE STORMWATER MANAGEMENT).
6. THE PROPERTY OWNER IS RESPONSIBLE FOR MAINTENANCE OF THESE INTERIM STORMWATER MANAGEMENT FACILITIES.



FORESTRY ACCESS & NOTICE OF INTENT PLAN
 MAP-12 LOT-8
 GARDNER ROAD (ROUTE-140)
 WINCHENDON, MA 01475

PREPARED FOR:
 BARKLEY ENTERPRISES, LLC
 1032 N.H. RT 119 W
 RINDGE, NH 03461

DECEMBER 29, 2020

GRAZ Engineering, LLC

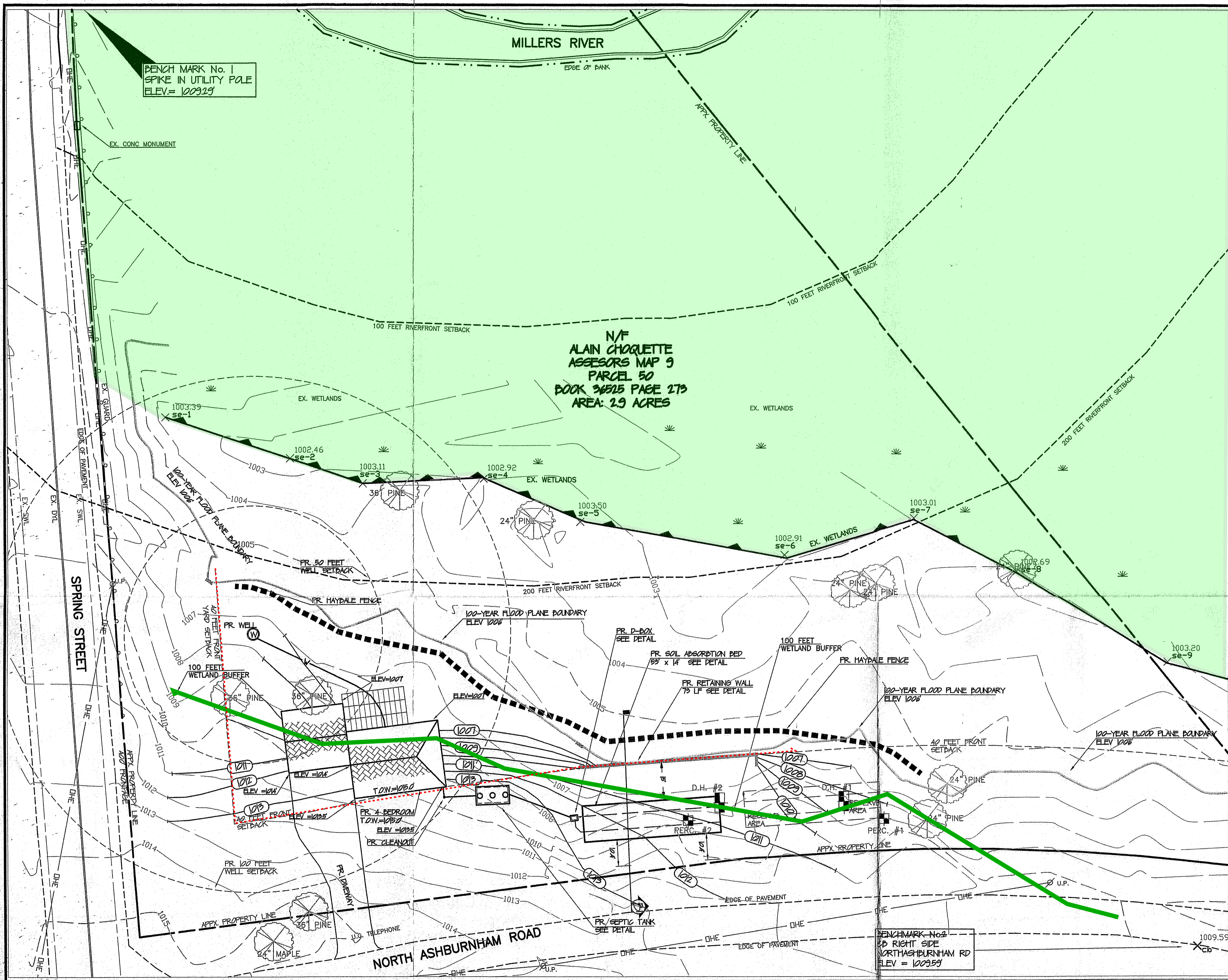
JOB NO. 18012

Legal Notice
Winchendon Conservation Commission

Pursuant to the provisions of M.G.L. Chapter 131, Section 40, and the Town of Winchendon Wetlands Protection Bylaw, the Winchendon Conservation Commission will hold a public hearing on Thursday, February 11 at 6:20 pm to consider the Notice of Intent filed by Jamison VanDyke of Barkley Enterprises for proposed work within the 100-foot Buffer Zone to Bordering Vegetated Wetlands at 16 North Ashburnham Road, Assessor's Map 9, Lot 50. The proposed work includes construction of a single family home with related grading, septic system and well between 50' and 100' from the wetland. The hearing will be held remotely via www.zoom.com with meeting information posted on the agenda at least 48 hours in advance. Alternative translation and accommodation for disabled persons is available by advance request.

For additional information email amanugian@townofwinchendon.com.

February 4



BENCH MARK No. 1
SPIKE IN UTILITY POLE
ELEV = 100929

N/F
ALAIN CHOQUETTE
ASSESSORS MAP 9
PARCEL 50
BOOK 36815 PAGE 279
AREA: 2.9 ACRES

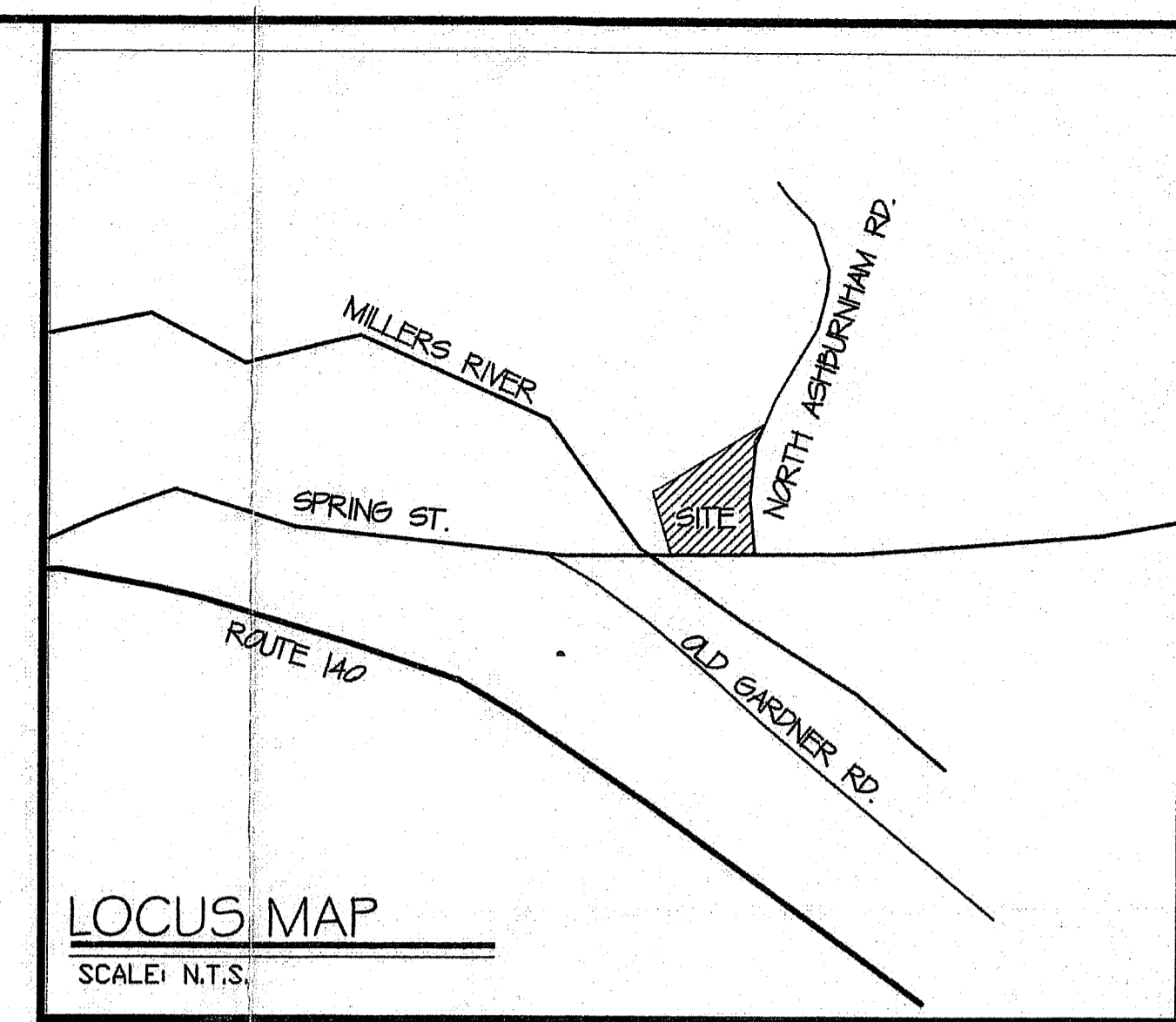
BENCH MARK No. 2
RD RIGHT SIDE
NORTH ASHURNHAM RD
ELEV = 100959

DATA NOTES:
1. BENCHMARK 1 WAS OBTAINED FROM THE MASSACHUSETTS HIGHWAY DEPARTMENT OFFICE DISTRICT TWO FROM AS BUILT PLANS DATED 2001 OF THE SPRING STREET BRIDGE BETWEEN OLD GARDNER ROAD AND NORTH ASHURNHAM ROAD.
2. DATUM CONVERSION OF THE BENCHMARK ELEVATION FROM NAVD83 TO NAVD29 WAS DONE WITH CORPCON VERSION 6.21 SOFTWARE.
3. CONVERSION FROM METERS TO FEET WAS DONE USING A CONVERSION OF 1 M = 3280.8 FT.
4. FLOOD PLANE ELEVATION WAS OBTAINED FROM FEMA'S FLOOD INSURANCE RATE MAP FOR WINCHENDON, MA PANEL 19 OF 30, COMMUNITY- PANEL NUMBER 250248 0019D DATED JUNE 15, 1982.

GENERAL NOTES:
1. THE TOPOGRAPHIC INFORMATION SHOWN IS FROM A SURVEY IN THE FIELD BY THIS OFFICE ON JUNE 03, 2005. THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY STATE OF FACTS THAT AN UP-TO-DATE TITLE REPORT MIGHT REVEAL. THIS IS NOT A PROPERTY LINE SURVEY.
2. THE LOCATION OF UNDERGROUND UTILITIES WAS DERIVED FROM FIELD SURVEY, LOCATION OF EXISTING SURFACE STRUCTURES, AND FROM PLANS OF RECORD. ALL LOCATIONS AREA APPROXIMATE ONLY. THIS PLAN DOES NOT NECESSARILY INDICATE ALL UNDERGROUND UTILITIES WITHIN THE LOCALS.
3. THIS SURVEY WAS PREPARED WITHOUT BENEFIT OF A TITLE REPORT AND IS SUBJECT TO ANY STATE OF FACTS THAT AN UP-TO-DATE TITLE REPORT MIGHT REVEAL.
4. PRIOR TO STARTING EXCAVATION WORK ON THE SITE, THE CONTRACTOR SHALL CONTACT DIG-SAFE (FOUR DAYS PRIOR TO WORK), TO HAVE ALL UTILITIES PROPERLY MARKED IN THE FIELD.
5. RIVERBANK LOCATION NOT FROM A FIELD SURVEY, DIGITIZED FROM AERIAL PHOTOGRAPHY.

LEGEND

	EXISTING 5' INTERVAL CONTOUR		PROPERTY LINE
	EXISTING 1' INTERVAL CONTOUR		SEPTIC TANK SEE DETAIL
	PROPOSED 1' INTERVAL CONTOUR		DISTRIBUTION BOX SEE DETAIL
	PROPOSED EDGE OF DRIVEWAY		PERCOLATION TEST & DEEP HOLE OBSERVATION LOCATIONS
	PROPOSED HAYBALE EROSION CONTROL BARRIER		PERC. #1
	PROPOSED WATER LINE		D.H. #1
	ZONING SETBACK		100-YEAR FLOOD PLANE ELEVATION 1006'
	WETLAND SETBACK		EXISTING GUARD RAIL
	EXISTING RIVERBANK		EXISTING WETLANDS LINE



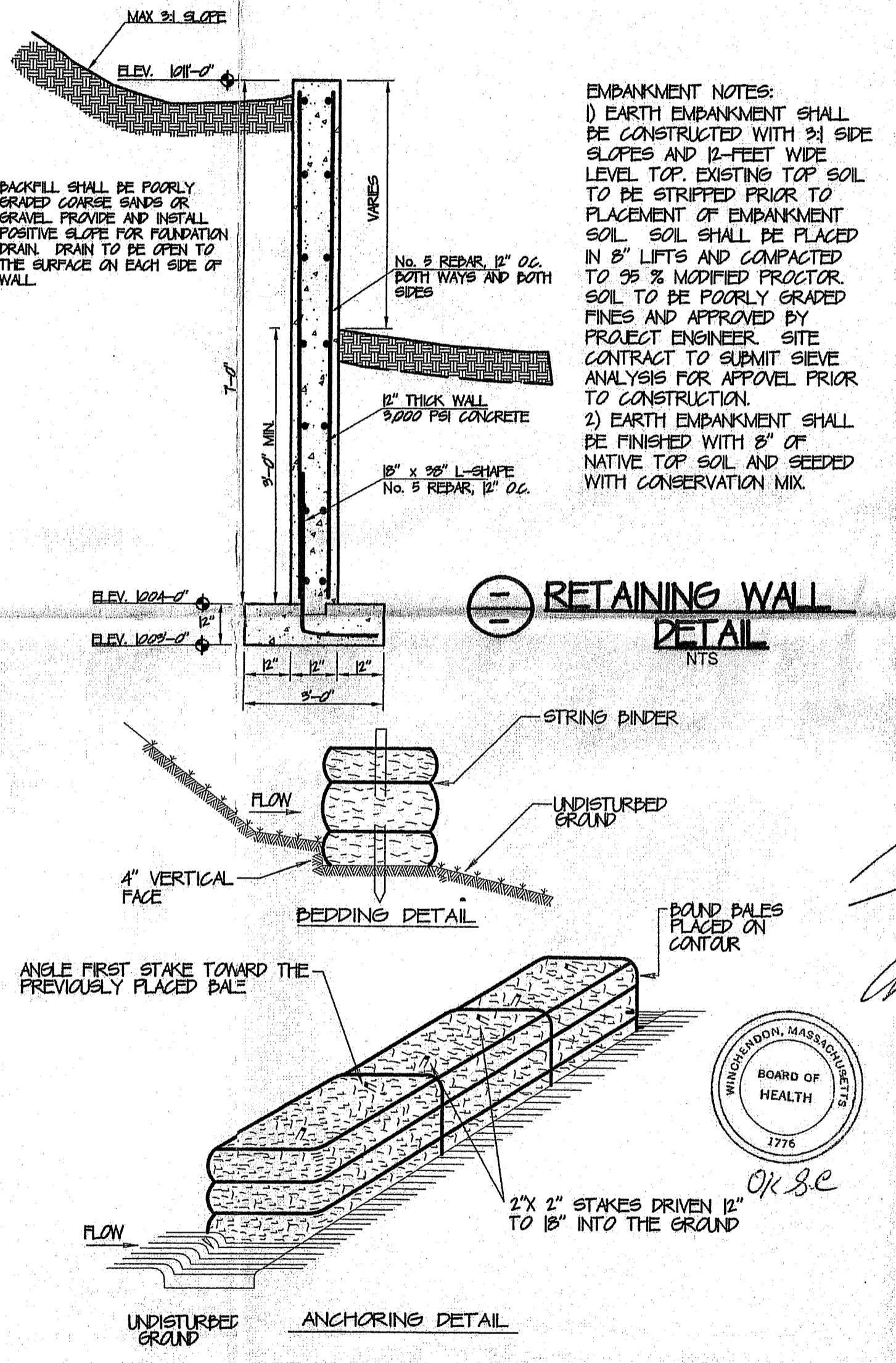
PROJECT DESCRIPTION:
FLOOD PLANE ANALYSIS
SPRING STREET
WINCHENDON, MASSACHUSETTS 01475

APPLICANT:
ALAIN CHOQUETTE
P.O. BOX 87
RINGE, NEW HAMPSHIRE 03461

SAGE ENGINEERING
ENGINEERING, SURVEYING, PERMITTING, SEPTIC,
SUPERVISIONS AND ENVIRONMENTAL SOLUTIONS
31 POWEROY ROAD
MONTMERY, MA 01085 TEL: 413-662-4455

7-21-05

ORIGINAL SEAL IS IN BLUE INK. COPIES ARE NOT VALID



RETAINING WALL DETAIL
N.T.S.

