

TOWN OF WINCHENDON

WINCHENDON TOWN CLERK
RCUD JUN 29 2022 PM4:38

DAA

Conservation Commission



Telephone (978) 297-5410

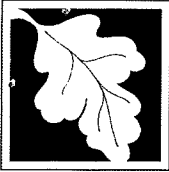
109 Front Street
Winchendon, Massachusetts 01475-1758

Legal Notice Winchendon Conservation Commission

Pursuant to the provisions of M.G.L. Chapter 131, Section 40, and the Town of Winchendon Wetlands Protection Bylaw, the Winchendon Conservation Commission will hold a public hearing on Thursday, July 14, 2022 at 6:55 pm to consider the Notice of Intent filed by applicant Dan Bertram, owner Jamison VanDyke, 67 Hill Street Assessors Map 5C1 Parcel 73. Construction of a driveway within the 200' riverfront buffer of the Miller's River to serve a single family dwelling outside of the riverfront buffer. Construction will result in 3,731 S.F. of new riverfront buffer disturbance. The hearing will be held in the Second Floor Auditorium at Town Hall - 109 Front St., Winchendon, MA 01475. Alternative translation and accommodation for disabled persons is available by advance request.

For additional information email mmarro@townofwinchendon.com.

July 6, 2022



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

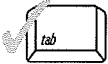
Document Transaction Number

Winchendon

City/Town

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

67 Hill Street	Winchendon	01475
a. Street Address	b. City/Town	c. Zip Code
Latitude and Longitude:	42.67742	-72.06556
	d. Latitude	e. Longitude
5C1	73	
f. Assessors Map/Plat Number	g. Parcel /Lot Number	

2. Applicant:

Dan	Bertram	
a. First Name	b. Last Name	
Alaero Construction Outfitters, LLC		
c. Organization		
29 Diane's Way		
d. Street Address		
Rindge	NH	03461
e. City/Town	f. State	g. Zip Code
	dbertram85@icloud.com	
h. Phone Number	i. Fax Number	j. Email Address

3. Property owner (required if different from applicant): Check if more than one owner

Jamison	VanDyke	
a. First Name	b. Last Name	
c. Organization		
1032 N.H. Route 119, Unit #4		
d. Street Address		
Rindge	NH	03461
e. City/Town	f. State	g. Zip Code
978-888-8407	jbvandyke@formupfoundations.com	
h. Phone Number	i. Fax Number	j. Email address

4. Representative (if any):

Trevor	Fletcher	
a. First Name	b. Last Name	
GRAZ Engineering, LLC		
c. Company		
323 W Lake Road		
d. Street Address		
Fitzwilliam	NH	03447
e. City/Town	f. State	g. Zip Code
603-585-6959	trevorfletcher91@yahoo.com	
h. Phone Number	i. Fax Number	j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

\$240.00	\$70.00	\$170.00 (\$75 Local Bylaw)
a. Total Fee Paid	b. State Fee Paid	c. City/Town Fee Paid



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

WPA Form 3 – Notice of Intent

MassDEP File Number

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Document Transaction Number

Winchendon

City/Town

A. General Information (continued)

6. General Project Description:

We are proposing the construction of a driveway within the 200' riverfront buffer of the Miller's River to serve a single family dwelling outside of the riverfront buffer. Construction will result in 3,731 S.F. of new riverfront buffer disturbance.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

- 1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR 10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Worcester

a. County

26883

c. Book

b. Certificate # (if registered land)

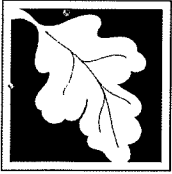
97

d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
WPA Form 3 – Notice of Intent
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

 MassDEP File Number

 Document Transaction Number
 Winchendon
 City/Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Bank	1. linear feet _____	2. linear feet _____
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet _____	2. square feet _____
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet _____ 3. cubic yards dredged _____	2. square feet _____

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet _____ 3. cubic feet of flood storage lost _____	2. square feet _____ 4. cubic feet replaced _____
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet _____ 2. cubic feet of flood storage lost _____	3. cubic feet replaced _____

- f. Riverfront Area
1. Name of Waterway (if available) - **specify coastal or inland** _____
2. Width of Riverfront Area (check one):
- 25 ft. - Designated Densely Developed Areas only
- 100 ft. - New agricultural projects only
- 200 ft. - All other projects

3. Total area of Riverfront Area on the site of the proposed project: 20,706
square feet

4. Proposed alteration of the Riverfront Area:

<u>3,731</u>	<u>0</u>	<u>3,731</u>
a. total square feet	b. square feet within 100 ft.	c. square feet between 100 ft. and 200 ft.

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No

6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Winchendon

City/Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
 Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	1. square feet _____	
	2. cubic yards dredged _____	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	1. square feet _____	2. cubic yards beach nourishment _____
e. <input type="checkbox"/> Coastal Dunes	1. square feet _____	2. cubic yards dune nourishment _____

	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
f. <input type="checkbox"/> Coastal Banks	1. linear feet _____	
g. <input type="checkbox"/> Rocky Intertidal Shores	1. square feet _____	
h. <input type="checkbox"/> Salt Marshes	1. square feet _____	2. sq ft restoration, rehab., creation _____
i. <input type="checkbox"/> Land Under Salt Ponds	1. square feet _____	
	2. cubic yards dredged _____	
j. <input type="checkbox"/> Land Containing Shellfish	1. square feet _____	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	1. cubic yards dredged _____	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	1. square feet _____	

4. Restoration/Enhancement
 If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

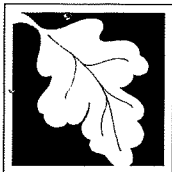
_____ a. square feet of BVW

_____ b. square feet of Salt Marsh

5. Project Involves Stream Crossings

_____ a. number of new stream crossings

_____ b. number of replacement stream crossings



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Winchendon

City/Town

C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

- a. Yes No

If yes, include proof of mailing or hand delivery of NOI to:

Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581

MassGIS _____

b. Date of map _____

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); OR complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review*

1. Percentage/acreage of property to be altered:

(a) within wetland Resource Area _____

percentage/acreage

(b) outside Resource Area _____

percentage/acreage

2. Assessor's Map or right-of-way plan of site

2. Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **

(a) Project description (including description of impacts outside of wetland resource area & buffer zone)

(b) Photographs representative of the site

* Some projects not in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/>). Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Winchendon

City/Town

C. Other Applicable Standards and Requirements (cont'd)

- (c) MESA filing fee (fee information available at http://www.mass.gov/dfwele/dfw/nhesp/regulatory_review/mesa/mesa_fee_schedule.htm). Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

- (d) Vegetation cover type map of site
- (e) Project plans showing Priority & Estimated Habitat boundaries
- (f) OR Check One of the Following
1. Project is exempt from MESA review.
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, http://www.mass.gov/dfwele/dfw/nhesp/regulatory_review/mesa/mesa_exemptions.htm; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)
 2. Separate MESA review ongoing. a. NHESP Tracking # _____ b. Date submitted to NHESP _____
 3. Separate MESA review completed.
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.
3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?
- a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
836 South Rodney French Blvd.
New Bedford, MA 02744
Email: DMF.EnvReview-South@state.ma.us

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930
Email: DMF.EnvReview-North@state.ma.us

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Winchendon

City/Town

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

C. Other Applicable Standards and Requirements (cont'd)

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
- a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
- b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
- a. Yes No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
- a. Yes No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
- a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 2. A portion of the site constitutes redevelopment
 3. Proprietary BMPs are included in the Stormwater Management System.
- b. No. Check why the project is exempt:
1. Single-family house
 2. Emergency road repair
 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Provided by MassDEP:
MassDEP File Number
Document Transaction Number
Winchendon
City/Town

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

D. Additional Information (cont'd)

3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. List the titles and dates for all plans and other materials submitted with this NOI.

<u>Proposed Single Family Septic System Design & NOI Plan</u>	
a. Plan Title	
<u>GRAZ Engineering, LLC</u>	<u>Paul F. Grasewicz</u>
b. Prepared By	c. Signed and Stamped by
<u>6/29/22</u>	<u>1"=20'</u>
d. Final Revision Date	e. Scale
f. Additional Plan or Document Title	
g. Date	

5. If there is more than one property owner, please attach a list of these property owners not listed on this form.

6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8. Attach NOI Wetland Fee Transmittal Form

9. Attach Stormwater Report, if needed.

E. Fees

1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

<u>7492</u>	<u>6/29/22</u>
2. Municipal Check Number	3. Check date
<u>7493</u>	<u>6/29/22</u>
4. State Check Number	5. Check date
<u>Dan</u>	<u>Bertram (Alaero Construction Outfitters, LLC)</u>
6. Payor name on check: First Name	



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

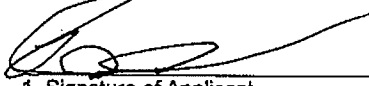
Document Transaction Number
Winchendon

City/Town

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).


I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.



1. Signature of Applicant

6-30-22


2. Date



3. Signature of Property Owner (if different)

6/30/22

4. Date



5. Signature of Representative (if any)

6/30/22

6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a copy of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

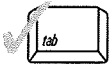
If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

67 Hill Street	Winchendon
a. Street Address	b. City/Town
7493	\$70.00
c. Check number	d. Fee amount

2. Applicant Mailing Address:

Dan	Bertram	
a. First Name	b. Last Name	
Alaero Construction Outfitters, LLC		
c. Organization		
29 Diane's Way		
d. Mailing Address		
Rindge	NH	03461
e. City/Town	f. State	g. Zip Code
	dbertram85@icloud.com	
h. Phone Number	i. Fax Number	j. Email Address

3. Property Owner (if different):

Jamison	VanDyke	
a. First Name	b. Last Name	
c. Organization		
1032 N.H. Route 119, Unit #4		
d. Mailing Address		
Rindge	NH	03461
e. City/Town	f. State	g. Zip Code
978-888-8407	jbvandyke@formupfoundations.com	
h. Phone Number	i. Fax Number	j. Email Address

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.