HAYBALE EROSION CONTROL BARRIER
SCALE: N.T.S.

DEPTH	HORIZON	SOIL TEXTURE
0-6"	Ap	SANDY LOAM
6-18"	Bw	LOAMY SAND
18-192"	C-1	M-F SAND

HIGH GROUND WATER: 27'
PERCOLATION RATE: 12 MIN. / INCH

DEPTH	HORIZON	SOIL TEXTURE
0-6"	Ap	SANDY LOAM
6-17"	Bw	LOAMY SAND
17-126"	C-1	M-F SAND

HIGH GROUND WATER: 27'
PERCOLATION RATE: 3 MIN. / INCH

SOIL EVALUATOR IS FRANK A. DEWARING P.E.
PERFORMED ON: 05/14/2005

C-1 EROSION CONTROL AND GRADING PLAN

REVISION DESCRIPTION

NO.	DATE	DESCRIPTION

PROJECT # 0056-05-05
DRAWN BY: DJB
DATE: 08-01-2005
SCALE: 1" = 20'
SHEET: C-1

Legal Notice
Winchendon Conservation Commission

Pursuant to the provisions of M.G.L. Chapter 131, Section 40, and the Town of Winchendon Wetlands Protection Bylaw, the Winchendon Conservation Commission will hold a public hearing on Thursday, February 11 at 6:25 pm to consider the Notice of Intent filed by Jonah Ketola of Alotek Contractors for proposed work within the 100-foot Buffer Zone to Bordering Vegetated Wetlands at 30 Madison Ave., Assessor's Map 12, Lot 95. The proposed work includes construction of a single family home and garage with related grading, fire cistern and well between 50' and 100' from the wetland. The hearing will be held remotely via www.zoom.com with meeting information posted on the agenda at least 48 hours in advance. Alternative translation and accommodation for disabled persons is available by advance request.

For additional information email amanugian@townofwinchendon.com.

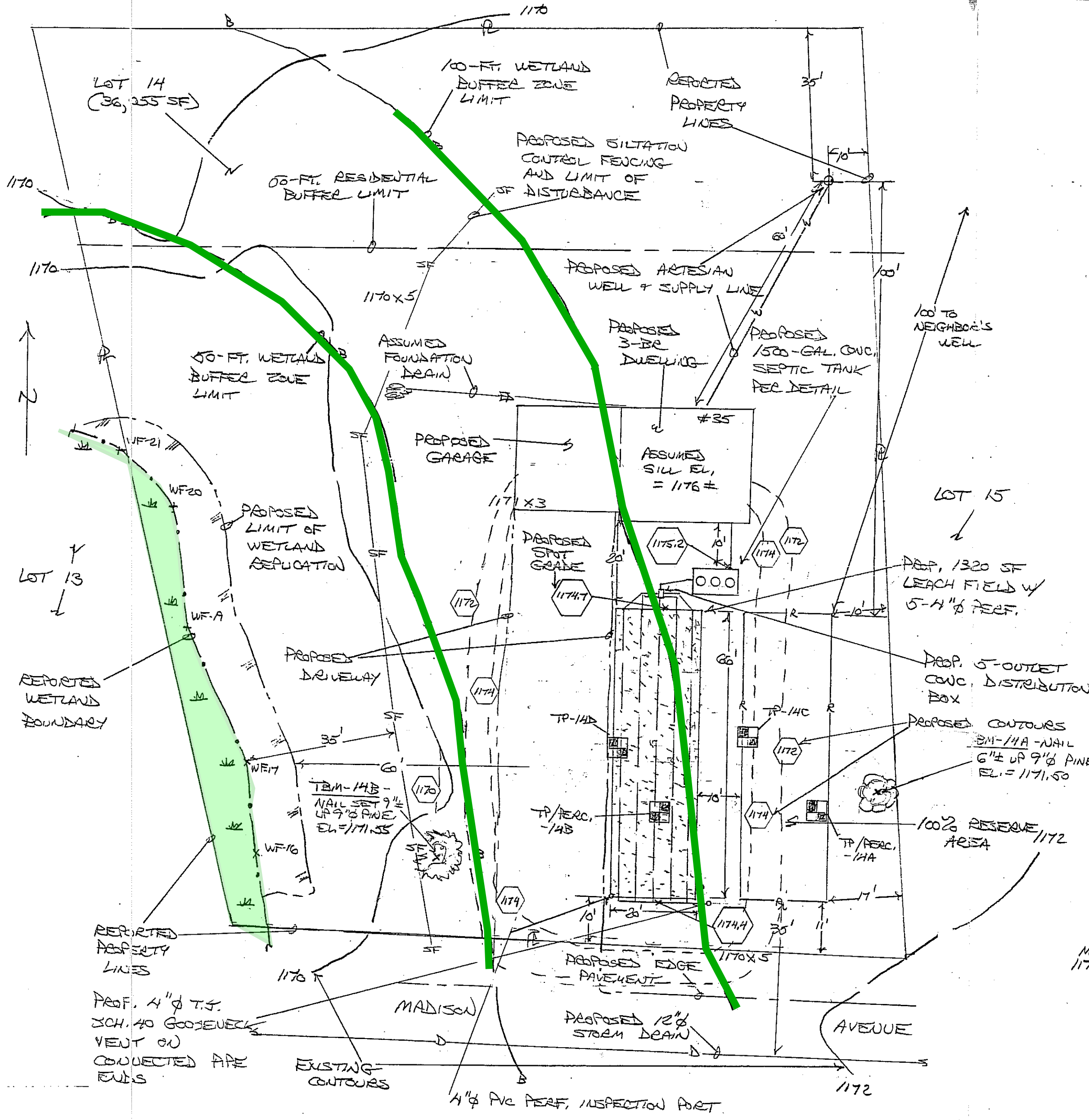
February 4

Legal Notice
Winchendon Conservation Commission

Pursuant to the provisions of M.G.L. Chapter 131, Section 40, and the Town of Winchendon Wetlands Protection Bylaw, the Winchendon Conservation Commission will hold a public hearing on Thursday, February 11 at 6:30 pm to consider the Notice of Intent filed by Jonah Ketola of Alotek Contractors for proposed work within the 100-foot Buffer Zone to Bordering Vegetated Wetlands at 35 Madison Ave., Assessor's Map 12, Lot 84. The proposed work includes construction of a single family home and garage with related grading, and septic system between 50' and 100' from the wetland. The hearing will be held remotely via www.zoom.com with meeting information posted on the agenda at least 48 hours in advance. Alternative translation and accommodation for disabled persons is available by advance request.

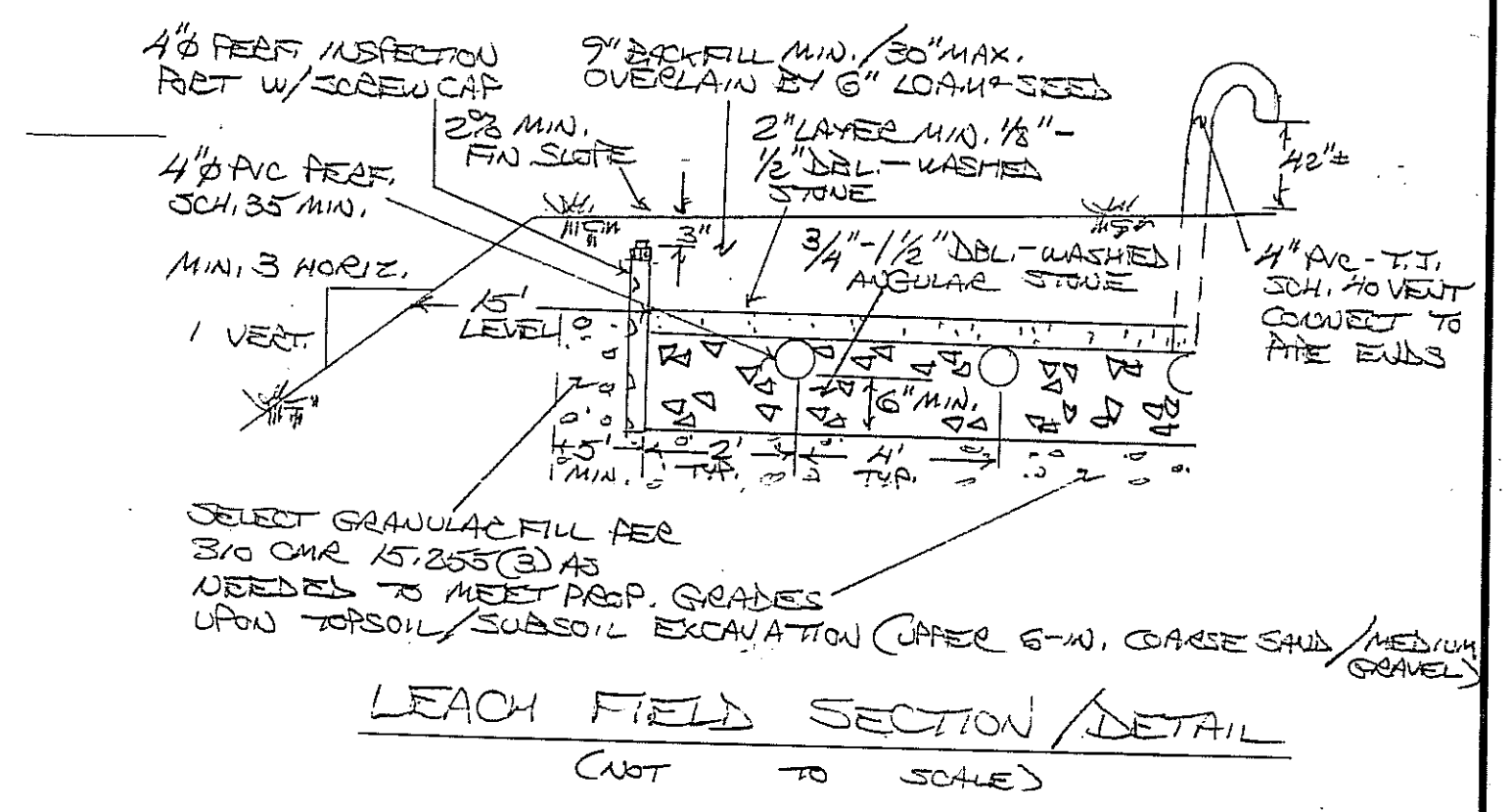
For additional information email amanugian@townofwinchendon.com.

February 4



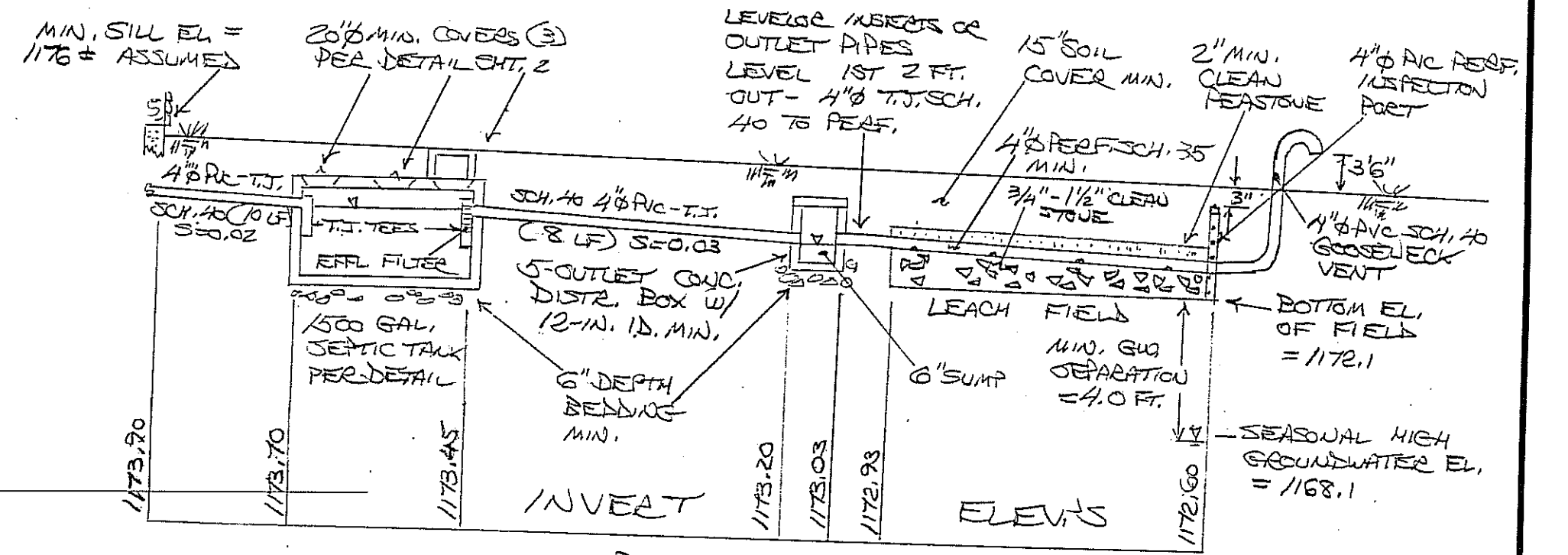
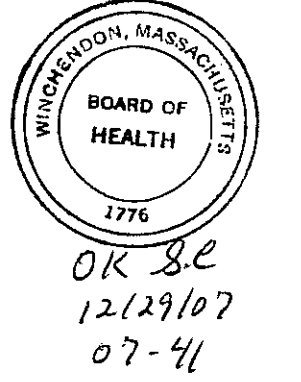
- 1172 --- = EXISTING CONTOURS
 --- (1172) --- = PROPOSED CONTOURS
 (11753) x = PROPOSED SPOT GRADES
 1170 x 5 = EXISTING SPOT GRADES
 WF-16 WF-17 = DEWEATED WETLAND RESOURCE BOUNDARY
 W = WETLAND BUFFER ZONE LIMIT

PLAN
 1" = 20'



TEST PIT LOGS
 (NOT TO SCALE)

TP-14A (SURF. EL. = 1171.1)	TP-14B (SURF. EL. = 1170.5)	TP-14C (SURF. EL. = 1170.7)	TP-14D (SURF. EL. = 1170.3)
0-8" (A) SANDY LOAM	0-10" (A) SANDY LOAM	0-1" (A) SANDY LOAM	0-10" (A) SANDY LOAM
8-28" (B) SANDY LOAM	10"-3" (B) SANDY LOAM	1'-3" (B) SANDY LOAM	10"-28" (B) SANDY LOAM
2 1/2"-9 1/4" (C) SANDY LOAM	3'-10" (C) SANDY LOAM	3'-8" (C) SANDY LOAM	2 1/2"-9" (C) SANDY LOAM
MOTTLING AT 3 1/6"	MOTTLING AT 3 1/4"	MOTTLING AT 3 1/4"	MOTTLING AT 3 1/2"
EST. SEASONAL HIGH GROUNDWATER AT 3' (EL. = 1168.1)	EST. SEASONAL HIGH GROUNDWATER AT 3' (EL. = 1167.5)	EST. SEASONAL HIGH GROUNDWATER AT 3 1/2" (EL. = 1167.6)	EST. SEASONAL HIGH GROUNDWATER AT 3 1/2" (EL. = 1167.1)
NO BEDROCK REFUSAL	NO BEDROCK REFUSAL	NO BEDROCK REFUSAL	NO BEDROCK REFUSAL
PERCOLATION RATE AT 3 1/4" DEPTH = 32 MIN./10"	PERCOLATION RATE AT 3 1/8" DEPTH = 32 MIN./10"	PERCOLATION RATE AT 3 1/8" DEPTH = 32 MIN./10"	PERCOLATION RATE AT 3 1/8" DEPTH = 32 MIN./10"
WEEPING AT 6'	WEEPING AT 6'	WEEPING AT 6 FT.	WEEPING AT 6'



PROFILE
 (NOT TO SCALE)

MARK W. POFHAM, R.S.
 21 HIGHLAND ST. ORANGE, MA
 01364 978.544.2770

PLAN OF PROPOSED SUBSURFACE SEWAGE DISPOSAL WORKS

SCALE: AS SHOWN	APPROVED BY:	DRAWN BY: MWP
DATE: JULY 21, 2007	SHT. 1 OF 2	REVISED: #6
# 35 MADISON AVENUE (LOT 14) - ERIC M. OLSON		
WINCHENDON, MASSACHUSETTS	DRAWING NUMBER: SOT-02.WJE	

Legal Notice
Winchendon Conservation Commission

Pursuant to the provisions of M.G.L. Chapter 131, Section 40, and the Town of Winchendon Wetlands Protection Bylaw, the Winchendon Conservation Commission will hold a public hearing on Thursday, February 11 at 6:35pm to consider the Notice of Intent filed by Jonah Ketola of Alotek Contractors for proposed work within the 100-foot Buffer Zone to Bordering Vegetated Wetlands at 51 Madison Ave., Assessor's Map 12, Lot 85. The proposed work includes construction of a single family home and garage with related grading, and septic system between 50' and 100' from the wetland. The hearing will be held remotely via www.zoom.com with meeting information posted on the agenda at least 48 hours in advance. Alternative translation and accommodation for disabled persons is available by advance request.

For additional information email amanugian@townofwinchendon.com.

February 4

Legal Notice
Winchendon Conservation Commission

Pursuant to the provisions of M.G.L. Chapter 131, Section 40, and the Town of Winchendon Wetlands Protection Bylaw, the Winchendon Conservation Commission will hold a public hearing on Thursday, February 11 at 6:40 pm to consider the Notice of Intent filed by Chris and Tracey Brennan of CTB Enterprises for proposed work within the 100-foot Buffer Zone to Bordering Vegetated Wetlands on Gardner Road, Assessor's Map 9, Lot 17. The proposed work includes grading, stormwater management, paved driveway and paved parking lot between 50' and 100' from the wetland in conjunction with a new commercial building. The hearing will be held remotely via www.zoom.com with meeting information posted on the agenda at least 48 hours in advance. Alternative translation and accommodation for disabled persons is available by advance request.

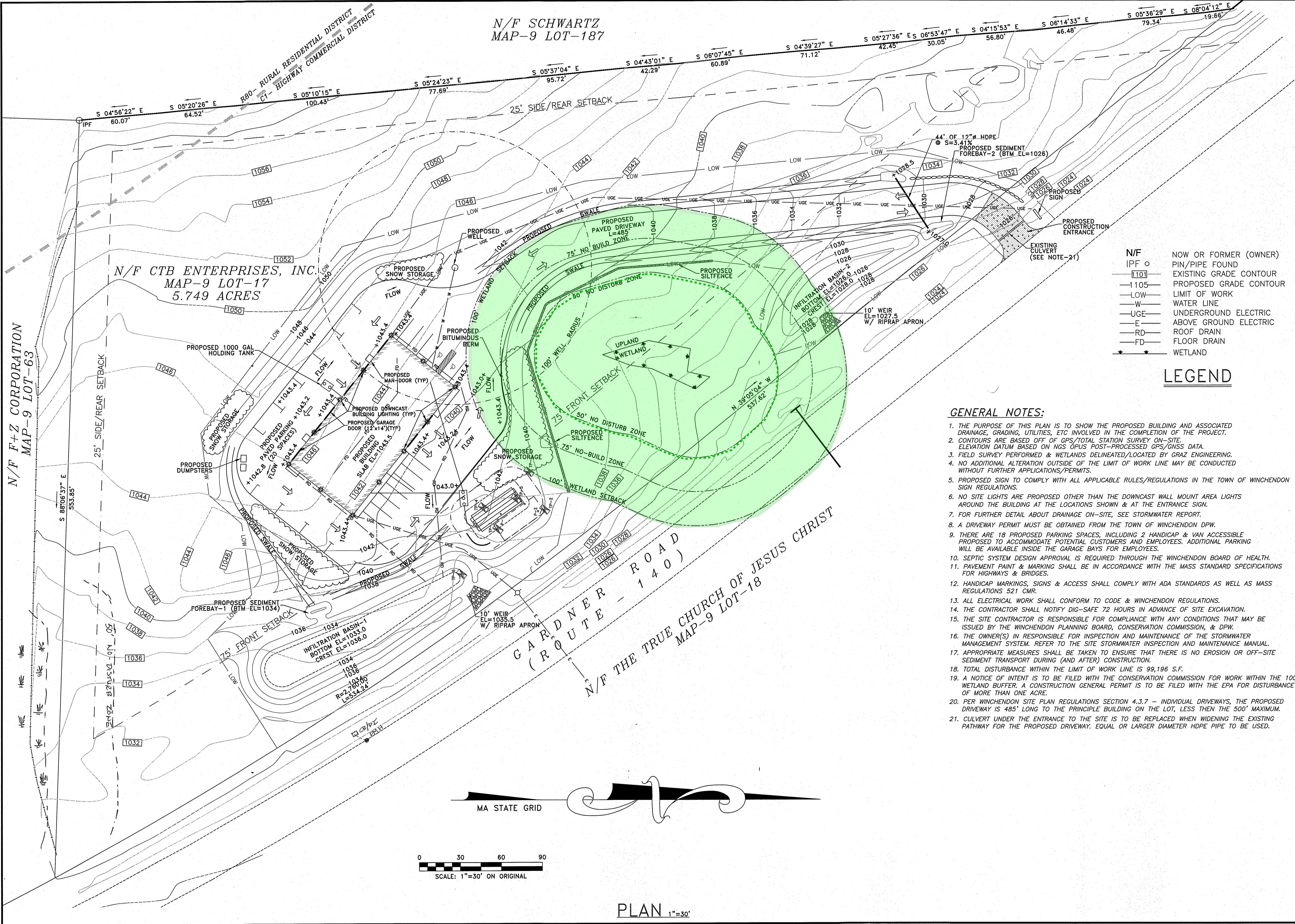
For additional information email amanugian@townofwinchendon.com.

February 4

N/F SCHWARTZ
MAP-9 LOT-187

N/F CTB ENTERPRISES, INC.
MAP-9 LOT-17
5.749 ACRES

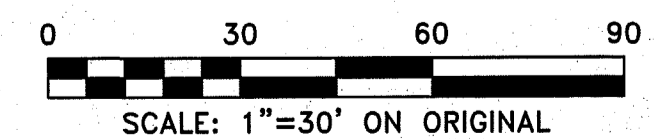
N/F F+Z CORPORATION
MAP-9 LOT-63



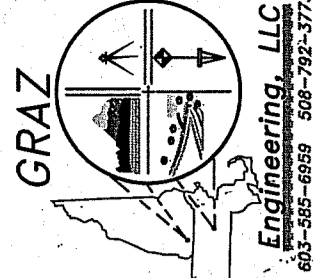
LEGEND

N/F	NOW OR FORMER (OWNER)
IPF	PIN/PIPE FOUND
101	EXISTING GRADE CONTOUR
1105	PROPOSED GRADE CONTOUR
LOW	LIMIT OF WORK
W	WATER LINE
UGE	UNDERGROUND ELECTRIC
E	ABOVE GROUND ELECTRIC
RD	ROOF DRAIN
FD	FLOOR DRAIN
WETLAND	WETLAND

- GENERAL NOTES:**
1. THE PURPOSE OF THIS PLAN IS TO SHOW THE PROPOSED BUILDING AND ASSOCIATED DRAINAGE, GRADING, UTILITIES, ETC INVOLVED IN THE COMPLETION OF THE PROJECT.
 2. CONTOURS ARE BASED OFF OF GPS TOTAL STATION SURVEY ON-SITE. ELEVATION DATUM BASED ON NGS OPUS POST-PROCESSED GPS/ONSET DATA.
 3. FIELD SURVEY PERFORMED & WETLANDS DELINEATED/LOCATED BY GRAZ ENGINEERING.
 4. NO ADDITIONAL ALTERATION OUTSIDE OF THE LIMIT OF WORK LINE MAY BE CONDUCTED WITHOUT FURTHER APPLICATIONS/PERMITS.
 5. PROPOSED SIGN TO COMPLY WITH ALL APPLICABLE RULES/REGULATIONS IN THE TOWN OF WINCHENDON SIGN REGULATIONS.
 6. NO SITE LIGHTS ARE PROPOSED OTHER THAN THE DOWNCAST WALL MOUNT AREA LIGHTS AROUND THE BUILDING AT THE LOCATIONS SHOWN & AT THE ENTRANCE SIGN.
 7. FOR FURTHER DETAIL ABOUT DRAINAGE ON-SITE, SEE STORMWATER REPORT.
 8. A DRIVEWAY PERMIT MUST BE OBTAINED FROM THE TOWN OF WINCHENDON DPW.
 9. THERE ARE 18 PROPOSED PARKING SPACES, INCLUDING 2 HANDICAP & VAN ACCESSIBLE PROPOSED TO ACCOMMODATE POTENTIAL CUSTOMERS AND EMPLOYEES. ADDITIONAL PARKING WILL BE AVAILABLE INSIDE THE GARAGE BAYS FOR EMPLOYEES.
 10. SEPTIC SYSTEM DESIGN APPROVAL IS REQUIRED THROUGH THE WINCHENDON BOARD OF HEALTH.
 11. PAVEMENT PAINT & MARKING SHALL BE IN ACCORDANCE WITH THE MASS STANDARD SPECIFICATIONS FOR HIGHWAYS & BRIDGES.
 12. HANDICAP MARKINGS, SIGNS & ACCESS SHALL COMPLY WITH ADA STANDARDS AS WELL AS MASS REGULATIONS 521 CMR.
 13. ALL ELECTRICAL WORK SHALL CONFORM TO CODE & WINCHENDON REGULATIONS.
 14. THE CONTRACTOR SHALL NOTIFY DIG-SAFE 72 HOURS IN ADVANCE OF SITE EXCAVATION.
 15. THE SITE CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ANY CONDITIONS THAT MAY BE ISSUED BY THE WINCHENDON PLANNING BOARD, CONSERVATION COMMISSION, & DPW.
 16. THE OWNER(S) IS RESPONSIBLE FOR INSPECTION AND MAINTENANCE OF THE STORMWATER MANAGEMENT SYSTEM. REFER TO THE SITE STORMWATER INSPECTION AND MAINTENANCE MANUAL.
 17. APPROPRIATE MEASURES SHALL BE TAKEN TO ENSURE THAT THERE IS NO EROSION OR OFF-SITE SEDIMENT TRANSPORT DURING (AND AFTER) CONSTRUCTION.
 18. TOTAL DISTURBANCE WITHIN THE LIMIT OF WORK LINE IS 99,196 S.F.
 19. A NOTICE OF INTENT IS TO BE FILED WITH THE CONSERVATION COMMISSION FOR WORK WITHIN THE 100' WETLAND BUFFER. A CONSTRUCTION GENERAL PERMIT IS TO BE FILED WITH THE EPA FOR DISTURBANCE OF MORE THAN ONE ACRE.
 20. PER WINCHENDON SITE PLAN REGULATIONS SECTION 4.3.7 - INDIVIDUAL DRIVEWAYS, THE PROPOSED DRIVEWAY IS 485' LONG TO THE PRINCIPLE BUILDING ON THE LOT, LESS THEN THE 500' MAXIMUM.
 21. CULVERT UNDER THE ENTRANCE TO THE SITE IS TO BE REPLACED WHEN WIDENING THE EXISTING PATHWAY FOR THE PROPOSED DRIVEWAY. EQUAL OR LARGER DIAMETER HDPE PIPE TO BE USED.



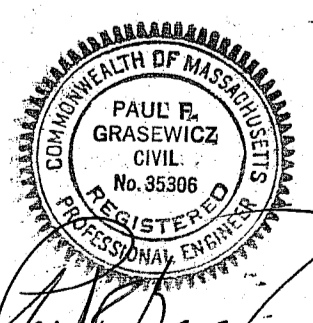
PLAN 1"=30'



GRAZ Engineering, LLC
323 WEST LAKE ROAD; FITZWILLIAM, NH 03447
TEL: (603) 686-9869 WWW.GRAZENGINEERING.COM

ROOTER-MAN: SITE PLAN
PROPOSED GENERAL SITE PLAN
PREPARED FOR: CTB ENTERPRISES, INC.

SCALE AS-NOTED
DRAWN BY T. FLETCHER
DATE DECEMBER 2, 2020
REVISED N/A



PAUL R. GRASSWICZ
CIVIL ENGINEER
No. 85306

DRAWING SET
SHEET 3 OF 6

GRAZ Engineering, LLC

323 West Lake Road • Fitzwilliam, NH 03447 • Telephone (603) 585-6959 • Fax (603) 585-6960
WWW.GRAZENGINEERING.COM

STORMWATER REPORT

Map-9 Lot-17 Gardner Road Winchendon, Massachusetts

January 26, 2021



PREPARED FOR:

CTB Enterprises, Inc.

236 Stowell Rd. Ashburnham, MA 01430



Checklist for Stormwater Report

A. Introduction

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A Stormwater Report must be submitted with the Notice of Intent permit application to document compliance with the Stormwater Management Standards. The following checklist is NOT a substitute for the Stormwater Report (which should provide more substantive and detailed information) but is offered here as a tool to help the applicant organize their Stormwater Management documentation for their Report and for the reviewer to assess this information in a consistent format. As noted in the Checklist, the Stormwater Report must contain the engineering computations and supporting information set forth in Volume 3 of the [Massachusetts Stormwater Handbook](#). The Stormwater Report must be prepared and certified by a Registered Professional Engineer (RPE) licensed in the Commonwealth.