To calculate filing fees, refer to the category fee list and examples in the instructions for filling out WPA Form 3 (Notice of Intent).



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Driveway Construction	1	\$110.00	\$110.00
Riverfront Area	x1.5	(+\$55.00)	(+\$55.00)
Local Bylaw	1	\$75.00	\$75.00

Step 5/Total Project Fee: \$240.00

Step 6/Fee Payments:

Total Project Fee:	\$240.00
State share of filing Fee:	a. Total Fee from Step 5 \$70.00
City/Town share of filling Fee:	b. 1/2 Total Fee less \$12.50 \$170.00
	c. 1/2 Total Fee plus \$12.50

C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
 Box 4062
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a copy of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a copy of this form; and a copy of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)

AFFIDAVIT OF SERVICE

Under the Massachusetts Wetlands Protection Act

(to be submitted to the Massachusetts Department of
Environmental Protection and the Conservation Commission
when filing a Notice of Intent)

I, Paul F. Grasewicz, hereby certify under the pains and penalties of perjury that on June 30, 2022, I gave notification to abutters in compliance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40, and the DEP Guide to Abutter Notification dated April 8, 1994, in connection with the following matter:

A Notice of Intent filed under the Massachusetts Wetlands Protection Act by Dan Bertram with the Winchendon Conservation Commission on June 30, 2022 for property located at 67 Hill Street (Map-5C1 Lot-73); Winchendon, MA. The form of the notification, and a list of the abutters to whom it was given are attached to this Affidavit of Service.



Name

June 30, 2022
Date



100 foot Abutters List Report

Winchendon, MA

June 29, 2022

Subject Property:

Parcel Number: 5C1-0-73
CAMA Number: 5C1-0-73
Property Address: 67 HILL ST

Mailing Address: VAN DYKE, JAMISON
P.O. BOX 197
RINDGE, NH 03461

Abutters:

Parcel Number: 5C1-0-32
CAMA Number: 5C1-0-32
Property Address: 79 HILL ST

Mailing Address: SHEPARDSON, JOHN E. GOODWIN,
JUDY G.
79 HILL STREET
WINCHENDON, MA 01475

Parcel Number: 5C1-0-33
CAMA Number: 5C1-0-33
Property Address: 57 HILL ST

Mailing Address: GREENLEAF, EDWARD GREENLEAF,
AMY
57 HILL STREET
WINCHENDON, MA 01475

Parcel Number: 5C1-0-35
CAMA Number: 5C1-0-35
Property Address: 62 HILL ST

Mailing Address: MURTHA, DANIEL P.
62 HILL STREET
WINCHENDON, MA 01475

Parcel Number: 5C1-0-36
CAMA Number: 5C1-0-36
Property Address: 40 HILL ST

Mailing Address: AUBIN, DEBORAH J.
40 HILL STREET
WINCHENDON, MA 01475

Parcel Number: 5C1-0-55
CAMA Number: 5C1-0-55
Property Address: HILL ST

Mailing Address: NEW ENGLAND WOODEN WARE CORP.
205 SCHOOL STREET SUITE 201
GARDNER, MA 01440

Parcel Number: 5C1-0-87
CAMA Number: 5C1-0-87
Property Address: HILL ST

Mailing Address: VAN DYKE, ROBERT C/O BARKLEY
MAPLE ST REALTY
P.O. BOX 197
RINDGE, NH 03461



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Notification to Abutters Under the
Massachusetts Wetlands Protection Act

In accordance with the second paragraph Massachusetts General Laws Chapter 131, Section 40, you are hereby notified of the following.

- A. The name of the applicant is Dan Bertram.
- B. The applicant has filed a Notice of Intent with the Conservation Commission for the municipality of Winchendon seeking permission to remove, fill, dredge or alter an Area Subject to Protection under the Wetlands Protection Act (General Laws Chapter 131, Section 40). Specifically, the construction of a driveway within the 200' riverfront buffer of the Miller's River to serve a single-family dwelling outside of the riverfront buffer. Construction will result in 3,731 S.F. of new riverfront buffer disturbance.
- C. The address of the lot where the activity is proposed is 67 Hill Street (Map-5C1 Lot-73)
- D. Copies of the Notice of Intent may be examined at GRAZ Engineering LLC, 323 West Lake Road, Fitzwilliam, NH 03447 between the hours of 8am and 4 pm Monday through Friday by appointment only. For copies call 603-585-6959.
- E. Information regarding the date, time, and place of the public hearing may be obtained from the Winchendon Conservation Commission by checking the town website's meeting/agenda list or by calling Matthew Marro at 978-314-7858.
- F. Notice of public hearing, including date, time, and place, will be published in the newspaper at least 5 days in advance of the hearing.

Note: Notice of the public hearing, including its date, time, and location will be posted in the city or town hall not less than forty-eight hours in advance of hearing. At this time, the hearing is planned for July 14, 2022, at 6:00 P.M. Please verify if interested.

Note: You may also contact your local Conservation Commission or the nearest Department of Environmental Protection Regional Office for more information about this application or the Wetlands Protection Act. To contact DEP, call:

Central Region:508-792-7650

Northeast Region:617-654-6500

Southeast Region:508-946-2700

Western Region:413-784-1100

Project Description:

The proposed project consists of the construction of a single-family house serviced by a driveway that will run through the 100-200' buffer zone of Miller's River. The driveway will be constructed partially within an area that has previously been disturbed and exists as lawn extending from the property to the north. The driveway will require 3,731 S.F. of new disturbance, in which trees are to be cut down and the grade to be lowered.

Riverfront Area Alternatives Analysis:

GRAZ Engineering, LLC reviewed the subject parcel's deed to find the most recent evidence that the lot may have changed was July 16, 1991, as the lot exists as a portion of the premises conveyed by Deed of Robert J. Mathieu to Winchendon Savings Bank on that date. Because this date is prior to the August 1, 1996 cutoff, the alternatives analysis is limited in scope to that of the extents of the lot, see below:

"310 CMR 10.58(4)2.a: The area under construction for practicable alternatives is limited to the lot for activities associated with the construction or expansion of a single family house on a lot recorded on or before August 1, 1996.."

Based on regulatory requirements the following alternatives were evaluated:

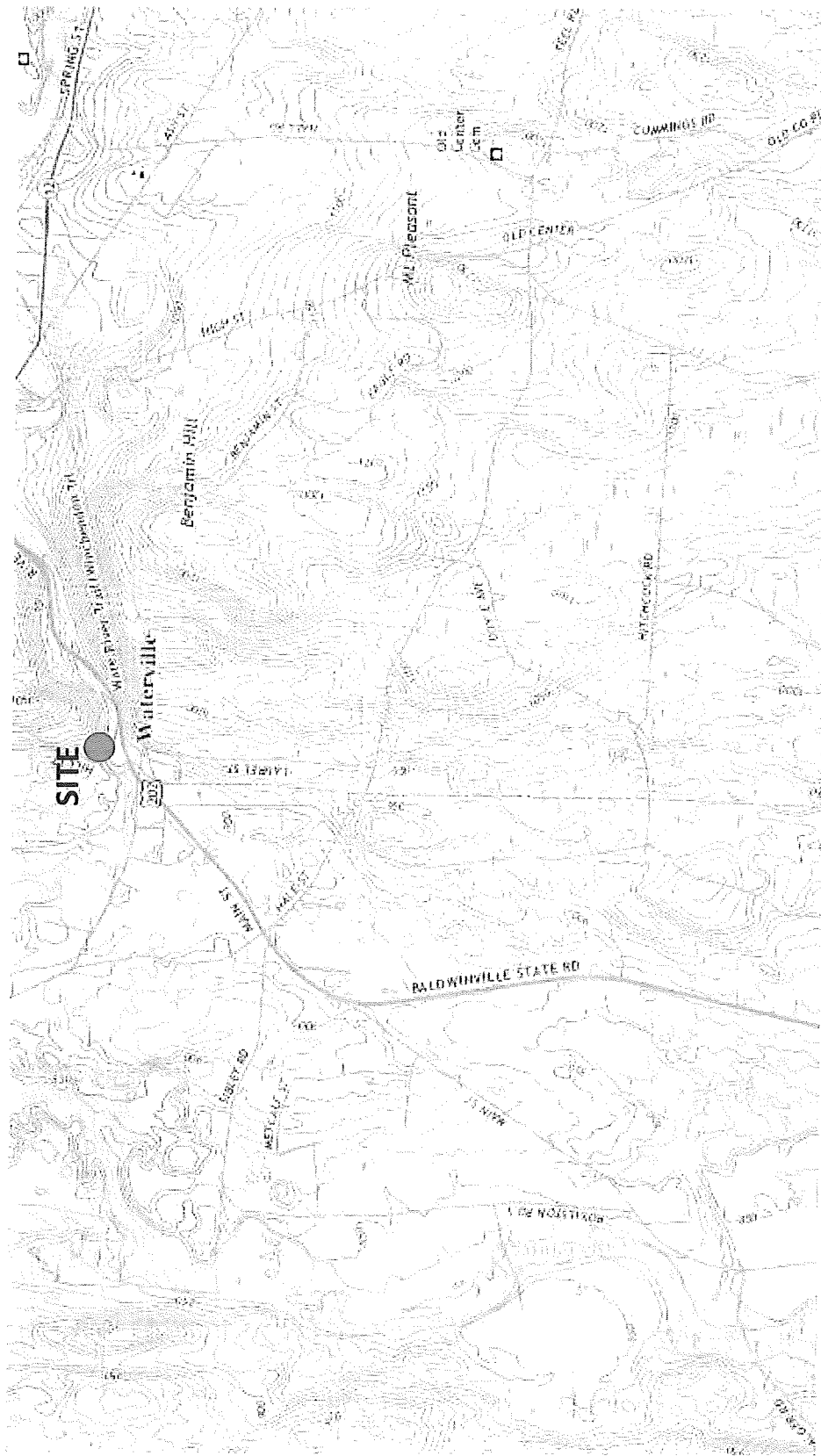
Logistics: Relocation of the Project within the Site:

The subject lot consists of a panhandle type access from Hill Street that exists completely within the 100-200' Riverfront buffer. This opens up to a larger area outside of the 200' buffer where the house is to be located. There is no other access to the building area on-site, and it must run through the riverfront buffer. The driveway has been designed to limit the disturbance to the slopes running down to the river.

Performance Standards:

The regulations require that the project have "No significant Adverse Impact" for work within Riverfront Area.

The regulations at 310CMR 10.58(4)(d)(1) contains a provision that there must be "No Significant Adverse Impact.." which is defined as "*Within 200-foot riverfront areas, the issuing authority may allow the alteration of up to 5,000 S.F. or 10% of the riverfront area within the lot, whichever is greater...*" This provision contains requirements including a 100' buffer from the river remaining undisturbed, stormwater management is in accordance with Stormwater Policy established by the Department, there is no impairment on the capacity of the riverfront area to provide important wildlife habitat functions, and that proposed work shall not impair groundwater or surface water quality by incorporating erosion and sedimentation controls and other measures to attenuate nonpoint source pollution. The proposed project meets all of these requirements. Any Order of Conditions should include a requirement that no land alterations are allowed within the 0-100' riverfront buffer.



USGS Map



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

Document Transaction Number

Winchendon

City/Town

Important:

When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



Note:
Before completing this form consult your local Conservation Commission regarding any municipal bylaw or ordinance.

A. General Information

1. Project Location (**Note:** electronic filers will click on button to locate project site):

<u>67 Hill Street</u>	<u>Winchendon</u>	<u>01475</u>
a. Street Address	b. City/Town	c. Zip Code
<u>Latitude and Longitude:</u>	<u>42.67742</u>	<u>-72.06556</u>
	d. Latitude	e. Longitude
<u>5C1</u>	<u>73</u>	
f. Assessors Map/Plat Number	g. Parcel /Lot Number	

2. Applicant:

<u>Dan</u>	<u>Bertram</u>	
a. First Name	b. Last Name	
<u>Alaero Construction Outfitters, LLC</u>		
c. Organization		
<u>29 Diane's Way</u>		
d. Street Address		
<u>Rindge</u>	<u>NH</u>	<u>03461</u>
e. City/Town	f. State	g. Zip Code
<u>h. Phone Number</u>	<u>i. Fax Number</u>	<u>dbertram85@icloud.com</u>
		j. Email Address

3. Property owner (required if different from applicant): Check if more than one owner

<u>Jamison</u>	<u>VanDyke</u>	
a. First Name	b. Last Name	
<u>c. Organization</u>		
<u>1032 N.H. Route 119, Unit #4</u>		
d. Street Address		
<u>Rindge</u>	<u>NH</u>	<u>03461</u>
e. City/Town	f. State	g. Zip Code
<u>978-888-8407</u>	<u>jbvandyke@formupfoundations.com</u>	
h. Phone Number	i. Fax Number	j. Email address

4. Representative (if any):

<u>Trevor</u>	<u>Fletcher</u>	
a. First Name	b. Last Name	
<u>GRAZ Engineering, LLC</u>		
c. Company		
<u>323 W Lake Road</u>		
d. Street Address		
<u>Fitzwilliam</u>	<u>NH</u>	<u>03447</u>
e. City/Town	f. State	g. Zip Code
<u>603-585-6959</u>	<u>trevorfletcher91@yahoo.com</u>	
h. Phone Number	i. Fax Number	j. Email address

5. Total WPA Fee Paid (from NOI Wetland Fee Transmittal Form):

<u>\$240.00</u>	<u>\$70.00</u>	<u>\$170.00 (\$75 Local Bylaw)</u>
a. Total Fee Paid	b. State Fee Paid	c. City/Town Fee Paid



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

Document Transaction Number

Winchendon

City/Town

A. General Information (continued)

6. General Project Description:

We are proposing the construction of a driveway within the 200' riverfront buffer of the Miller's River to serve a single family dwelling outside of the riverfront buffer. Construction will result in 3,731 S.F. of new riverfront buffer disturbance.

7a. Project Type Checklist: (Limited Project Types see Section A. 7b.)

- 1. Single Family Home
- 2. Residential Subdivision
- 3. Commercial/Industrial
- 4. Dock/Pier
- 5. Utilities
- 6. Coastal engineering Structure
- 7. Agriculture (e.g., cranberries, forestry)
- 8. Transportation
- 9. Other

7b. Is any portion of the proposed activity eligible to be treated as a limited project (including Ecological Restoration Limited Project) subject to 310 CMR 10.24 (coastal) or 310 CMR 10.53 (inland)?

- 1. Yes No If yes, describe which limited project applies to this project. (See 310 CMR 10.24 and 10.53 for a complete list and description of limited project types)

2. Limited Project Type

If the proposed activity is eligible to be treated as an Ecological Restoration Limited Project (310 CMR10.24(8), 310 CMR 10.53(4)), complete and attach Appendix A: Ecological Restoration Limited Project Checklist and Signed Certification.

8. Property recorded at the Registry of Deeds for:

Worcester

a. County

26883

c. Book

b. Certificate # (if registered land)

97

d. Page Number

B. Buffer Zone & Resource Area Impacts (temporary & permanent)

- 1. Buffer Zone Only – Check if the project is located only in the Buffer Zone of a Bordering Vegetated Wetland, Inland Bank, or Coastal Resource Area.
- 2. Inland Resource Areas (see 310 CMR 10.54-10.58; if not applicable, go to Section B.3, Coastal Resource Areas).

Check all that apply below. Attach narrative and any supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands

Provided by MassDEP:

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

Document Transaction Number

Winchendon

City/Town

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

For all projects affecting other Resource Areas, please attach a narrative explaining how the resource area was delineated.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Bank	1. linear feet	2. linear feet
b. <input type="checkbox"/> Bordering Vegetated Wetland	1. square feet	2. square feet
c. <input type="checkbox"/> Land Under Waterbodies and Waterways	1. square feet 3. cubic yards dredged	2. square feet

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
d. <input type="checkbox"/> Bordering Land Subject to Flooding	1. square feet 3. cubic feet of flood storage lost	2. square feet 4. cubic feet replaced
e. <input type="checkbox"/> Isolated Land Subject to Flooding	1. square feet 2. cubic feet of flood storage lost	3. cubic feet replaced

- f. Riverfront Area
1. Name of Waterway (if available) - **specify coastal or inland**
2. Width of Riverfront Area (check one):
- 25 ft. - Designated Densely Developed Areas only
 - 100 ft. - New agricultural projects only
 - 200 ft. - All other projects
3. Total area of Riverfront Area on the site of the proposed project: 20,706 square feet
4. Proposed alteration of the Riverfront Area:
- | | | |
|----------------------|-------------------------------|--|
| <u>3,731</u> | <u>0</u> | <u>3,731</u> |
| a. total square feet | b. square feet within 100 ft. | c. square feet between 100 ft. and 200 ft. |

5. Has an alternatives analysis been done and is it attached to this NOI? Yes No
6. Was the lot where the activity is proposed created prior to August 1, 1996? Yes No

3. Coastal Resource Areas: (See 310 CMR 10.25-10.35)

Note: for coastal riverfront areas, please complete **Section B.2.f.** above.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands

Provided by MassDEP: _____

WPA Form 3 – Notice of Intent

MassDEP File Number _____

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Document Transaction Number _____

Winchendon _____

City/Town _____

B. Buffer Zone & Resource Area Impacts (temporary & permanent) (cont'd)

Check all that apply below. Attach narrative and supporting documentation describing how the project will meet all performance standards for each of the resource areas altered, including standards requiring consideration of alternative project design or location.

Online Users:
 Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

<u>Resource Area</u>	<u>Size of Proposed Alteration</u>	<u>Proposed Replacement (if any)</u>
a. <input type="checkbox"/> Designated Port Areas	Indicate size under Land Under the Ocean, below	
b. <input type="checkbox"/> Land Under the Ocean	_____	_____
	1. square feet	
	_____	_____
	2. cubic yards dredged	
c. <input type="checkbox"/> Barrier Beach	Indicate size under Coastal Beaches and/or Coastal Dunes below	
d. <input type="checkbox"/> Coastal Beaches	_____	_____
	1. square feet	2. cubic yards beach nourishment
e. <input type="checkbox"/> Coastal Dunes	_____	_____
	1. square feet	2. cubic yards dune nourishment
	<u>Size of Proposed Alteration</u>	
	<u>Proposed Replacement (if any)</u>	
f. <input type="checkbox"/> Coastal Banks	_____	
	1. linear feet	
g. <input type="checkbox"/> Rocky Intertidal Shores	_____	
	1. square feet	
h. <input type="checkbox"/> Salt Marshes	_____	_____
	1. square feet	2. sq ft restoration, rehab., creation
i. <input type="checkbox"/> Land Under Salt Ponds	_____	
	1. square feet	
	_____	_____
	2. cubic yards dredged	
j. <input type="checkbox"/> Land Containing Shellfish	_____	
	1. square feet	
k. <input type="checkbox"/> Fish Runs	Indicate size under Coastal Banks, inland Bank, Land Under the Ocean, and/or inland Land Under Waterbodies and Waterways, above	
	_____	_____
	1. cubic yards dredged	
l. <input type="checkbox"/> Land Subject to Coastal Storm Flowage	_____	
	1. square feet	

4. Restoration/Enhancement
 If the project is for the purpose of restoring or enhancing a wetland resource area in addition to the square footage that has been entered in Section B.2.b or B.3.h above, please enter the additional amount here.