The Stormwater Report must include:

- The Stormwater Checklist completed and stamped by a Registered Professional Engineer (see page 2) that certifies that the Stormwater Report contains all required submittals.¹ This Checklist is to be used as the cover for the completed Stormwater Report.
- Applicant/Project Name
- Project Address
- Name of Firm and Registered Professional Engineer that prepared the Report
- Long-Term Pollution Prevention Plan required by Standards 4-6
- Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan required by Standard 8²
- Operation and Maintenance Plan required by Standard 9

In addition to all plans and supporting information, the Stormwater Report must include a brief narrative describing stormwater management practices, including environmentally sensitive site design and LID techniques, along with a diagram depicting runoff through the proposed BMP treatment train. Plans are required to show existing and proposed conditions, identify all wetland resource areas, NRCS soil types, critical areas, Land Uses with Higher Potential Pollutant Loads (LUHPPL), and any areas on the site where infiltration rate is greater than 2.4 inches per hour. The Plans shall identify the drainage areas for both existing and proposed conditions at a scale that enables verification of supporting calculations.

As noted in the Checklist, the Stormwater Management Report shall document compliance with each of the Stormwater Management Standards as provided in the Massachusetts Stormwater Handbook. The soils evaluation and calculations shall be done using the methodologies set forth in Volume 3 of the Massachusetts Stormwater Handbook.

To ensure that the Stormwater Report is complete, applicants are required to fill in the Stormwater Report Checklist by checking the box to indicate that the specified information has been included in the Stormwater Report. If any of the information specified in the checklist has not been submitted, the applicant must provide an explanation. The completed Stormwater Report Checklist and Certification must be submitted with the Stormwater Report.

¹ The Stormwater Report may also include the Illicit Discharge Compliance Statement required by Standard 10. If not included in the Stormwater Report, the Illicit Discharge Compliance Statement must be submitted prior to the discharge of stormwater runoff to the post-construction best management practices.

² For some complex projects, it may not be possible to include the Construction Period Erosion and Sedimentation Control Plan in the Stormwater Report. In that event, the issuing authority has the discretion to issue an Order of Conditions that approves the project and includes a condition requiring the proponent to submit the Construction Period Erosion and Sedimentation Control Plan before commencing any land disturbance activity on the site.



Checklist for Stormwater Report

B. Stormwater Checklist and Certification

The following checklist is intended to serve as a guide for applicants as to the elements that ordinarily need to be addressed in a complete Stormwater Report. The checklist is also intended to provide conservation commissions and other reviewing authorities with a summary of the components necessary for a comprehensive Stormwater Report that addresses the ten Stormwater Standards.

Note: Because stormwater requirements vary from project to project, it is possible that a complete Stormwater Report may not include information on some of the subjects specified in the Checklist. If it is determined that a specific item does not apply to the project under review, please note that the item is not applicable (N.A.) and provide the reasons for that determination.

A complete checklist must include the Certification set forth below signed by the Registered Professional Engineer who prepared the Stormwater Report.

Registered Professional Engineer's Certification

I have reviewed the Stormwater Report, including the soil evaluation, computations, Long-term Pollution Prevention Plan, the Construction Period Erosion and Sedimentation Control Plan (if included), the Long-term Post-Construction Operation and Maintenance Plan, the Illicit Discharge Compliance Statement (if included) and the plans showing the stormwater management system, and have determined that they have been prepared in accordance with the requirements of the Stormwater Management Standards as further elaborated by the Massachusetts Stormwater Handbook. I have also determined that the information presented in the Stormwater Checklist is accurate and that the information presented in the Stormwater Report accurately reflects conditions at the site as of the date of this permit application.

Registered Professional Engineer Block and Signature

Signature and Date

Checklist

Project Type: Is the application for new development, redevelopment, or a mix of new and redevelopment?

- New development
- Redevelopment
- Mix of New Development and Redevelopment



Checklist for Stormwater Report

Checklist (continued)

LID Measures: Stormwater Standards require LID measures to be considered. Document what environmentally sensitive design and LID Techniques were considered during the planning and design of the project:

- No disturbance to any Wetland Resource Areas
- Site Design Practices (e.g. clustered development, reduced frontage setbacks)
- Reduced Impervious Area (Redevelopment Only)
- Minimizing disturbance to existing trees and shrubs
- LID Site Design Credit Requested:
 - Credit 1
 - Credit 2
 - Credit 3
- Use of "country drainage" versus curb and gutter conveyance and pipe
- Bioretention Cells (includes Rain Gardens)
- Constructed Stormwater Wetlands (includes Gravel Wetlands designs)
- Treebox Filter
- Water Quality Swale
- Grass Channel
- Green Roof
- Other (describe): _____

Standard 1: No New Untreated Discharges

- No new untreated discharges
- Outlets have been designed so there is no erosion or scour to wetlands and waters of the Commonwealth
- Supporting calculations specified in Volume 3 of the Massachusetts Stormwater Handbook included.



Checklist for Stormwater Report

Checklist (continued)

Standard 2: Peak Rate Attenuation

- Standard 2 waiver requested because the project is located in land subject to coastal storm flowage and stormwater discharge is to a wetland subject to coastal flooding.
- Evaluation provided to determine whether off-site flooding increases during the 100-year 24-hour storm.
- Calculations provided to show that post-development peak discharge rates do not exceed pre-development rates for the 2-year and 10-year 24-hour storms. If evaluation shows that off-site flooding increases during the 100-year 24-hour storm, calculations are also provided to show that post-development peak discharge rates do not exceed pre-development rates for the 100-year 24-hour storm.

Standard 3: Recharge

- Soil Analysis provided.
- Required Recharge Volume calculation provided.
- Required Recharge volume reduced through use of the LID site Design Credits.
- Sizing the infiltration, BMPs is based on the following method: Check the method used.
 - Static
 - Simple Dynamic
 - Dynamic Field¹
- Runoff from all impervious areas at the site discharging to the infiltration BMP.
- Runoff from all impervious areas at the site is *not* discharging to the infiltration BMP and calculations are provided showing that the drainage area contributing runoff to the infiltration BMPs is sufficient to generate the required recharge volume.
- Recharge BMPs have been sized to infiltrate the Required Recharge Volume.
- Recharge BMPs have been sized to infiltrate the Required Recharge Volume *only* to the maximum extent practicable for the following reason:
 - Site is comprised solely of C and D soils and/or bedrock at the land surface
 - M.G.L. c. 21E sites pursuant to 310 CMR 40.0000
 - Solid Waste Landfill pursuant to 310 CMR 19.000
 - Project is otherwise subject to Stormwater Management Standards only to the maximum extent practicable.
- Calculations showing that the infiltration BMPs will drain in 72 hours are provided.
- Property includes a M.G.L. c. 21E site or a solid waste landfill and a mounding analysis is included.

¹ 80% TSS removal is required prior to discharge to infiltration BMP if Dynamic Field method is used.



Checklist for Stormwater Report

Checklist (continued)

Standard 3: Recharge (continued)

- The infiltration BMP is used to attenuate peak flows during storms greater than or equal to the 10-year 24-hour storm and separation to seasonal high groundwater is less than 4 feet and a mounding analysis is provided.
- Documentation is provided showing that infiltration BMPs do not adversely impact nearby wetland resource areas.

Standard 4: Water Quality

The Long-Term Pollution Prevention Plan typically includes the following:

- Good housekeeping practices;
 - Provisions for storing materials and waste products inside or under cover;
 - Vehicle washing controls;
 - Requirements for routine inspections and maintenance of stormwater BMPs;
 - Spill prevention and response plans;
 - Provisions for maintenance of lawns, gardens, and other landscaped areas;
 - Requirements for storage and use of fertilizers, herbicides, and pesticides;
 - Pet waste management provisions;
 - Provisions for operation and management of septic systems;
 - Provisions for solid waste management;
 - Snow disposal and plowing plans relative to Wetland Resource Areas;
 - Winter Road Salt and/or Sand Use and Storage restrictions;
 - Street sweeping schedules;
 - Provisions for prevention of illicit discharges to the stormwater management system;
 - Documentation that Stormwater BMPs are designed to provide for shutdown and containment in the event of a spill or discharges to or near critical areas or from LUHPPL;
 - Training for staff or personnel involved with implementing Long-Term Pollution Prevention Plan;
 - List of Emergency contacts for implementing Long-Term Pollution Prevention Plan.
- A Long-Term Pollution Prevention Plan is attached to Stormwater Report and is included as an attachment to the Wetlands Notice of Intent.
 - Treatment BMPs subject to the 44% TSS removal pretreatment requirement and the one inch rule for calculating the water quality volume are included, and discharge:
 - is within the Zone II or Interim Wellhead Protection Area
 - is near or to other critical areas
 - is within soils with a rapid infiltration rate (greater than 2.4 inches per hour)
 - involves runoff from land uses with higher potential pollutant loads.
 - The Required Water Quality Volume is reduced through use of the LID site Design Credits.
 - Calculations documenting that the treatment train meets the 80% TSS removal requirement and, if applicable, the 44% TSS removal pretreatment requirement, are provided.



Checklist for Stormwater Report

Checklist (continued)

Standard 4: Water Quality (continued)

- The BMP is sized (and calculations provided) based on:
 - The ½" or 1" Water Quality Volume or
 - The equivalent flow rate associated with the Water Quality Volume and documentation is provided showing that the BMP treats the required water quality volume.
- The applicant proposes to use proprietary BMPs, and documentation supporting use of proprietary BMP and proposed TSS removal rate is provided. This documentation may be in the form of the propriety BMP checklist found in Volume 2, Chapter 4 of the Massachusetts Stormwater Handbook and submitting copies of the TARP Report, STEP Report, and/or other third party studies verifying performance of the proprietary BMPs.
- A TMDL exists that indicates a need to reduce pollutants other than TSS and documentation showing that the BMPs selected are consistent with the TMDL is provided.

Standard 5: Land Uses With Higher Potential Pollutant Loads (LUHPPLs)

- The NPDES Multi-Sector General Permit covers the land use and the Stormwater Pollution Prevention Plan (SWPPP) has been included with the Stormwater Report.
- The NPDES Multi-Sector General Permit covers the land use and the SWPPP will be submitted **prior to** the discharge of stormwater to the post-construction stormwater BMPs.
- The NPDES Multi-Sector General Permit does **not** cover the land use.
- LUHPPLs are located at the site and industry specific source control and pollution prevention measures have been proposed to reduce or eliminate the exposure of LUHPPLs to rain, snow, snow melt and runoff, and been included in the long term Pollution Prevention Plan.
- All exposure has been eliminated.
- All exposure has **not** been eliminated and all BMPs selected are on MassDEP LUHPPL list.
- The LUHPPL has the potential to generate runoff with moderate to higher concentrations of oil and grease (e.g. all parking lots with >1000 vehicle trips per day) and the treatment train includes an oil grit separator, a filtering bioretention area, a sand filter or equivalent.

Standard 6: Critical Areas

- The discharge is near or to a critical area and the treatment train includes only BMPs that MassDEP has approved for stormwater discharges to or near that particular class of critical area.
- Critical areas and BMPs are identified in the Stormwater Report.



Checklist for Stormwater Report

Checklist (continued)

Standard 7: Redevelopments and Other Projects Subject to the Standards only to the maximum extent practicable

- The project is subject to the Stormwater Management Standards only to the maximum Extent Practicable as a:
 - Limited Project
 - Small Residential Projects: 5-9 single family houses or 5-9 units in a multi-family development provided there is no discharge that may potentially affect a critical area.
 - Small Residential Projects: 2-4 single family houses or 2-4 units in a multi-family development with a discharge to a critical area
 - Marina and/or boatyard provided the hull painting, service and maintenance areas are protected from exposure to rain, snow, snow melt and runoff
 - Bike Path and/or Foot Path
 - Redevelopment Project
 - Redevelopment portion of mix of new and redevelopment.
- Certain standards are not fully met (Standard No. 1, 8, 9, and 10 must always be fully met) and an explanation of why these standards are not met is contained in the Stormwater Report.
- The project involves redevelopment and a description of all measures that have been taken to improve existing conditions is provided in the Stormwater Report. The redevelopment checklist found in Volume 2 Chapter 3 of the Massachusetts Stormwater Handbook may be used to document that the proposed stormwater management system (a) complies with Standards 2, 3 and the pretreatment and structural BMP requirements of Standards 4-6 to the maximum extent practicable and (b) improves existing conditions.

Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control

A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan must include the following information:

- Narrative;
 - Construction Period Operation and Maintenance Plan;
 - Names of Persons or Entity Responsible for Plan Compliance;
 - Construction Period Pollution Prevention Measures;
 - Erosion and Sedimentation Control Plan Drawings;
 - Detail drawings and specifications for erosion control BMPs, including sizing calculations;
 - Vegetation Planning;
 - Site Development Plan;
 - Construction Sequencing Plan;
 - Sequencing of Erosion and Sedimentation Controls;
 - Operation and Maintenance of Erosion and Sedimentation Controls;
 - Inspection Schedule;
 - Maintenance Schedule;
 - Inspection and Maintenance Log Form.
- A Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan containing the information set forth above has been included in the Stormwater Report.



Checklist for Stormwater Report

Checklist (continued)

Standard 8: Construction Period Pollution Prevention and Erosion and Sedimentation Control (continued)

- The project is highly complex and information is included in the Stormwater Report that explains why it is not possible to submit the Construction Period Pollution Prevention and Erosion and Sedimentation Control Plan with the application. A Construction Period Pollution Prevention and Erosion and Sedimentation Control has **not** been included in the Stormwater Report but will be submitted **before** land disturbance begins.
- The project is **not** covered by a NPDES Construction General Permit.
- The project is covered by a NPDES Construction General Permit and a copy of the SWPPP is in the Stormwater Report.
- The project is covered by a NPDES Construction General Permit but no SWPPP been submitted. The SWPPP will be submitted BEFORE land disturbance begins.

Standard 9: Operation and Maintenance Plan

- The Post Construction Operation and Maintenance Plan is included in the Stormwater Report and includes the following information:
 - Name of the stormwater management system owners;
 - Party responsible for operation and maintenance;
 - Schedule for implementation of routine and non-routine maintenance tasks;
 - Plan showing the location of all stormwater BMPs maintenance access areas;
 - Description and delineation of public safety features;
 - Estimated operation and maintenance budget; and
 - Operation and Maintenance Log Form.
- The responsible party is **not** the owner of the parcel where the BMP is located and the Stormwater Report includes the following submissions:
 - A copy of the legal instrument (deed, homeowner's association, utility trust or other legal entity) that establishes the terms of and legal responsibility for the operation and maintenance of the project site stormwater BMPs;
 - A plan and easement deed that allows site access for the legal entity to operate and maintain BMP functions.

Standard 10: Prohibition of Illicit Discharges

- The Long-Term Pollution Prevention Plan includes measures to prevent illicit discharges;
- An Illicit Discharge Compliance Statement is attached;
- NO Illicit Discharge Compliance Statement is attached but will be submitted **prior to** the discharge of any stormwater to post-construction BMPs.

STORMWATER OPERATION & MAINTENANCE MANUAL

CTB Enterprises- Rooterman Site

Map-9 Lot-17; Gardner Road; Winchendon, MA 01475

Owner: CTB Enterprises, Inc.

Owner Address: 236 Stowell Road; Ashburnham, MA 01430

Phone: 978-827-6060

This following manual outlines the inspection and maintenance requirements associated with stormwater management elements at the site. The owner, Chris Brennan, shall provide the required construction controls as well as the inspections, operations and long-term maintenance for the term of his ownership. Any successor in title to the property shall also be bound by the requirements as described herein and/or as specified by the Town of Winchendon Planning Board and/or the Conservation Commission.

The Owner/operator shall review and be responsible for any requirements contained in the Stormwater Pollution Prevention Plan (SWPPP), and compliant with NPDES General Permit Conditions.

The site stormwater practices are enumerated below. Inspection and maintenance sheets are provided for each location. Refer to the BMP ID Plan for the location of the site Stormwater Management System.

- A- Conveyance Swales**
- B- Sediment Forebay**
- C- Infiltration Basins**
- D- Outlet Protection**
- E- Culverts**
- F- Silt-Fencing**
- G- De-Icing Log**
- H- Invasive Species**

low velocities can act as sediment traps, add extra capacity to address sediment accumulation without reducing design capacity. Add an extra 0.3 to 0.5 feet of freeboard depth, if sediment accumulation is expected. Use side slopes of 3:1 or flatter to prevent side slope erosion. Make the longitudinal slope of the channel as flat as possible and not greater than 5%.

Install check dams in drainage channels when necessary to achieve velocities of 5 feet per second or less. See check dam section of this Handbook <<LINK>>. Do not use earthen check dams because they tend to erode on the downstream side, and it is difficult to establish and maintain grass on the dams. The maximum ponding time behind the check dam should not exceed 24 hours. Use outlet protection at discharge points from a drainage channel to prevent scour at the outlet.

The design for the drainage channel must include access for maintenance. When located along a highway, provide a breakdown lane with a width of 15 feet. When located along a street, off-street parking can be doubled up as the access, provided signs are posted indicating no parking is allowed during maintenance periods. When locating drainage channels adjacent to pervious surfaces, include a 15-foot wide grass strip to provide access for maintenance trucks.

Construction

Use temporary erosion and sediment controls during construction. Soil amendments, such as using aged compost that contains no biosolids, may be needed to encourage vegetation growth. Select a vegetation mix that suits the characteristics of the site. Seeding will require mulching with appropriate materials, such as mulch matting, straw, wood chips, other natural blankets, or synthetic blankets. Anchor blanket immediately after seeding. Provide new seedlings with adequate water until they are well established. Refer to the "Massachusetts Erosion and Sediment Control Guidelines for Urban and Suburban Areas: A Guide for Planners, Designers, and Municipal Officials" <<LINK>> on sediment/erosion control for information regarding seeding, mulching, and use of blankets.

Maintenance

The maintenance and inspection schedule should take into consideration the effectiveness of the drainage channel. Inspect drainage channels the first few months after construction to make sure that there is no rilling or gullying, and that vegetation in the channels is adequate. Thereafter, inspect the channel twice a year for slope integrity, soil moisture, vegetative health, soil stability, soil compaction, soil erosion, ponding, and sediment accumulation.

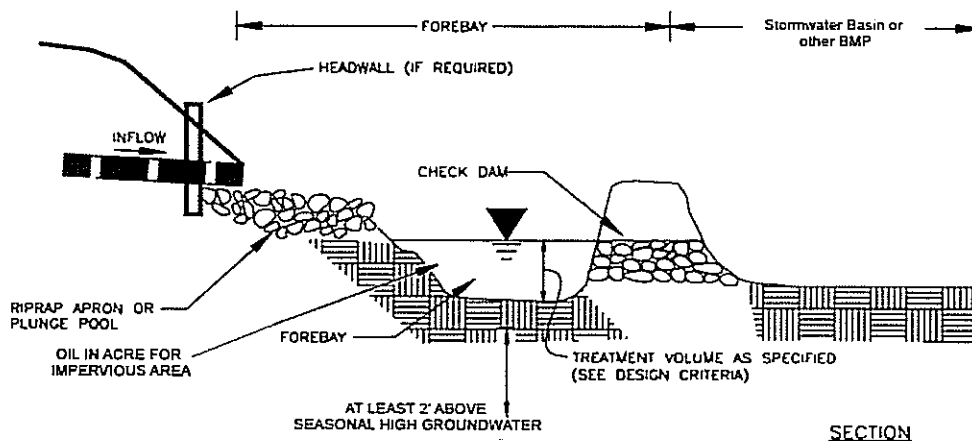
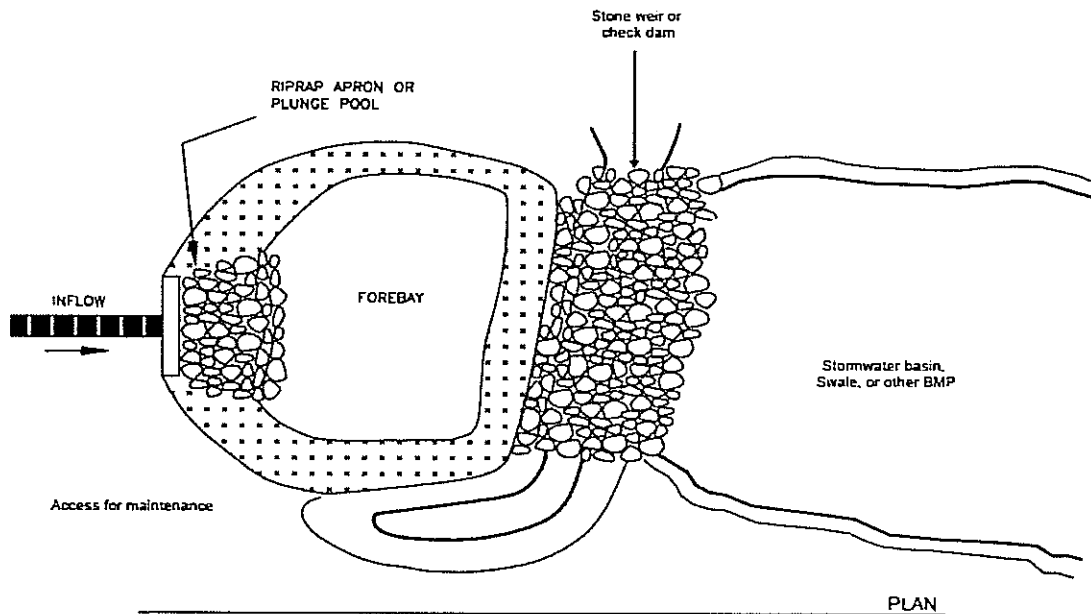
Regular maintenance tasks include mowing, fertilizing, liming, watering, pruning, weeding, and pest control. Mow channels at least once per year. Do not cut the grass shorter than three to four inches. Keep grass height under 6 inches to maintain the design depth necessary to serve as a conveyance. Do not mow excessively, because it may increase the design flow velocity.

Remove sediment and debris manually at least once per year. Re-seed periodically to maintain the dense growth of grass vegetation. Take care to protect drainage channels from snow removal procedures and off-street parking. When drainage channels are located on private residential property, the operation and maintenance plan must clearly specify the private property owner who is responsible for carrying out the required maintenance. If the operation and maintenance plan calls for maintenance of drainage channels on private properties to be performed by a public entity or an association (e.g. homeowners association), maintenance easements must be obtained.

Maintenance

Sediments and associated pollutants are removed only when sediment forebays are actually cleaned out, so regular maintenance is essential. Frequently removing accumulated sediments will make it less likely that sediments will be resuspended. At a minimum, inspect sediment forebays monthly and clean them out at least four times per year. Stabilize the floor and sidewalls of the sediment forebay before making it operational, otherwise the practice will discharge excess amounts of suspended

sediments. When mowing grasses, keep the grass height no greater than 6 inches. Set mower blades no lower than 3 to 4 inches. Check for signs of rilling and gulying and repair as needed. After removing the sediment, replace any vegetation damaged during the clean-out by either reseeding or re-sodding. When reseeding, incorporate practices such as hydroseeding with a tackifier, blanket, or similar practice to ensure that no scour occurs in the forebay, while the seeds germinate and develop roots.



CONSTRUCTION PERIOD SEDIMENT FOREBAYS SIZED 0.5" ACRE PER ENTIRE CONTRIBUTING DRAINAGE AREA

adapted from the Vermont Stormwater Handbook

the soils beneath the basin floor and side slopes and reduces infiltration capacity. Because some compaction of soils is inevitable during construction, add the required soil amendments and deeply till the basin floor with a rotary tiller or a disc harrow to a depth of 12 inches to restore infiltration rates after final grading.

Use proper erosion/sediment control during construction. Immediately following basin construction, stabilize the floor and side slopes of the basin with a dense turf of water-tolerant grass. Use low maintenance, rapidly germinating grasses, such as fescues. Do not sod the basin floor or side slopes. After the basin is completed, keep the basin roped or fenced off while construction proceeds on other parts of the site. Never direct construction period drainage to the infiltration basin. After construction is completed, do not direct runoff into the basin until the bottom and side slopes are fully stabilized.

Maintenance

Infiltration basins are prone to clogging and failure, so it is imperative to develop and implement aggressive maintenance plans and schedules. Installing the required pretreatment BMPs will significantly reduce maintenance requirements for the basin.

The Operation and Maintenance Plan required by Standard 9 must include inspections and preventive maintenance at least twice a year, and after every time drainage discharges through the high outlet orifice. The Plan must require inspecting the pretreatment BMPs in accordance with the minimal requirements specified for those practices and after every major storm event. A major storm event is defined as a storm that is equal to or greater than the 2-year, 24-hour storm (generally 2.9 to 3.6 inches in a 24-hour period, depending in geographic location in Massachusetts).

Once the basin is in use, inspect it after every major storm for the first few months to ensure it is stabilized and functioning properly and if necessary take corrective action. Note how long water remains standing in the basin after a storm; standing water within the basin 48 to 72 hours after a storm indicates that the infiltration capacity may have been overestimated. If the ponding is due to clogging, immediately address the reasons for the clogging (such as upland sediment erosion, excessive compaction of soils, or low spots).

Thereafter, inspect the infiltration basin at least twice per year. Important items to check during the inspection include:

- Signs of differential settlement,
- Cracking,
- Erosion,
- Leakage in the embankments
- Tree growth on the embankments
- Condition of riprap,
- Sediment accumulation and
- The health of the turf.

At least twice a year, mow the buffer area, side slopes, and basin bottom. Remove grass clippings and accumulated organic matter to prevent an impervious organic mat from forming. Remove trash and debris at the same time. Use deep tilling to break up clogged surfaces, and revegetate immediately.

Remove sediment from the basin as necessary, but wait until the floor of the basin is thoroughly dry. Use light equipment to remove the top layer so as to not compact the underlying soil. Deeply till the remaining soil, and revegetate as soon as possible. Inspect and clean pretreatment devices associated with basins at least twice a year, and ideally every other month.

References:

Center for Watershed Protection, http://www.stormwatercenter.net/Manual_Builder/Construction%20Specifications/Infiltration%20Trench%20Specifications.htm

Center for Watershed Protection, http://www.stormwatercenter.net/Manual_Builder/Performance%20Criteria/Infiltration.htm

Center for Watershed Protection, Stormwater Management Fact Sheet, Infiltration Basin, http://www.stormwatercenter.net/Assorted%20Fact%20Sheets/Tool6_Stormwater_Practices/Infiltration%20Practice/Infiltration%20Basin.htm

Ferguson, B.K., 1994. Stormwater Infiltration. CRC Press, Ann Arbor, MI.

or below the level of the adjacent grassed areas to ensure thorough drainage of these areas. When designing the channels, consider settlement of the lining and the adjacent areas, the potential for frost impacts on the lining and the potential for erosion or scour along the edges of the lining caused by bank-full velocities. Provide impervious linings with broken stone foundations and weep holes. Design the channel to maintain a low outflow discharge rate at the downstream end of the channel.

Use low-flow underdrains, connected to the principal outlet structure or other downstream discharge point, to promote thorough drying of the channel and the basin bottom. Consider the depth of the low flow channel when preparing the final bottom-grading plan.

Design dry detention basin side slopes to be no steeper than 3:1. Flatter slopes help to prevent erosion of the banks during larger storms, make routine bank maintenance tasks (such as mowing) easier, and allow access to the basin. Include a multi-stage outlet structure to provide an adequate level of water quality and flood control. To meet the water quantity control standards, use the required design storm runoff rates as outlet release rates.

Design the outlet to control the outflow rate without clogging. Locate the outlet structure in the embankment for maintenance, access, safety and aesthetics. Design the outlet to facilitate maintenance; the vital parts of the structures should be accessible during normal maintenance and emergency situations. Include a draw-down valve to allow the dry detention basin to completely drain within 24 hours. To prevent scour at the outlet, include a flow transition structure, such as a lined apron or plunge pad, to absorb the initial impact of the flow and reduce the velocity to a level that will not erode the receiving channel or area.

Design embankments and spillways in conformance with the state regulations for Dam Safety (302 CMR 10.00). All dry detention basins must have an emergency spillway capable of bypassing runoff from large storms without damaging the impounding structure. Provide an access for maintenance by public or private right-of-way, using a minimum width of 15 feet and a maximum slope of 5:1. This access should extend to the forebay, safety bench and outflow structure, and should never cross the emergency spillway, unless the spillway has been designed for that purpose. Use vegetative buffers

around the perimeter of the basin for erosion control and additional sediment and nutrient removal.

Maintenance

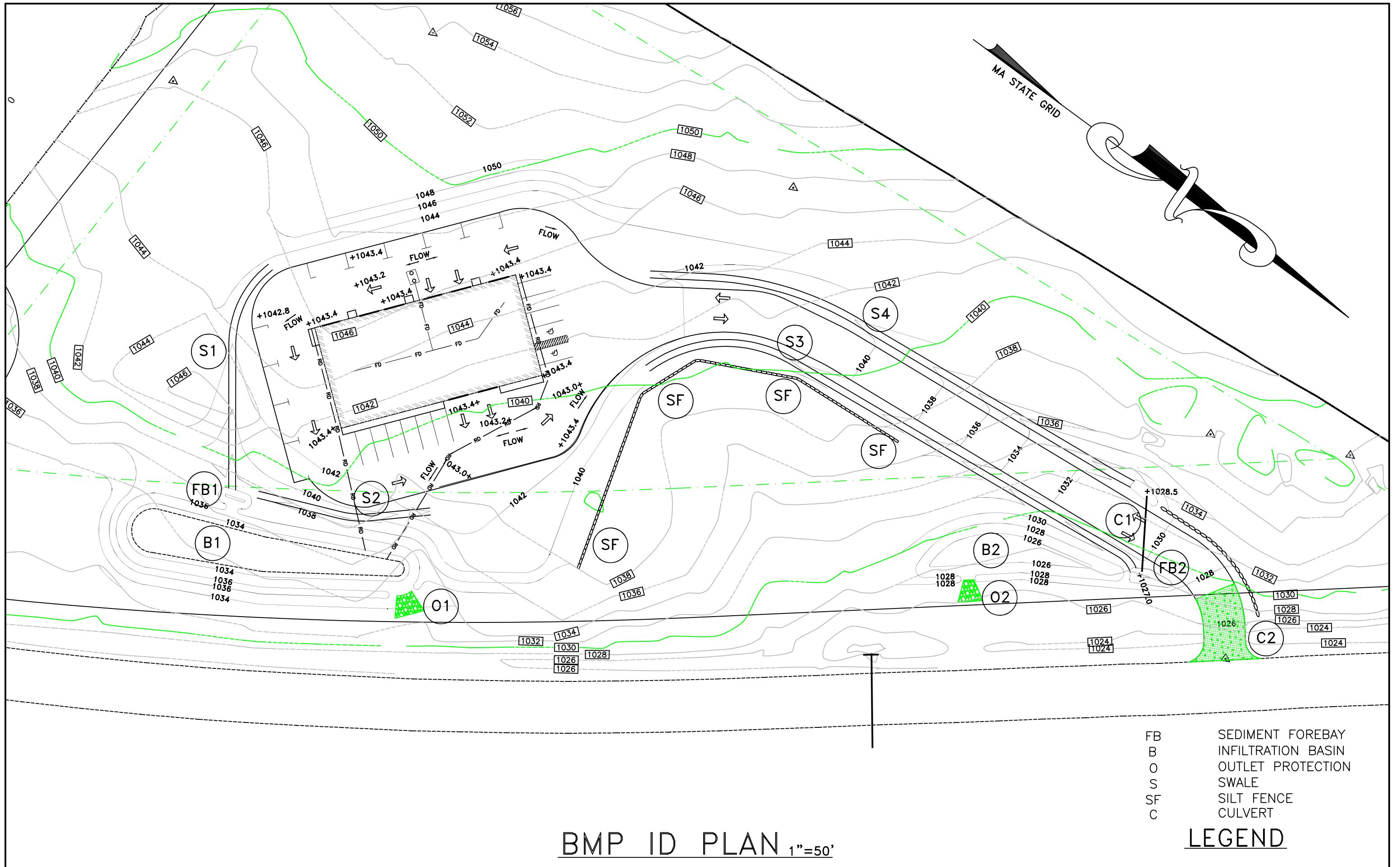
It is critical to provide access for maintenance, especially to the interior of the basin. Inspect dry detention basins at least once per year to ensure that they are operating as intended. Inspect basins during and after storms to determine if the basin is meeting the expected detention times. Inspect the outlet structure for evidence of clogging or outflow release velocities that are greater than design flow. Potential problems that should be checked include: subsidence, erosion, cracking or tree growth on the embankment; damage to the emergency spillway; sediment accumulation around the outlet; inadequacy of the inlet/outlet channel erosion control measures; changes in the condition of the pilot channel; and erosion within the basin and banks. Make any necessary repairs immediately. During inspections, note changes to the detention basin or the contributing watershed because these changes could affect basin performance. Mow the side slopes, embankment, and emergency spillway at least twice per year. Remove trash and debris at this time. Remove sediment from the basin as necessary, and at least once every 10 years or when the basin is 50% full. Provide for an on-site sediment disposal area to reduce the overall sediment removal costs.