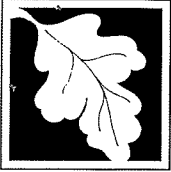
a. square feet of BVW

b. square feet of Salt Marsh

5. Project Involves Stream Crossings

a. number of new stream crossings

b. number of replacement stream crossings



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Winchendon

City/Town

C. Other Applicable Standards and Requirements

- This is a proposal for an Ecological Restoration Limited Project. Skip Section C and complete Appendix A: Ecological Restoration Limited Project Checklists – Required Actions (310 CMR 10.11).

Streamlined Massachusetts Endangered Species Act/Wetlands Protection Act Review

1. Is any portion of the proposed project located in **Estimated Habitat of Rare Wildlife** as indicated on the most recent Estimated Habitat Map of State-Listed Rare Wetland Wildlife published by the Natural Heritage and Endangered Species Program (NHESP)? To view habitat maps, see the *Massachusetts Natural Heritage Atlas* or go to http://maps.massgis.state.ma.us/PRI_EST_HAB/viewer.htm.

- a. Yes No **If yes, include proof of mailing or hand delivery of NOI to:**

Natural Heritage and Endangered Species Program
Division of Fisheries and Wildlife
1 Rabbit Hill Road
Westborough, MA 01581

MassGIS _____

b. Date of map _____

If yes, the project is also subject to Massachusetts Endangered Species Act (MESA) review (321 CMR 10.18). To qualify for a streamlined, 30-day, MESA/Wetlands Protection Act review, please complete Section C.1.c, and include requested materials with this Notice of Intent (NOI); *OR* complete Section C.2.f, if applicable. *If MESA supplemental information is not included with the NOI, by completing Section 1 of this form, the NHESP will require a separate MESA filing which may take up to 90 days to review (unless noted exceptions in Section 2 apply, see below).*

- c. Submit Supplemental Information for Endangered Species Review*
1. Percentage/acreage of property to be altered:
 - (a) within wetland Resource Area _____ percentage/acreage
 - (b) outside Resource Area _____ percentage/acreage
 2. Assessor's Map or right-of-way plan of site
2. Project plans for entire project site, including wetland resource areas and areas outside of wetlands jurisdiction, showing existing and proposed conditions, existing and proposed tree/vegetation clearing line, and clearly demarcated limits of work **
- (a) Project description (including description of impacts outside of wetland resource area & buffer zone)
 - (b) Photographs representative of the site

* Some projects **not** in Estimated Habitat may be located in Priority Habitat, and require NHESP review (see <http://www.mass.gov/eea/agencies/dfg/dfw/natural-heritage/regulatory-review/>). Priority Habitat includes habitat for state-listed plants and strictly upland species not protected by the Wetlands Protection Act.

** MESA projects may not be segmented (321 CMR 10.16). The applicant must disclose full development plans even if such plans are not required as part of the Notice of Intent process.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Provided by MassDEP:

MassDEP File Number

Document Transaction Number

Winchendon

City/Town

C. Other Applicable Standards and Requirements (cont'd)

- (c) MESA filing fee (fee information available at http://www.mass.gov/dfwele/dfw/nhesp/regulatory_review/mesa/mesa_fee_schedule.htm). Make check payable to "Commonwealth of Massachusetts - NHESP" and **mail to NHESP** at above address

Projects altering 10 or more acres of land, also submit:

- (d) Vegetation cover type map of site
- (e) Project plans showing Priority & Estimated Habitat boundaries
- (f) OR Check One of the Following
1. Project is exempt from MESA review.
Attach applicant letter indicating which MESA exemption applies. (See 321 CMR 10.14, http://www.mass.gov/dfwele/dfw/nhesp/regulatory_review/mesa/mesa_exemptions.htm; the NOI must still be sent to NHESP if the project is within estimated habitat pursuant to 310 CMR 10.37 and 10.59.)
 2. Separate MESA review ongoing. a. NHESP Tracking # b. Date submitted to NHESP
 3. Separate MESA review completed.
Include copy of NHESP "no Take" determination or valid Conservation & Management Permit with approved plan.
3. For coastal projects only, is any portion of the proposed project located below the mean high water line or in a fish run?
- a. Not applicable – project is in inland resource area only b. Yes No

If yes, include proof of mailing, hand delivery, or electronic delivery of NOI to either:

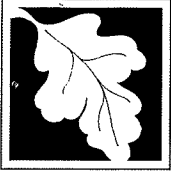
South Shore - Cohasset to Rhode Island border, and the Cape & Islands:

Division of Marine Fisheries -
Southeast Marine Fisheries Station
Attn: Environmental Reviewer
836 South Rodney French Blvd.
New Bedford, MA 02744
Email: DMF.EnvReview-South@state.ma.us

North Shore - Hull to New Hampshire border:

Division of Marine Fisheries -
North Shore Office
Attn: Environmental Reviewer
30 Emerson Avenue
Gloucester, MA 01930
Email: DMF.EnvReview-North@state.ma.us

Also if yes, the project may require a Chapter 91 license. For coastal towns in the Northeast Region, please contact MassDEP's Boston Office. For coastal towns in the Southeast Region, please contact MassDEP's Southeast Regional Office.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

Document Transaction Number

Winchendon

City/Town

C. Other Applicable Standards and Requirements (cont'd)

Online Users:
Include your document transaction number (provided on your receipt page) with all supplementary information you submit to the Department.

4. Is any portion of the proposed project within an Area of Critical Environmental Concern (ACEC)?
- a. Yes No If yes, provide name of ACEC (see instructions to WPA Form 3 or MassDEP Website for ACEC locations). **Note:** electronic filers click on Website.
- b. ACEC
5. Is any portion of the proposed project within an area designated as an Outstanding Resource Water (ORW) as designated in the Massachusetts Surface Water Quality Standards, 314 CMR 4.00?
- a. Yes No
6. Is any portion of the site subject to a Wetlands Restriction Order under the Inland Wetlands Restriction Act (M.G.L. c. 131, § 40A) or the Coastal Wetlands Restriction Act (M.G.L. c. 130, § 105)?
- a. Yes No
7. Is this project subject to provisions of the MassDEP Stormwater Management Standards?
- a. Yes. Attach a copy of the Stormwater Report as required by the Stormwater Management Standards per 310 CMR 10.05(6)(k)-(q) and check if:
1. Applying for Low Impact Development (LID) site design credits (as described in Stormwater Management Handbook Vol. 2, Chapter 3)
 2. A portion of the site constitutes redevelopment
 3. Proprietary BMPs are included in the Stormwater Management System.
- b. No. Check why the project is exempt:
1. Single-family house
 2. Emergency road repair
 3. Small Residential Subdivision (less than or equal to 4 single-family houses or less than or equal to 4 units in multi-family housing project) with no discharge to Critical Areas.

D. Additional Information

- This is a proposal for an Ecological Restoration Limited Project. Skip Section D and complete Appendix A: Ecological Restoration Notice of Intent – Minimum Required Documents (310 CMR 10.12).

Applicants must include the following with this Notice of Intent (NOI). See instructions for details.

Online Users: Attach the document transaction number (provided on your receipt page) for any of the following information you submit to the Department.

1. USGS or other map of the area (along with a narrative description, if necessary) containing sufficient information for the Conservation Commission and the Department to locate the site. (Electronic filers may omit this item.)
2. Plans identifying the location of proposed activities (including activities proposed to serve as a Bordering Vegetated Wetland [BVW] replication area or other mitigating measure) relative to the boundaries of each affected resource area.



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

Document Transaction Number

Winchendon

City/Town

D. Additional Information (cont'd)

3. Identify the method for BVW and other resource area boundary delineations (MassDEP BVW Field Data Form(s), Determination of Applicability, Order of Resource Area Delineation, etc.), and attach documentation of the methodology.

4. List the titles and dates for all plans and other materials submitted with this NOI.

Proposed Single Family Septic System Design & NOI Plan

a. Plan Title

GRAZ Engineering, LLC

Paul F. Grasewicz

b. Prepared By

c. Signed and Stamped by

6/29/22

1"=20'

d. Final Revision Date

e. Scale

f. Additional Plan or Document Title

g. Date

5. If there is more than one property owner, please attach a list of these property owners not listed on this form.

6. Attach proof of mailing for Natural Heritage and Endangered Species Program, if needed.

7. Attach proof of mailing for Massachusetts Division of Marine Fisheries, if needed.

8. Attach NOI Wetland Fee Transmittal Form

9. Attach Stormwater Report, if needed.

E. Fees

1. Fee Exempt: No filing fee shall be assessed for projects of any city, town, county, or district of the Commonwealth, federally recognized Indian tribe housing authority, municipal housing authority, or the Massachusetts Bay Transportation Authority.

Applicants must submit the following information (in addition to pages 1 and 2 of the NOI Wetland Fee Transmittal Form) to confirm fee payment:

7492

6/29/22

2. Municipal Check Number

3. Check date

7493

6/29/22

4. State Check Number

5. Check date

Dan

Bertram (Alaero Construction Outfitters,

6. Payor name on check: First Name

LLC)



Massachusetts Department of Environmental Protection
Bureau of Resource Protection - Wetlands

Provided by MassDEP:

WPA Form 3 – Notice of Intent

Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

MassDEP File Number

Document Transaction Number

Winchendon

City/Town

F. Signatures and Submittal Requirements

I hereby certify under the penalties of perjury that the foregoing Notice of Intent and accompanying plans, documents, and supporting data are true and complete to the best of my knowledge. I understand that the Conservation Commission will place notification of this Notice in a local newspaper at the expense of the applicant in accordance with the wetlands regulations, 310 CMR 10.05(5)(a).

I further certify under penalties of perjury that all abutters were notified of this application, pursuant to the requirements of M.G.L. c. 131, § 40. Notice must be made by Certificate of Mailing or in writing by hand delivery or certified mail (return receipt requested) to all abutters within 100 feet of the property line of the project location.