Resources:

MassHighway. Stormwater handbook for Highways and Bridges. May 2004.
T.R. Schueler. Center for Watershed Protection. Design of Stormwater Pond Systems. 1996.

H – Invasive Species

If any invasive species begin to grow in the stormwater management practices, immediately call GRAZ Engineering (603)-585-6959 to be advised on actions to be taken regarding the specific invasive species.



BMP ID PLAN 1"=50'

- FB SEDIMENT FOREBAY
- B INFILTRATION BASIN
- O OUTLET PROTECTION
- S SWALE
- SF SILT FENCE
- C CULVERT

LEGEND

Legal Notice

Winchendon Conservation Commission

Pursuant to the provisions of M.G.L. Chapter 131, Section 40, and the Town of Winchendon Wetlands Protection Bylaw, the Winchendon Conservation Commission will hold a public hearing on Thursday, February 11, 2021 at 6:45 pm to consider the Notice of Intent filed by Vahe Bedian for proposed work within the 100-foot Buffer Zone to Bordering Vegetated Wetlands at 34 West Shore Drive, Assessor's Map 6, Lot 43. The proposed work is to construct a stone retaining wall near the lakeshore. The hearing will be held remotely via www.zoom.com, with login information on the agenda on the Town website. Alternative translation and accommodation for disabled persons is available by advance request.

For additional information email amanugian@townofwinchendon.com.

February 3

Why am I getting this notice?

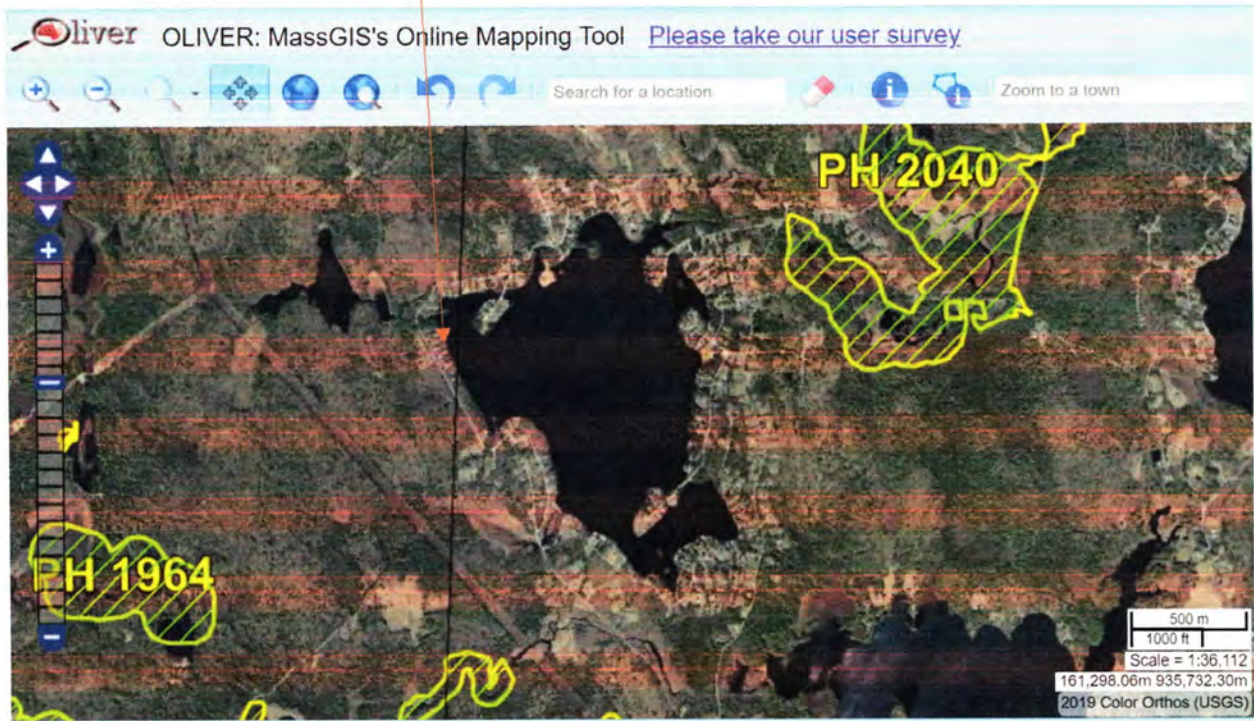
We send this notice to comply with Massachusetts law and/or local regulations that require notice to applicants, abutters and other parties in interest of a pending land issue, which may impact your property or neighborhood.

If this is a notice of public hearing or project application you have the right to attend the hearing and participate.

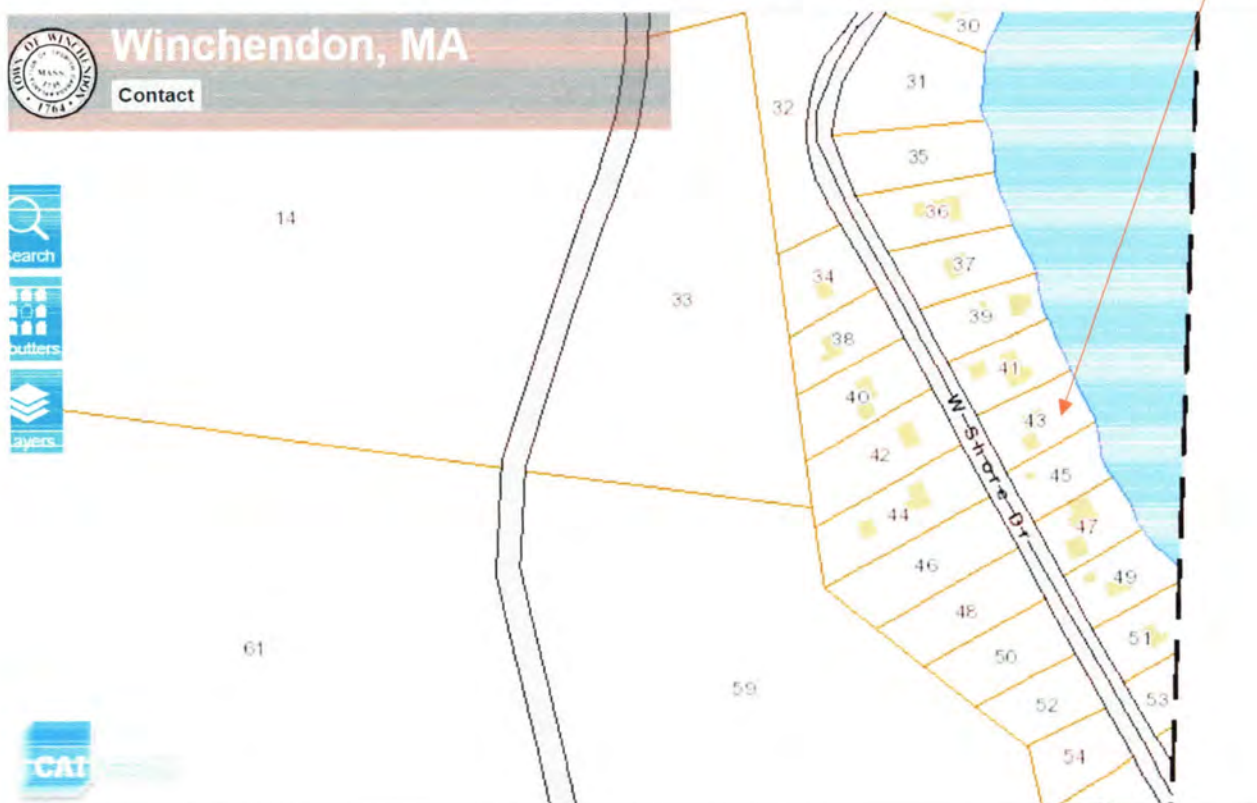
If this is a notice of decision you may have the right to appeal the decision within a limited time period.

If you have questions please email Alison Manugian at the address above.

Bedian proposed project location, not within Estimated Habitat of Rare Wildlife



Subject property on Winchendon Assessor's map



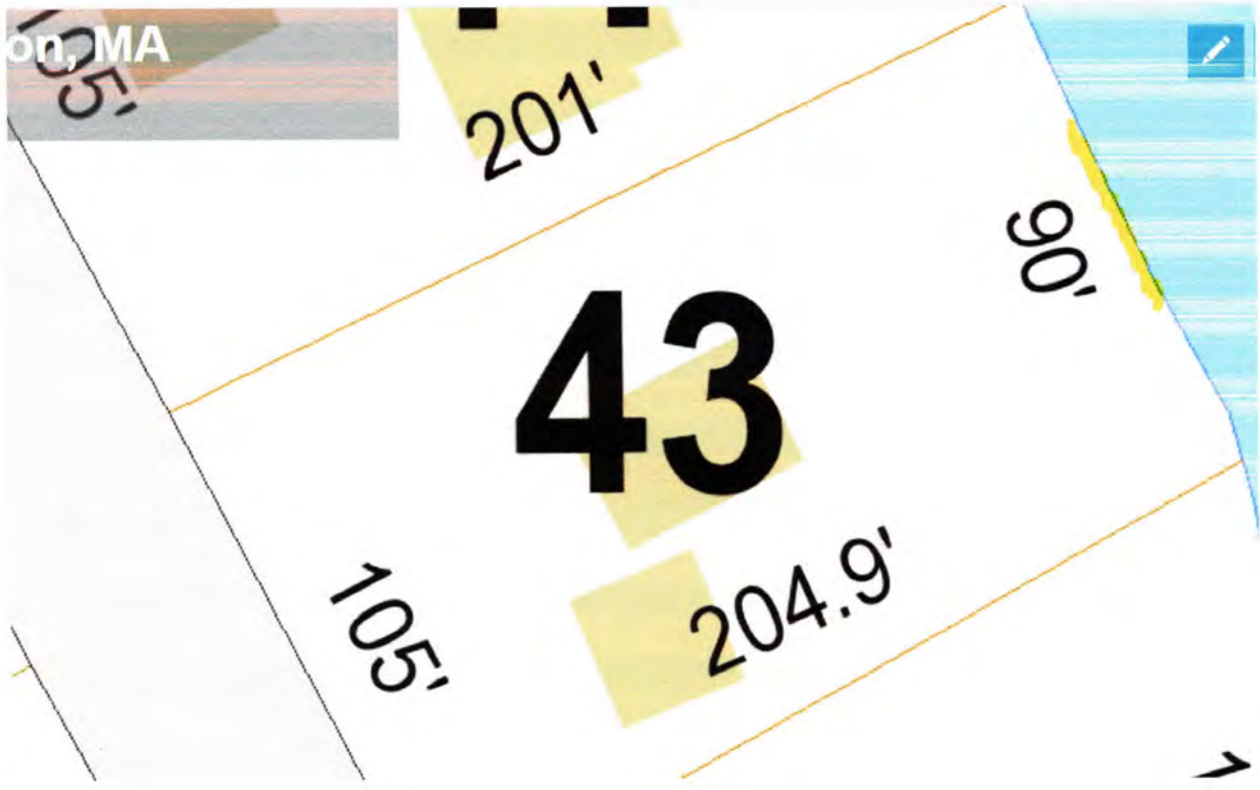
Views of current deteriorating rock wall from the lake



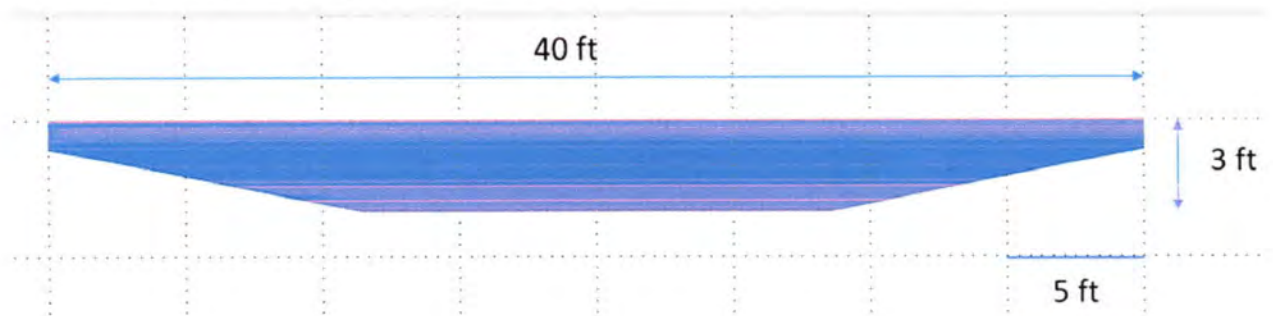
Yellow highlight on assessor map indicates approximate region where stone wall will be built, ~40 ft

Wall will be built on gravel footing

Wall height at center will be ~3ft, tapering towards the two sides, matching current contour of the shoreline, to minimize changes but provide better erosion control.



Front view of proposed wall (approx.)

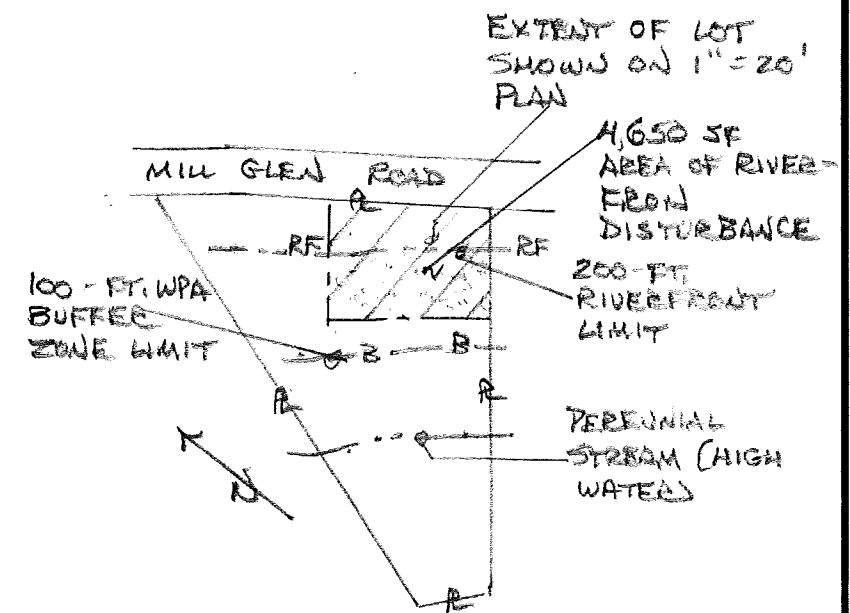
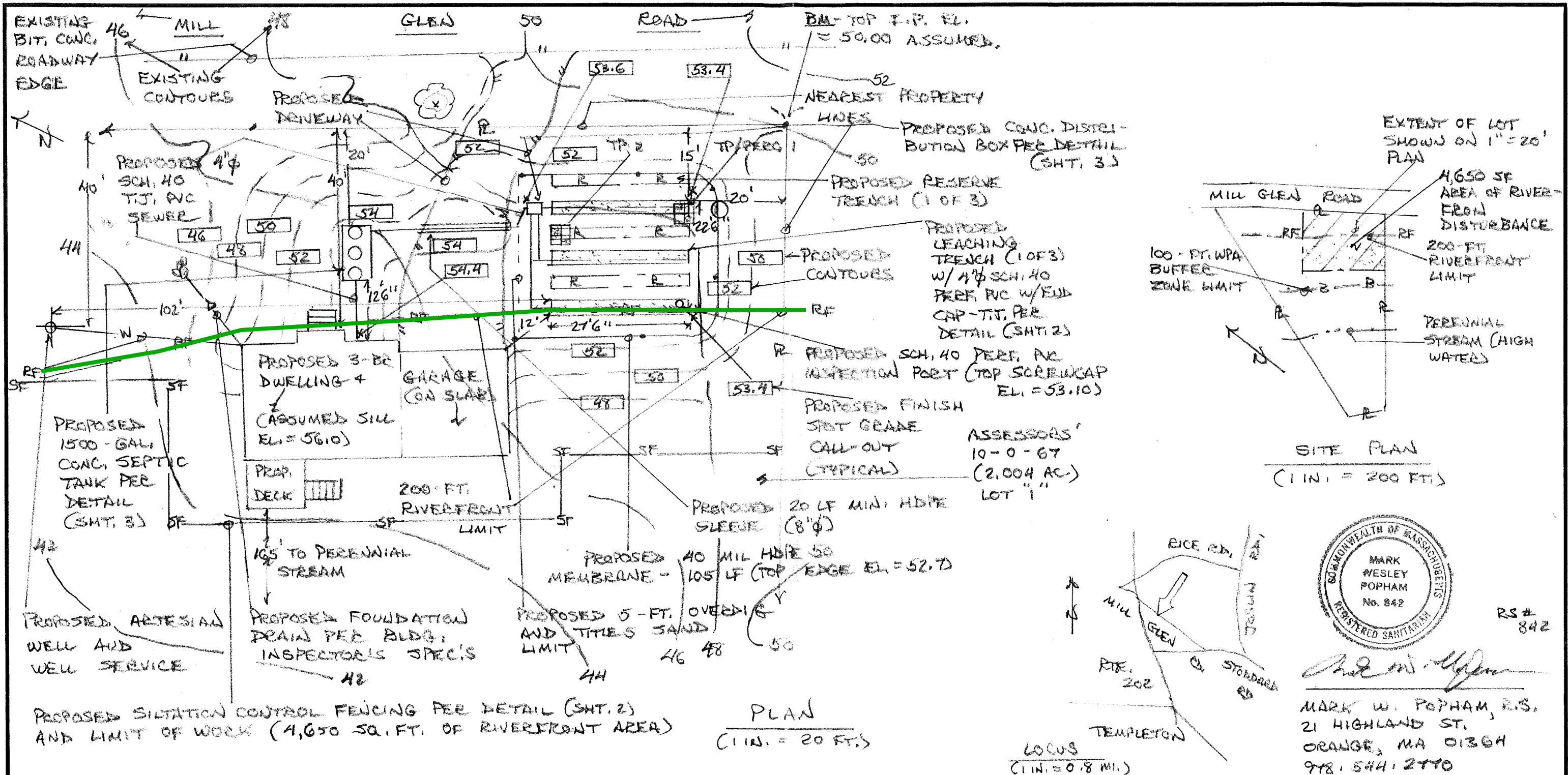


Legal Notice
Winchendon Conservation Commission

Pursuant to the provisions of M.G.L. Chapter 131, Section 40, and the Town of Winchendon Wetlands Protection Bylaw, the Winchendon Conservation Commission will hold a public hearing on Thursday, February 11 at 6:45 pm to consider the Notice of Intent filed by Matthew Olson of Ashoryn, LLC. for proposed work within the Riverfront Area at Lot 1 Mill Glen Road, Assessor's Map 10, Lot 67. The proposed work includes construction of a single family home and garage with related grading, and septic system between 150' and 200' from the river. The hearing will be held remotely via www.zoom.com with meeting information posted on the agenda at least 48 hours in advance. Alternative translation and accommodation for disabled persons is available by advance request.

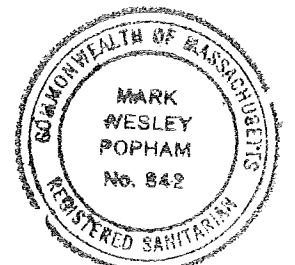
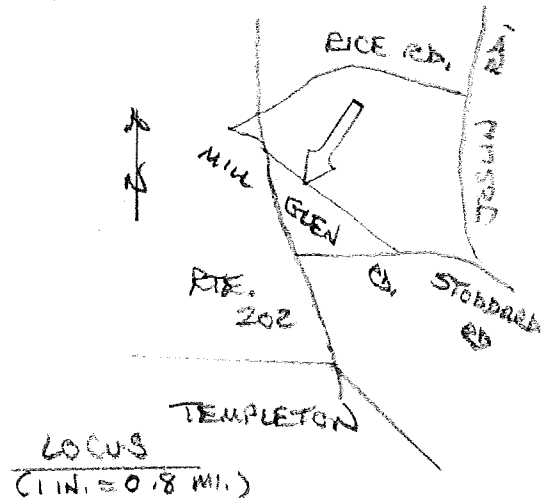
For additional information email amanugian@townofwinchendon.com.

February 4



SITE PLAN
(1 IN. = 200 FT.)

PLAN
(1 IN. = 20 FT.)



MARK W. POPHAM, R.S.
21 HIGHLAND ST.
ORANGE, MA 01364
978.544.2770

SITE PLAN / PLAN OF PROPOSED SUBSURFACE SEWAGE DISPOSAL SYSTEM		
SCALE: AS SHOWN	APPROVED BY: SHT. 1 OF 3	DRAWN BY MWP
DATE: DEC. 11, 2020		REVISED
ASHORYN, LLC • LOT 1, MILL GLEN ROAD		
WINCHENDON, MASSACHUSETTS	DRAWING NUMBER S20-7WI	

WPA Form 3 Narrative / Resource Delineation / Alternatives Analysis: Ashoryn, LLC – Lot 1 Mill Glen Rd., Winchendon, MA

The site is a 2.004 acre residentially-zoned lot recorded at the Registry of Deeds June 9, 1988, following ANR plan approval by the Winchendon Planning Board April 19, 1987. The parcel is bisected by an unnamed brook appearing on USGS quadrangle maps as a perennial stream. The 100-ft. buffer zone limit and 200-ft. Riverfront limits have been delineated on the accompanying Site Plan based upon the apparent high water mark / inland bank of the brook. No other DEP-mapped wetland resources have been identified on or within the vicinity of the proposed work. The project involves the construction of a 3-bedroom single family home / garage, with deck, driveway, Title 5 subsurface sewage disposal system, foundation drain, artesian well and utility connections on the parcel. Only an estimated 12,800 sf of the parcel falls outside of the 200-ft. Riverfront area, so no-build is the only alternative to the project. The Site Plan has been developed to minimize the extent of facilities placement within the Riverfront portion of the lot, including maintaining the minimum building setback of the residence from the public way allowed under local zoning (40 ft.) and limiting essentially all clearing / construction to 165 ft. from the stream. Only the dwelling / garage / deck and a small portion of the driveway comprising a total of 1,600 sf will be the only impervious areas within the Riverfront. The total proposed disruption of the Riverfront of 4,650 sq. ft. on the largely forested parcel comprises less than 6% of the overall lot size.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
WPA Form 9 – Enforcement Order
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

DEP File Number: _____

A. Violation Information

Important:
 When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



This Enforcement Order is issued by:

Town of Winchendon Conservation Commission
 Conservation Commission (Issuing Authority)

November 24, 2020
 Date

To:

Cindy Lu Fitch

Name of Violator

6 Island Rd Winchendon MA 01475

Address

1. Location of Violation:

Property Owner (if different)

Street Address

City/Town

Zip Code

Assessors Map/Plat Number

Parcel/Lot Number

2. Extent and Type of Activity (if more space is required, please attach a separate sheet):

Fill & grading within 100' buffer
to Lake Monomonic

B. Findings

The Issuing Authority has determined that the activity described above is in a resource area and/or buffer zone and is in violation of the Wetlands Protection Act (M.G.L. c. 131, § 40) and its Regulations (310 CMR 10.00), because:

- the activity has been/is being conducted in an area subject to protection under c. 131, § 40 or the buffer zone without approval from the issuing authority (i.e., a valid Order of Conditions or Negative Determination).



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
WPA Form 9 – Enforcement Order
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

DEP File Number: _____

B. Findings (cont.)

the activity has been/is being conducted in an area subject to protection under c. 131, § 40 or the buffer zone in violation of an issuing authority approval (i.e., valid Order of Conditions or Negative Determination of Applicability) issued to:

Name _____ Dated _____

File Number _____ Condition number(s) _____

The Order of Conditions expired on (date): _____ Date _____

The activity violates provisions of the Certificate of Compliance.

The activity is outside the areas subject to protection under MGL c.131 s.40 and the buffer zone, but has altered an area subject to MGL c.131 s.40.

Other (specify):

C. Order

The issuing authority hereby orders the following (check all that apply):

- The property owner, his agents, permittees, and all others shall immediately cease and desist from any activity affecting the Buffer Zone and/or resource areas.
- Resource area alterations resulting from said activity shall be corrected and the resource areas returned to their original condition.
- A restoration plan shall be filed with the issuing authority on or before _____ Date _____

for the following:

The restoration shall be completed in accordance with the conditions and timetable established by the issuing authority.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
WPA Form 9 – Enforcement Order
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

DEP File Number: _____

C. Order (cont.)

Complete the attached Notice of Intent (NOI). The NOI shall be filed with the Issuing Authority on or before:

Date December 21, 2020

for the following:

work completed, in progress & proposed for all of 6 Island Rd.

No further work shall be performed until a public hearing has been held and an Order of Conditions has been issued to regulate said work.

The property owner shall take the following action (e.g., erosion/sedimentation controls) to prevent further violations of the Act:

installation of silt fence + haybales along driveway, across front of deck to property line preventing wetland runoff impacts

Failure to comply with this Order may constitute grounds for additional legal action. Massachusetts General Laws Chapter 131, Section 40 provides: "Whoever violates any provision of this section (a) shall be punished by a fine of not more than twenty-five thousand dollars or by imprisonment for not more than two years, or both, such fine and imprisonment; or (b) shall be subject to a civil penalty not to exceed twenty-five thousand dollars for each violation". Each day or portion thereof of continuing violation shall constitute a separate offense.

D. Appeals/Signatures

An Enforcement Order issued by a Conservation Commission cannot be appealed to the Department of Environmental Protection, but may be filed in Superior Court.

Questions regarding this Enforcement Order should be directed to:

Alison Manugian

Name 978-297-5410

Phone Number M 830-6 Tu-Th 830-5

Hours/Days Available

Issued by:

Winchendon

Conservation Commission

Conservation Commission signatures required on following page.



Email dated 11/23/2020.



A. Violation Information

Important:
 When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



This Enforcement Order is issued by:

Town of Winchendon Conservation Commission 1/14/2021
 Conservation Commission (Issuing Authority) Date

To:

Philip White
 Name of Violator
16 Monomonac Road East
 Address

1. Location of Violation:

Property Owner (if different)
16 Monomonac Road East
 Street Address
Winchendon 01475
 City/Town Zip Code
11 3, 4, 5
 Assessors Map/Plat Number Parcel/Lot Number

2. Extent and Type of Activity (if more space is required, please attach a separate sheet):

Clearing of mature vegetation within Riverfront Area and within the 100' buffer of Lake Monomonac. Verbal permission was given to remove a 30' tall 'stump' from a previous tree in coordination with work done to clear for emergency septic repair. The work, and area of work has exceeded that permission.

B. Findings

The Issuing Authority has determined that the activity described above is in a resource area and/or buffer zone and is in violation of the Wetlands Protection Act (M.G.L. c. 131, § 40) and its Regulations (310 CMR 10.00), because:

the activity has been/is being conducted in an area subject to protection under c. 131, § 40 or the buffer zone without approval from the issuing authority (i.e., a valid Order of Conditions or Negative Determination).



WPA Form 9 – Enforcement Order

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

DEP File Number:

B. Findings (cont.)

the activity has been/is being conducted in an area subject to protection under c. 131, § 40 or the buffer zone in violation of an issuing authority approval (i.e., valid Order of Conditions or Negative Determination of Applicability) issued to:

Name _____ Dated _____

File Number _____ Condition number(s) _____

The Order of Conditions expired on (date): _____ Date _____

The activity violates provisions of the Certificate of Compliance.

The activity is outside the areas subject to protection under MGL c.131 s.40 and the buffer zone, but has altered an area subject to MGL c.131 s.40.

Other (specify):

C. Order

The issuing authority hereby orders the following (check all that apply):

The property owner, his agents, permittees, and all others shall immediately cease and desist from any activity affecting the Buffer Zone and/or resource areas.

Resource area alterations resulting from said activity shall be corrected and the resource areas returned to their original condition.

A restoration plan shall be filed with the issuing authority on or before _____ Date _____

for the following:

The restoration shall be completed in accordance with the conditions and timetable established by the issuing authority.



C. Order (cont.)

Complete the attached Notice of Intent (NOI). The NOI shall be filed with the Issuing Authority on or before:

_____ Date

for the following:

No further work shall be performed until a public hearing has been held and an Order of Conditions has been issued to regulate said work.

The property owner shall take the following action (e.g., erosion/sedimentation controls) to prevent further violations of the Act:

Immediate halt of all work. Discussions with DEP and the Conservation Agent will determine the appropriate next steps, restoration and/or filing of a Notice of Intent or other steps as warranted.

Failure to comply with this Order may constitute grounds for additional legal action. Massachusetts General Laws Chapter 131, Section 40 provides: "Whoever violates any provision of this section (a) shall be punished by a fine of not more than twenty-five thousand dollars or by imprisonment for not more than two years, or both, such fine and imprisonment; or (b) shall be subject to a civil penalty not to exceed twenty-five thousand dollars for each violation". Each day or portion thereof of continuing violation shall constitute a separate offense.

D. Appeals/Signatures

An Enforcement Order issued by a Conservation Commission cannot be appealed to the Department of Environmental Protection, but may be filed in Superior Court.