1. Signature of Applicant

6-30-22

2. Date

3. Signature of Property Owner (if different)

6/30/22

4. Date

5. Signature of Representative (if any)

6/30/22

6. Date

For Conservation Commission:

Two copies of the completed Notice of Intent (Form 3), including supporting plans and documents, two copies of the NOI Wetland Fee Transmittal Form, and the city/town fee payment, to the Conservation Commission by certified mail or hand delivery.

For MassDEP:

One copy of the completed Notice of Intent (Form 3), including supporting plans and documents, one copy of the NOI Wetland Fee Transmittal Form, and a **copy** of the state fee payment to the MassDEP Regional Office (see Instructions) by certified mail or hand delivery.

Other:

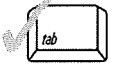
If the applicant has checked the "yes" box in any part of Section C, Item 3, above, refer to that section and the Instructions for additional submittal requirements.

The original and copies must be sent simultaneously. Failure by the applicant to send copies in a timely manner may result in dismissal of the Notice of Intent.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

Important: When filling out forms on the computer, use only the tab key to move your cursor - do not use the return key.



A. Applicant Information

1. Location of Project:

67 Hill Street Winchendon
 a. Street Address b. City/Town
 7493 \$70.00
 c. Check number d. Fee amount

2. Applicant Mailing Address:

Dan Bertram
 a. First Name b. Last Name
 Alaero Construction Outfitters, LLC
 c. Organization
 29 Diane's Way
 d. Mailing Address
 Rindge NH 03461
 e. City/Town f. State g. Zip Code
 h. Phone Number i. Fax Number jbertram85@icloud.com
 j. Email Address

3. Property Owner (if different):

Jamison VanDyke
 a. First Name b. Last Name
 c. Organization
 1032 N.H. Route 119, Unit #4
 d. Mailing Address
 Rindge NH 03461
 e. City/Town f. State g. Zip Code
 978-888-8407 jbvandyke@formupfoundations.com
 h. Phone Number i. Fax Number j. Email Address

B. Fees

Fee should be calculated using the following process & worksheet. **Please see Instructions before filling out worksheet.**

Step 1/Type of Activity: Describe each type of activity that will occur in wetland resource area and buffer zone.

Step 2/Number of Activities: Identify the number of each type of activity.

Step 3/Individual Activity Fee: Identify each activity fee from the six project categories listed in the instructions.

Step 4/Subtotal Activity Fee: Multiply the number of activities (identified in Step 2) times the fee per category (identified in Step 3) to reach a subtotal fee amount. Note: If any of these activities are in a Riverfront Area in addition to another Resource Area or the Buffer Zone, the fee per activity should be multiplied by 1.5 and then added to the subtotal amount.

Step 5/Total Project Fee: Determine the total project fee by adding the subtotal amounts from Step 4.

Step 6/Fee Payments: To calculate the state share of the fee, divide the total fee in half and subtract \$12.50. To calculate the city/town share of the fee, divide the total fee in half and add \$12.50.



Massachusetts Department of Environmental Protection
 Bureau of Resource Protection - Wetlands
NOI Wetland Fee Transmittal Form
 Massachusetts Wetlands Protection Act M.G.L. c. 131, §40

B. Fees (continued)

Step 1/Type of Activity	Step 2/Number of Activities	Step 3/Individual Activity Fee	Step 4/Subtotal Activity Fee
Driveway Construction	1	\$110.00	\$110.00
Riverfront Area	x1.5	(+\$55.00)	(+\$55.00)
Local Bylaw	1	\$75.00	\$75.00

Step 5/Total Project Fee: \$240.00

Step 6/Fee Payments:

Total Project Fee:	\$240.00
State share of filing Fee:	a. Total Fee from Step 5 \$70.00
City/Town share of filling Fee:	b. 1/2 Total Fee less \$12.50 \$170.00
	c. 1/2 Total Fee plus \$12.50

C. Submittal Requirements

- a.) Complete pages 1 and 2 and send with a check or money order for the state share of the fee, payable to the Commonwealth of Massachusetts.

Department of Environmental Protection
 Box 4062
 Boston, MA 02211

- b.) **To the Conservation Commission:** Send the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and the city/town fee payment.

To MassDEP Regional Office (see Instructions): Send a copy of the Notice of Intent or Abbreviated Notice of Intent; a **copy** of this form; and a **copy** of the state fee payment. (E-filers of Notices of Intent may submit these electronically.)


AFFIDAVIT OF SERVICE

Under the Massachusetts Wetlands Protection Act

(to be submitted to the Massachusetts Department of
Environmental Protection and the Conservation Commission
when filing a Notice of Intent)

I, Paul F. Grasewicz, hereby certify under the pains and penalties of perjury that on June 30, 2022, I gave notification to abutters in compliance with the second paragraph of Massachusetts General Laws Chapter 131, Section 40, and the DEP Guide to Abutter Notification dated April 8, 1994, in connection with the following matter:

A Notice of Intent filed under the Massachusetts Wetlands Protection Act by Dan Bertram with the Winchendon Conservation Commission on June 30, 2022 for property located at 67 Hill Street (Map-5C1 Lot-73); Winchendon, MA. The form of the notification, and a list of the abutters to whom it was given are attached to this Affidavit of Service.



Name

June 30, 2022
Date



100 foot Abutters List Report

Winchendon, MA

June 29, 2022

Subject Property:

Parcel Number: 5C1-0-73
CAMA Number: 5C1-0-73
Property Address: 67 HILL ST

Mailing Address: VAN DYKE, JAMISON
P.O. BOX 197
RINDGE, NH 03461

Abutters:

Parcel Number: 5C1-0-32
CAMA Number: 5C1-0-32
Property Address: 79 HILL ST

Mailing Address: SHEPARDSON, JOHN E. GOODWIN,
JUDY G.
79 HILL STREET
WINCHENDON, MA 01475

Parcel Number: 5C1-0-33
CAMA Number: 5C1-0-33
Property Address: 57 HILL ST

Mailing Address: GREENLEAF, EDWARD GREENLEAF,
AMY
57 HILL STREET
WINCHENDON, MA 01475

Parcel Number: 5C1-0-35
CAMA Number: 5C1-0-35
Property Address: 62 HILL ST

Mailing Address: MURTHA, DANIEL P.
62 HILL STREET
WINCHENDON, MA 01475

Parcel Number: 5C1-0-36
CAMA Number: 5C1-0-36
Property Address: 40 HILL ST

Mailing Address: AUBIN, DEBORAH J.
40 HILL STREET
WINCHENDON, MA 01475

Parcel Number: 5C1-0-55
CAMA Number: 5C1-0-55
Property Address: HILL ST

Mailing Address: NEW ENGLAND WOODEN WARE CORP.
205 SCHOOL STREET SUITE 201
GARDNER, MA 01440

Parcel Number: 5C1-0-87
CAMA Number: 5C1-0-87
Property Address: HILL ST

Mailing Address: VAN DYKE, ROBERT C/O BARKLEY
MAPLE ST REALTY
P.O. BOX 197
RINDGE, NH 03461



www.cai-tech.com

Data shown on this report is provided for planning and informational purposes only. The municipality and CAI Technologies are not responsible for any use for other purposes or misuse or misrepresentation of this report.

Notification to Abutters Under the
Massachusetts Wetlands Protection Act

In accordance with the second paragraph Massachusetts General Laws Chapter 131, Section 40, you are hereby notified of the following.

- A. The name of the applicant is Dan Bertram.
- B. The applicant has filed a Notice of Intent with the Conservation Commission for the municipality of Winchendon seeking permission to remove, fill, dredge or alter an Area Subject to Protection under the Wetlands Protection Act (General Laws Chapter 131, Section 40). Specifically, the construction of a driveway within the 200' riverfront buffer of the Miller's River to serve a single-family dwelling outside of the riverfront buffer. Construction will result in 3,731 S.F. of new riverfront buffer disturbance.
- C. The address of the lot where the activity is proposed is 67 Hill Street (Map-5C1 Lot-73)
- D. Copies of the Notice of Intent may be examined at GRAZ Engineering LLC, 323 West Lake Road, Fitzwilliam, NH 03447 between the hours of 8am and 4 pm Monday through Friday by appointment only. For copies call 603-585-6959.
- E. Information regarding the date, time, and place of the public hearing may be obtained from the Winchendon Conservation Commission by checking the town website's meeting/agenda list or by calling Matthew Marro at 978-314-7858.
- F. Notice of public hearing, including date, time, and place, will be published in the newspaper at least 5 days in advance of the hearing.

Note: Notice of the public hearing, including its date, time, and location will be posted in the city or town hall not less than forty-eight hours in advance of hearing. At this time, the hearing is planned for July 14, 2022, at 6:00 P.M. Please verify if interested.

Note: You may also contact your local Conservation Commission or the nearest Department of Environmental Protection Regional Office for more information about this application or the Wetlands Protection Act. To contact DEP, call:

Central Region:508-792-7650
Southeast Region:508-946-2700

Northeast Region:617-654-6500
Western Region:413-784-1100

Project Description:

The proposed project consists of the construction of a single-family house serviced by a driveway that will run through the 100-200' buffer zone of Miller's River. The driveway will be constructed partially within an area that has previously been disturbed and exists as lawn extending from the property to the north. The driveway will require 3,731 S.F. of new disturbance, in which trees are to be cut down and the grade to be lowered.

Riverfront Area Alternatives Analysis:

GRAZ Engineering, LLC reviewed the subject parcel's deed to find the most recent evidence that the lot may have changed was July 16, 1991, as the lot exists as a portion of the premises conveyed by Deed of Robert J. Mathieu to Winchendon Savings Bank on that date. Because this date is prior to the August 1, 1996 cutoff, the alternatives analysis is limited in scope to that of the extents of the lot, see below:

"310 CMR 10.58(4)2.a: The area under construction for practicable alternatives is limited to the lot for activities associated with the construction or expansion of a single family house on a lot recorded on or before August 1, 1996.."

Based on regulatory requirements the following alternatives were evaluated:

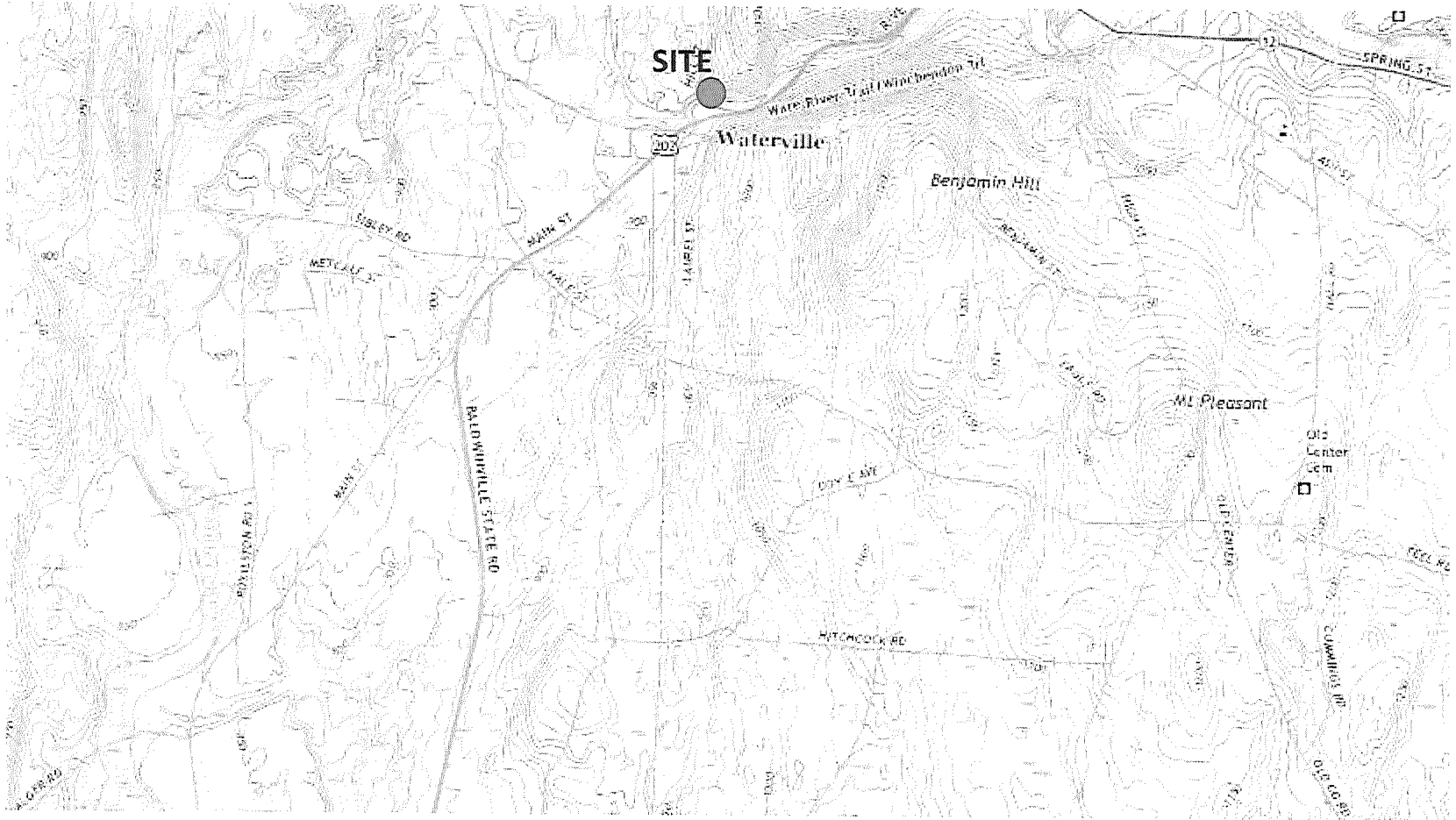
Logistics: Relocation of the Project within the Site:

The subject lot consists of a panhandle type access from Hill Street that exists completely within the 100-200' Riverfront buffer. This opens up to a larger area outside of the 200' buffer where the house is to be located. There is no other access to the building area on-site, and it must run through the riverfront buffer. The driveway has been designed to limit the disturbance to the slopes running down to the river.

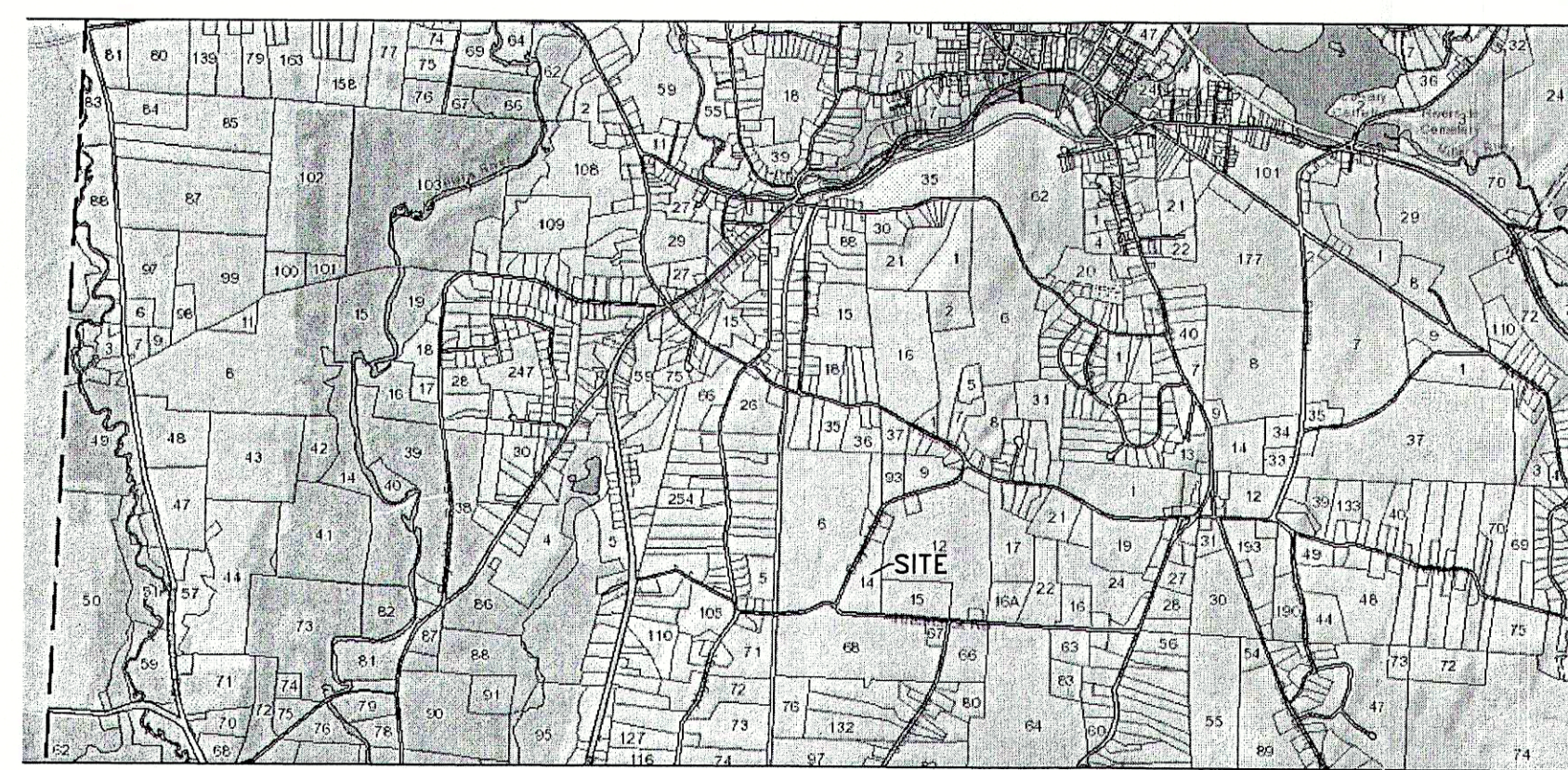
Performance Standards:

The regulations require that the project have "No significant Adverse Impact" for work within Riverfront Area.

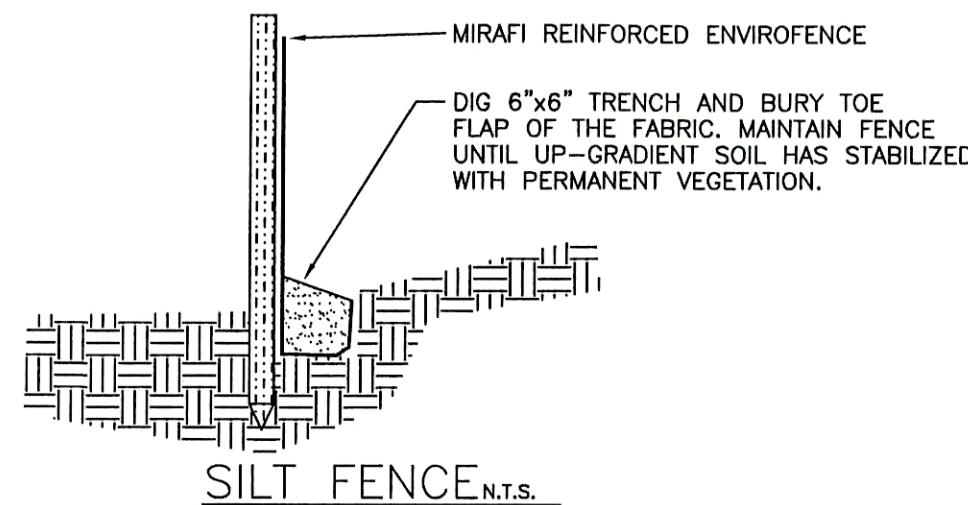
The regulations at 310CMR 10.58(4)(d)(1) contains a provision that there must be "No Significant Adverse Impact," which is defined as "*Within 200-foot riverfront areas, the issuing authority may allow the alteration of up to 5,000 S.F. or 10% of the riverfront area within the lot, whichever is greater...*" This provision contains requirements including a 100' buffer from the river remaining undisturbed, stormwater management is in accordance with Stormwater Policy established by the Department, there is no impairment on the capacity of the riverfront area to provide important wildlife habitat functions, and that proposed work shall not impair groundwater or surface water quality by incorporating erosion and sedimentation controls and other measures to attenuate nonpoint source pollution. The proposed project meets all of these requirements. Any Order of Conditions should include a requirement that no land alterations are allowed within the 0-100' riverfront buffer.