Questions regarding this Enforcement Order should be directed to:

Alison Manugian

_____ Name

978-297-5410

_____ Phone Number

M 8:30-6, Tu-Th 8:30-5

_____ Hours/Days Available

Issued by:

Town of Winchendon

_____ Conservation Commission

Conservation Commission signatures required on following page.

December 16, 2020

Winchendon Board of Selectman Chairperson
109 Front Street
Winchendon, MA 01475

Dear Board of Selectman Chairperson:

In compliance with 333 CMR 11.06, 45 Day Yearly Operational Plan Public Notice, Review and Comment, please review National Grid's Yearly Operational Plan (YOP) at the following website (hard copy available upon request): https://www9.nationalgridus.com/non_html/National%20Grid_2021%20YOP.pdf

Please review the enclosed YOP map(s) that locate the right-of-way corridors and the plotted location of known sensitive areas including public and private drinking water supplies. If there are any additional sensitive areas located on or near the rights-of-way, please advise us as soon as possible so we may establish permanent records and implement appropriate field protective actions. **We particularly rely on this process to collect corrections to the public wells and to record the location of private wells.**

A copy of the Environmental Monitor Notice is enclosed and published under the Massachusetts Environmental Policy Act (MEPA): <http://web1.env.state.ma.us/EEA/emepa/emonitor.aspx>

National Grid's YOP details specific information pertaining to the intended 2021 program. Please note that the YOP also lists the rights-of-way from the 2020 treatment program in case National Grid needs to request a "touch-up" retreatment of scattered locations from our contractor(s). If upon review of the previous year's treatments, National Grid finds a site(s) within your municipality that need follow-up treatments, this letter serves as notification of that follow-up treatment. The individual landowner(s) will be also be notified about this work. *Please note that scheduled rights-of-way are subject to change based on workplan constraints.*

This notification also serves as a 21 day herbicide application notification. As detailed in National Grid's Five Year Vegetation Management Plan (VMP) and Yearly Operational Plan (YOP), this treatment is conducted as a component of an integrated vegetation management (IVM) program that also utilizes mechanical and natural control techniques. National Grid's current Five Year Vegetation Management Plan (2019-2023) is posted at the following website (hard copy available upon request): https://www9.nationalgridus.com/non_html/National%20Grid%20VMP%202019-2023.pdf

As described in the VMP and YOP, the program will consist of a late winter-spring mechanical control, cut surface (CST), basal treatment, or dormant stem; a summer selective foliage or cut stubble, and, as necessary, fall CST, basal, or dormant stem treatments.

In compliance with 333 CMR 11.06-11.07, no herbicide applications will occur before the conclusion of the 45-day YOP review period, the 21 day treatment notice and the 48 hour newspaper notice. At the end of these review periods, which can run concurrently, no application shall commence more than ten days before nor conclude more than ten days after the treatment periods listed above.

Municipality: Winchendon

Potential Treatment Periods*

February 1, 2021 – May 30, 2021	May 30, 2021 - Oct 16, 2021	Oct 16, 2021 – Dec 31, 2021
CST	Foliar	CST
Basal	CST	Basal
Dormant stem	Basal	Dormant Stem
	Cut stubble	

* The exact treatment dates are dependent upon weather conditions and field crew progress.

Commonwealth of Massachusetts recommended herbicides for use in sensitive areas listed in Section 7 (pages 13-15) of the YOP will be selectively applied to target vegetation by experienced, Massachusetts' licensed/certified applicators that walk along the rights-of-way using backpack equipment. Copies of the manufacturers' herbicide labels and fact sheets are also included in the YOP, Appendices 8 and 9.

The work will be performed by one of the following vegetation management vendors:

Lewis Tree Service, Inc. 300 Lucius Gordon Drive West Henrietta, NY 14586 (585) 436-3208	Stanley Tree 662 Great Road North Smithfield, RI (401) 765-4677	Vegetation Control Service, Inc. 2342 Main Street Athol, MA 01331 (978) 249-5348
Lucas Tree Experts 12 Northbrook Drive Falmouth, ME 04105 (800) 339-8873	BiuRoc 15 Atwood Dr, Suite 301 Northampton, MA 01060 (413) 887-3653	

This informational 21-day notification follows Chapter 132B, section 6B of the Massachusetts General Laws, 333 CMR 11.05-11.07 Rights of Way Management and Chapter 85, Section 10 of the Acts of 2000. National Grid's vegetation management program is subject to federal and state regulations only. By statute, local permits or rulings are not applicable.

For inquiries concerning safety of the herbicides, please contact:

MDAR-Pesticide Division-ROW Coordinator
251 Causeway Street, Suite 500
Boston, MA 02114-2151
Telephone: (617) 626-1782

Please contact me if you have any questions about the application and monitoring of the vegetation management program. Email: mariclaire.rigby@nationalgrid.com Office: 508-860-6282

Sincerely,

Mariclaire Rigby
Lead Vegetation Strategy Specialist

Enclosures: Environmental Monitor Notice and Municipal Map(s)

CC: Board of Health, **Conservation Commission**, Private and Public Water Suppliers
Massachusetts Department of Agricultural Resources
Assigned vegetation management vendor

THE COMMONWEALTH OF MASSACHUSETTS

EXECUTIVE OFFICE OF ENERGY AND ENVIRONMENTAL AFFAIRS



Department of Agricultural Resources

251 Causeway Street, Suite 500, Boston, MA 02114
617-626-1700 fax: 617-626-1850 www.mass.gov/agr



CHARLES D. BAKER
Governor

KARYN E. POLITO
Lt. Governor

KATHLEEN A. THEOHARIDES
Secretary

JOHN LEBEAUX
Commissioner

NOTICE

Pursuant to the provisions of the Rights-of-Way Management Regulations, 333 CMR 11.00, to apply herbicides to control vegetation along rights-of-way, a five year Vegetation Management Plan (VMP) and a Yearly Operational Plan (YOP) must be approved by the Massachusetts Department of Agricultural Resources (MDAR). National Grid has submitted and holds a current VMP, therefore, notice of receipt of a YOP and procedures for public review is hereby given as required by Section 11.06 (3).

National Grid has submitted a YOP to MDAR for 2021 and National Grid's YOP identifies the following municipalities as locations where they intend to use herbicides to treat their electric Rights-of-Way in 2021:

Abington	Clinton	Lancaster	Norwell	Southborough
Andover	Cohasset	Lawrence	Oxford	Sterling
Ashburnham	Danvers	Leominster	Palmer	Stoughton
Attleboro	Dracut	Lowell	Peabody	Sturbridge
Auburn	Fitchburg	Mansfield	Pembroke	Sutton
Avon	Foxborough	Middleton	Pepperell	Swansea
Ayer	Georgetown	Milford	Plainville	Tewksbury
Belchertown	Gloucester	Millbury	Rehoboth	Tyngsboro
Beverly	Grafton	Monson	Rockland	Warren
Boxford	Groton	Newbury	Rockport	West Boylston
Boylston	Groveland	Newburyport	Rutland	Westminster
Brimfield	Hanover	North Adams	Salem	Winchendon
Brockton	Haverhill	North Andover	Scituate	Wrentham
Brookfield	Hingham	North Attleboro	Seekonk	
Charlton	Holden	North Reading	Shirley	
Chelmsford	Hull	Norton	Shrewsbury	

In 2021 National Grid will conduct a selective herbicide treatment program on their rights-of-way as part of an Integrated Vegetation Management (IVM) program on transmission and distribution lines.

The intended vegetation control program will be consistent with the guidelines set forth in National Grid's VMP and YOP. Herbicides will be selectively applied to target vegetation by licensed/certified applicators carrying backpack or hand held application equipment.

National Grid will only use herbicides recommended by MDAR for use in sensitive areas for their IVM program. Pursuant to 333 CMR 11.04, no herbicides will be sprayed within any designated "no spray sensitive sites." Instead, mechanical only methods will be used to control vegetation in these areas.

Public notification will be provided to each "affected" municipality at least twenty-one days prior to any herbicide application and in a newspaper notification at least 48 hours before the beginning of the spray season.

In accordance with 333 CMR 11.06 (2), National Grid's YOP includes the identification of target vegetation; methods of identifying, marking and protecting sensitive areas; application techniques; the herbicides, application rates, carriers and adjuvants proposed for use; alternative control measures, a list of the application companies and YOP supervisor; procedures for handling, mixing and loading herbicides; emergency resources including local, state and federal emergency telephone numbers; maps of the rights-of-way that include mapped sensitive areas, and herbicide fact sheets and labels.

PUBLIC REVIEW

MDAR seeks to verify the location of sensitive areas defined in Section 11.02 and reported in the YOP. MDAR itself has a limited ability to survey the geography, land use and water supplies in all the communities through which rights-of-way pass. Municipalities have most of this information readily available, and the particular knowledge with which to better certify the sensitive areas in their communities. MDAR, therefore, requests, and urges the assistance of the "affected" municipalities in reviewing the completeness and accuracy of the maps contained in the submitted YOP.

The YOP can be viewed on MDAR's website: <http://www.mass.gov/eea/agencies/agr/pesticides/vegetation-management-and-yearly-operation-plans.html> or National Grid's website: https://www9.nationalgridus.com/non_html/National%20Grid_2021%20YOP.pdf

MDAR has established the following procedures for this review:

Copies of the YOP and this *Notice* will be sent by the applicant to the Conservation Commission, Board of Health (or designated health agent), the Head of Government (Mayor, City Manager, Chair of the Board of Selectman) and appropriate water suppliers of each municipality where herbicides are to be applied during the calendar year of 2021; and if applicable, to the Natural Heritage Endangered Species Program of the Massachusetts Department of Fisheries and Wildlife, the Massachusetts Water Resource Authority and the Massachusetts Department of Conservation and Recreation. Municipal agencies and officials will have forty-five days, following receipt of the YOP, to review its map for inaccuracies and omissions in the location of "sensitive areas not readily identifiable in the field."

Municipal agencies and officials are requested to forward the YOP to the appropriate official(s) in their municipality who are qualified to certify the accuracy of the sensitive areas indicated on the maps. The maps should then be "corrected" and returned to the applicant and a copy should be sent to MDAR, at the address listed below, within the forty-five day review period. If a city or town needs more time to carry out this review, it should send a written request for an extension to MDAR and cite why there is a "good cause" for requesting additional time.

The applicant is required to make corrections and the corrected maps will be sent back to the city/town that requested the disputed changes within fifteen days of receipt of the request. MDAR will decide whether or not the YOP should be approved without the requested changes. MDAR will consider the "final approval" of a YOP individually for each municipality.

The twenty-one day public review period of the Municipal Notification Letter may serve concurrently with the forty-five day YOP review period in order to provide public notifications as required by 333 CMR 11.06-7, if the applicant has an approved VMP and if all the requisite city-town offices that received copies of the YOP completed their review and all corrections were duly made by the applicant and approved by MDAR.

A failure by the city/town to respond to the applicant's submission of the YOP within the forty-five day period will automatically be considered by MDAR to indicate agreement by the municipal officials with the sensitive area demarcations provided by the applicant in their YOP.

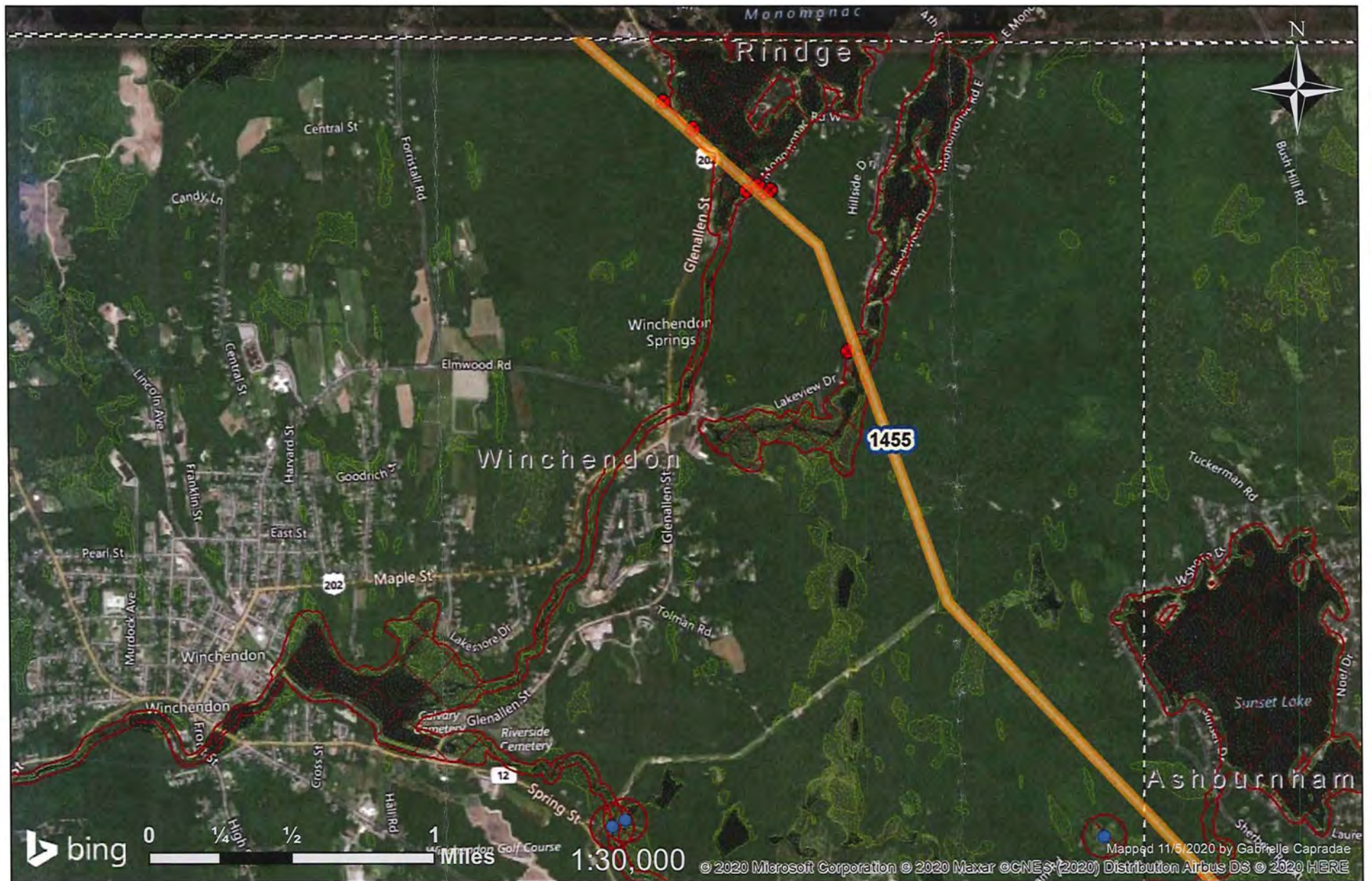
Any questions or comments on the information provided in this *Notice* and the procedures established for the municipal review outlined above should be addressed to:

Clayton Edwards, Rights-of-Way Programs
Massachusetts State Pesticide Bureau
251 Causeway Street, Suite 500
Boston, MA 02114-2151

Any questions or comments regarding the YOP should be addressed to:

Mariclaire Rigby
Lead Vegetation Strategy Specialist
National Grid Vegetation Management Strategy
939 Southbridge Street, Worcester, MA 01610

COMMENT PERIOD ENDS AT THE CLOSE OF BUSINESS (5pm) Friday, February 2, 2021



- Public Well
- Private Well
- Wetland
- Town Border
- Right-of-Way
- No Herbicide Use

Winchendon, MA

Right-of-Way 1455

Planned IVM Work 2021

nationalgrid

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 Mapped 11/5/2020 by Gabrielle Capradae