USGS Map



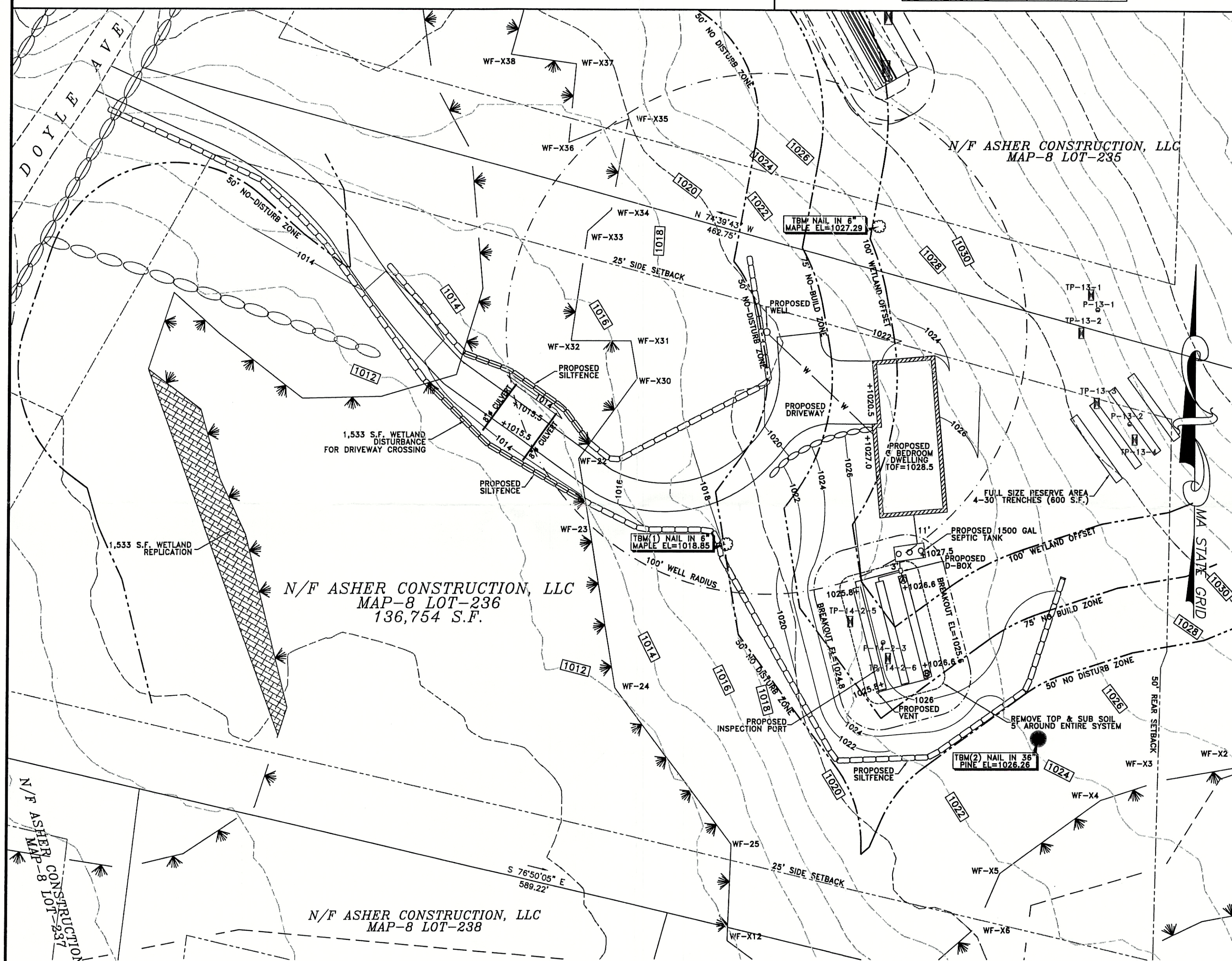
LOCUS N.T.S.



SILT FENCE N.T.S.

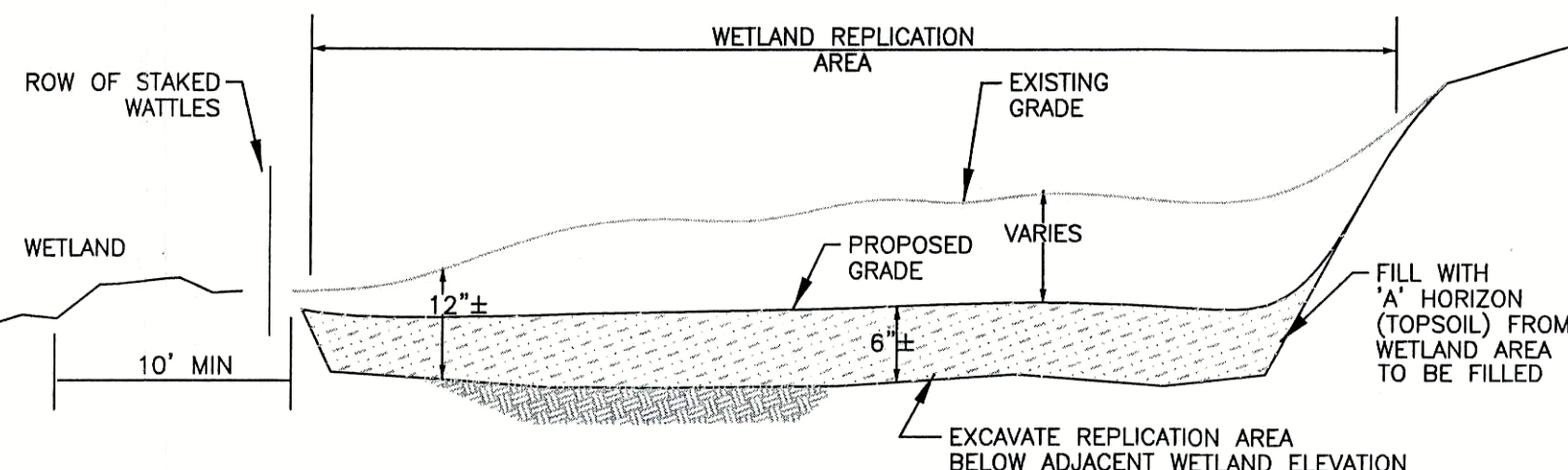
PROPOSED SEPTIC TIES

CL-TRENCH-A	TBM(1)	TBM(2)
CL-TRENCH-B	68.8'	81.5'
CL-TRENCH-C	92.8'	48.5'

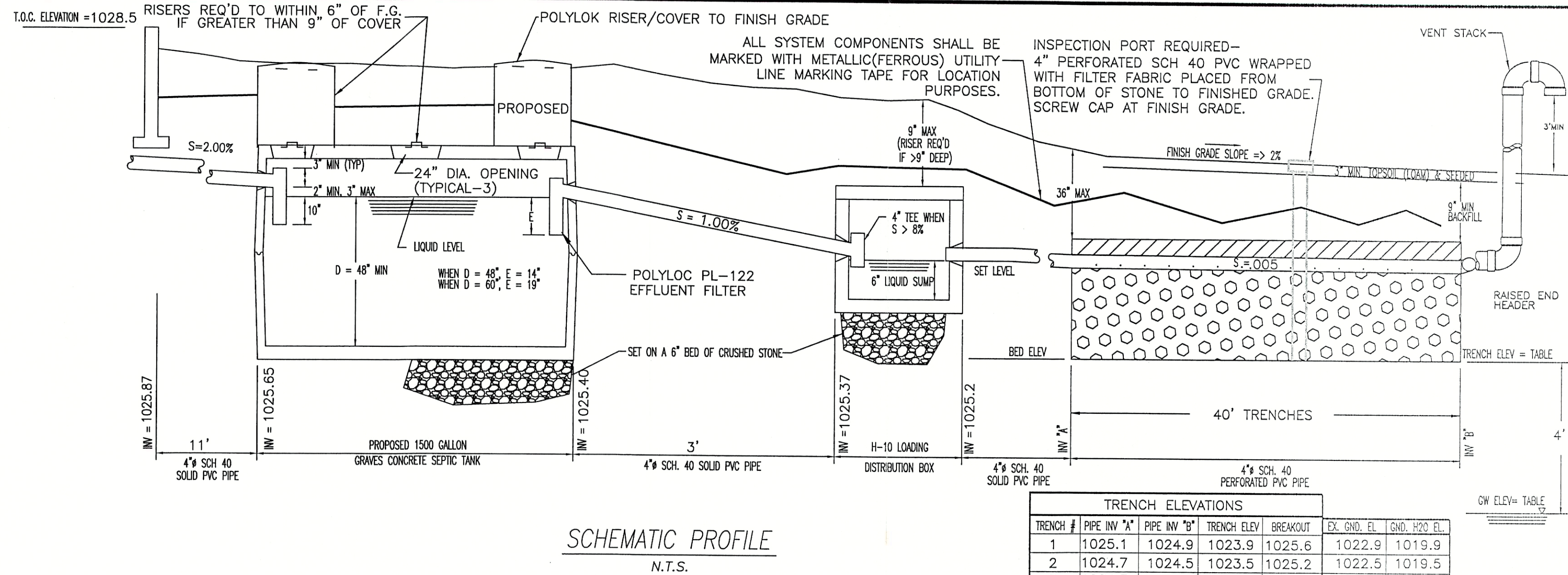


WETLAND REPLICATION NOTES

- INSTALL STRAW WATTLES IMMEDIATELY BEYOND THE DISTURBED AREA AS SHOWN ON THE PLAN.
- LOWER THE GRADE IN THE REPLICATION AREA 12"± BELOW ADJACENT WETLAND ELEVATION. CONTACT ENGINEER/WETLAND SCIENTIST PRIOR TO CUTTING ANY TREES AND AFTER THE DESIRED CUT DEPTH HAS BEEN ACHIEVED IN THE DESIGNATED WETLAND REPLACEMENT AREA (FOR INSPECTION). MATURE TREES SHALL BE PRESERVED WHERE POSSIBLE. THE AREA SHALL BE ADJACENT TO AND HYDRAULICALLY CONNECTED TO, BUT SHALL NOT ALTER THE EXISTING WETLAND.
- 6"± OF NEW ORGANIC RICH TOPSOIL SHALL BE PLACED IN THE PREPARED AREA. TOPSOIL SHOULD BE OBTAINED PREFERABLY FROM THE PROPOSED CROSSING. IF ADDITIONAL SOIL IS NEEDED, TOPSOIL FROM AN AUTHORIZED LOCAL WETLAND DREDGING MAY BE USED. FOR ADDITIONAL DETAILS, SEE MASSDEP REPLICATION GUIDELINES (REV. 2002) SECTION 2.3.2.
- PLANTS IN THE DISTURBED WETLAND AREA SHALL BE RELOCATED TO THE WETLAND REPLICATION AREA. FOR DETAILS CONCERNING THE RELOCATION OF VEGETATION, SEE MASSDEP REPLICATION GUIDELINES (REV. MARCH 2002) SECTION 2.3.3. IF THE RELOCATED VEGETATION DOES NOT PROVIDE 75% OF SURFACE COVERAGE, CONTACT THE ENGINEER FOR INSTRUCTIONS ON ADDITIONAL PLANTINGS.
- KEEP AREA WET/DAMP FOR APPROXIMATELY 1 MONTH IMMEDIATELY AFTER PLANTING. AFTER FIRST MONTH, MONITOR AREA FREQUENTLY AND ADD WATER AS NECESSARY.
- INSPECT AT DIFFERENT PERIODS OF CONSTRUCTION AND POST CONSTRUCTION PER MASSDEP REPLICATION GUIDELINES (REV. 2002) SECTION 4.0 AND EXAMPLE MONITORING DATA SHEET INCLUDED AS APPENDIX 4 IN SAID REPLICATION GUIDELINES. ANY CORRECTIVE ACTIONS NECESSARY SHALL BE OUTLINED IN THE ANNUAL REPORTS.

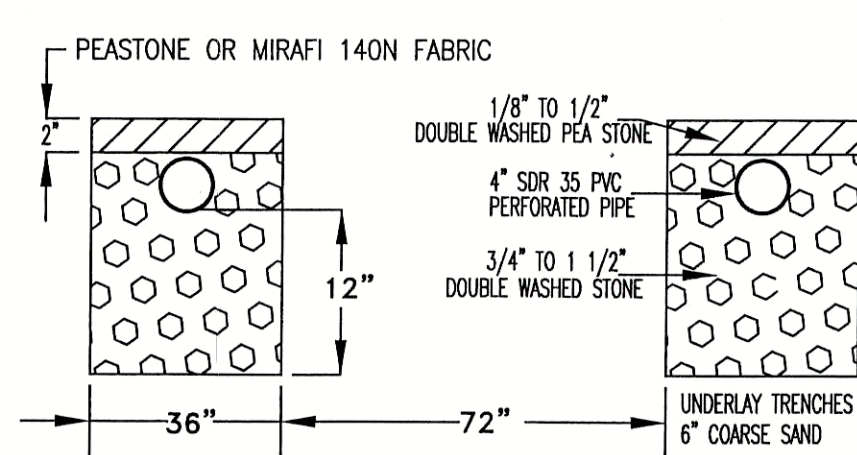


WETLAND REPLICATION DETAIL N.T.S.



SCHEMATIC PROFILE N.T.S.

TRENCH ELEVATIONS						
TRENCH #	PIPE INV. "A"	PIPE INV. "B"	TRENCH ELEV.	BREAKOUT	EX. GND. EL.	GND. H2O EL.
1	1025.1	1024.9	1023.9	1025.6	1022.9	1019.9
2	1024.7	1024.5	1023.5	1025.2	1022.5	1019.5
3	1024.3	1024.1	1023.1	1024.8	1022.1	1019.1



TYPICAL LEACH TRENCH SECTION N.T.S.

DESIGN CRITERIA

- Estimated Hydraulic Loading
3 bedrooms at 110 gals/day/bedroom = 330 gpd
Garbage disposal shall not be allowed with this system.
- Septic tank size = 1500 gallons.
- Leaching Area Design Criteria
Percolation Rate = 13 mپی
Soil Class Type = II (SANDY LOAM)
Allowable Loading Rate = 0.56 gpd/sf
Required Leaching Area = 330 gpd / 0.56 gpd/sf = 590 sf (Title V)
Leaching Area Provided = 3 trenches X 40' ft trench length X 5 sf/ft = 600 sf
- Breakout (BO)
Breakout Elevation = VARIES (SEE TABLE)
Breakout Distance = 15 ft
Distance Provided = 15 ft.

LEGEND

- 242 EXISTING CONTOUR
- 242 PROPOSED CONTOUR
- TP-1 DEEP HOLE TEST PIT
- PH-1 PERCOLATION TEST
- + 238.6 PROPOSED SPOT ELEVATION

GENERAL NOTES

- Unless otherwise noted, property lines shown are compiled from existing plans and deeds of record. Proposed buildings and septic system should be located by instrument survey prior to construction.
- All construction to conform to 310 CMR 15.000, "The State Environmental Code, Title 5" and the Board of Health requirements for the Town of WINCHENDON.
- The contractor shall install the system exactly as shown on this plan. If changes are necessary, the contractor must contact the Engineer in advance.
- Heavy machinery shall not be permitted to pass over the leaching area and the contractor shall stake and flag the soil absorption/leaching area perimeter upon completion.
- All piping shall be polyvinyl chloride (PVC) pipe per ASTM D1785 for sch.40 and ASTM D3034 for SDR35 where indicated on the profile, unless otherwise noted.
- The septic tank shall be a Graves Concrete H-10 1500 gallon monolithic tank.
- The distribution box (D-box) shall be a 5 outlet reinforced concrete box of H-10 load design (min.) with a watertight cover and conform to all the requirements of 310 CMR 15.232.
- All topsoil, subsoil and impervious material, if any, must be excavated and removed below and 5' beyond the soil absorption system area. Fill material shall consist of a clean granular sand, free from organic matter and deleterious substances. Mixtures and layers of different classes of soil not be used. The sand fill shall not contain any material larger than 2 inches. A sieve analysis, using a #4 sieve, shall be performed on a representative sample of the fill. Up to 45% by weight of the fill sample may be retained on the #4 sieve. Sieve analyses also shall be performed on the fraction of the fill sample passing the #4 sieve, such analyses must demonstrate that the material meets or exceeds each of the following specifications: 100% passing #4 sieve; 10%-100% passing #50 sieve; 0%-20% passing #100 sieve; 0%-5% passing #200 sieve. (11/95 DEP SPEC)
- For proper performance, septic tank should be inspected at least once a year and pumped when the top of the sludge or solids layer is within 12" or less of the bottom of the outlet tee or the bottom of the scum layer is within 2 inches of the bottom of outlet tee (every 2 or 3 years). INSPECT & CLEAN THE TANK OUTLET FILTER EVERY YEAR!
- There are no other wells located within 150 feet of the proposed system.

SOIL TEST DATA

DEEP HOLE & PERC TESTS

PERFORMED BY: TREVOR FLETCHER, S.E. DEEP HOLE # TP-13-3 DEEP HOLE # TP-13-4

WITNESSED BY: JIM ABARE & STEVE CALICHMAN B.O.H. WINCHENDON

DATE: MARCH 7, 2022

DEEP HOLE #	DEPTH	SOIL TYPE	ESWT	STANDING WATER	GRD EL.	ESHW	WATER EL.
TP-13-1	0"	FSL	40"	-	1033.7	1030.4	N/A
	10"	A					
	18"	B					
	26"	C1					
TP-13-2	0"	FSL	41"	-	1032.0	1028.6	N/A
	9"	A					
	13"	B					
	24"	C1					
TP-13-3	0"	FSL	42"	-	1031.3	1027.6	N/A
	10"	A					
	17"	B					
	26"	C1					
TP-13-4	0"	FSL	36"	-	1022.4	1019.4	N/A
	12"	A					
	17"	B					
	26"	C1					

*TESTING ON LOT INITIALLY CONDUCTED AS 'LOT-13'

PERC TEST NUMBER	DEPTH	PERC RATE	NOTES
PERC-13-1	42"	13 MPI	
PERC-13-2	40"	12 MPI	
PERC-14-2-3	36"	11 MPI	

NO.	DESCRIPTION	DATE	BY



DESIGNED BY TWF
DRAWN BY TWF
CHECKED BY PFG
DATE 6/27/22
SCALE 1"=30'
JOB NUMBER 21183

PROPOSED SINGLE FAMILY RESIDENCE SEPTIC DESIGN & NOI PLAN
MAP-8 LOT-236
DOYLE AVE; WINCHENDON, MA
PREPARED FOR:
ASHER CONSTRUCTION, LLC
77 NASHUA ROAD
SHARON, NH 03458

GRAZ Engineering, LLC

323 WEST LAKE RD.; FITZ WILLIAM, NH 03447; (603) 585-6959

SHEET 1 OF 1