

ZONING SUMMARY:

DISTRICT: 'R40-SUBURBAN RESIDENTIAL DISTRICT'
 'RA1-ZONING DISTRICT'
 'LAKE MONOMONAC OVERLAY DISTRICT'

DIMENSIONAL REQUIREMENTS:	REQUIRED:	PROVIDED:	CONFORMANCE:
MINIMUM LOT AREA	40,000 S.F	10,700 S.F	N*
MINIMUM LOT FRONTAGE	150 FEET	137 FEET±	N*
MINIMUM FRONT SETBACK	20 FEET	34 FEET	Y
MINIMUM SIDE SETBACK	10 FEET	30.2 FEET	Y
MINIMUM REAR SETBACK	20 FEET	20.1 FEET (HOUSE)	Y
		11.4 FEET (DECK)	N*

* EXISTING LOT IS NON CONFORMING

AREA CALCULATIONS:

EXISTING HOME: 977.9SF±
 EXISTING DECK: 607.2 SF±
 EXISTING SHED: 101.1 SF±
 EXISTING DRIVEWAY: 694.5 SF±
 PROPOSED DRIVEWAY: 643 SF±
 EXISTING IMPERVIOUS LOT COVERAGE: 2,329.2 SF±
 TOTAL LOT AREA: 10,700SF
 EXISTING LOT COVERAGE: 21.7% (REDUCED .5%)



Lot Locus

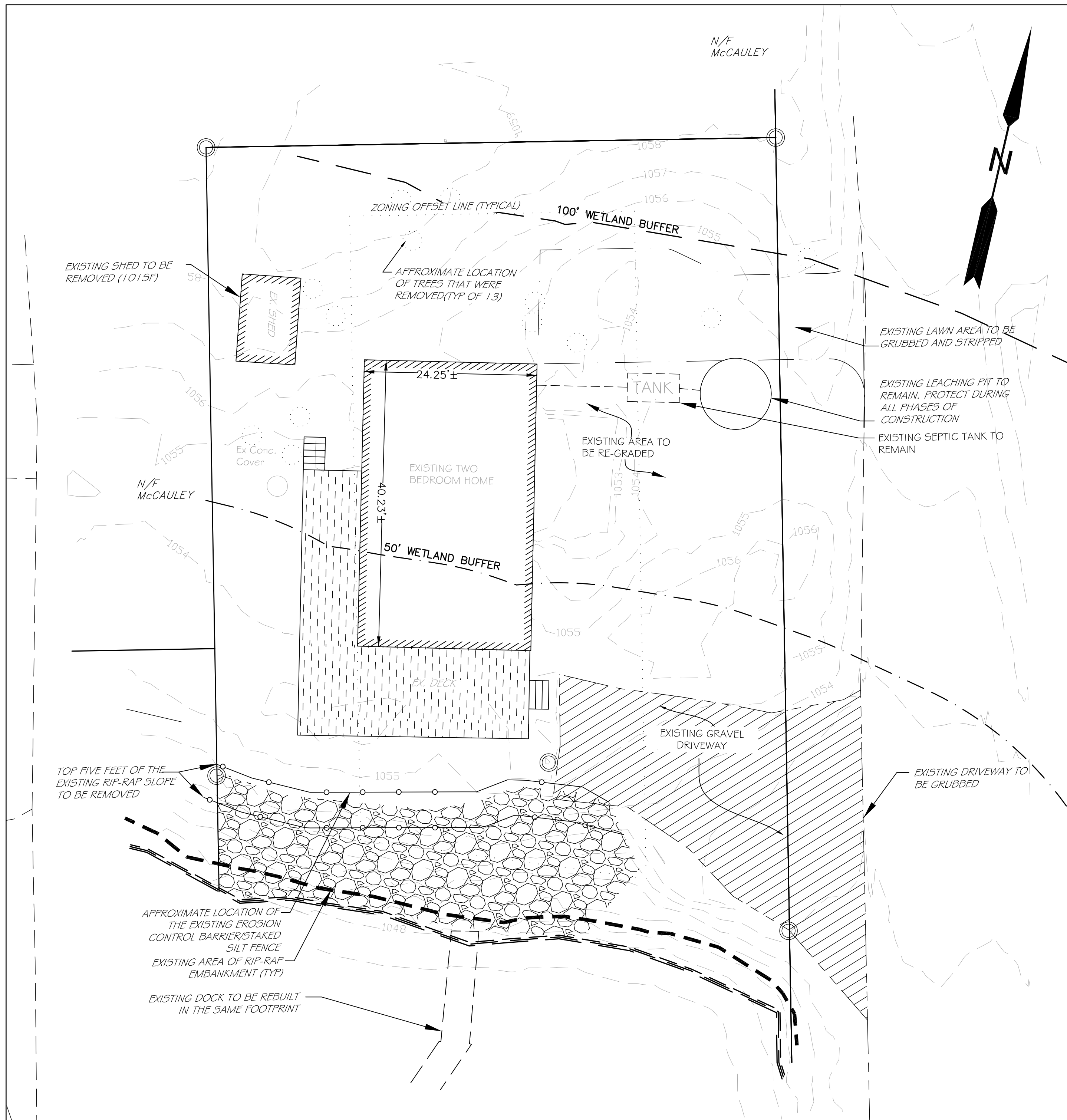
NOT FOR CONSTRUCTION
 THESE PLANS WERE PREPARED FOR THE PURPOSE OF OBTAINING STATE AND LOCAL PERMITS AND ARE NOT INTENDED TO BE USED AS CONSTRUCTION DOCUMENTS.

PLAN NOTES:

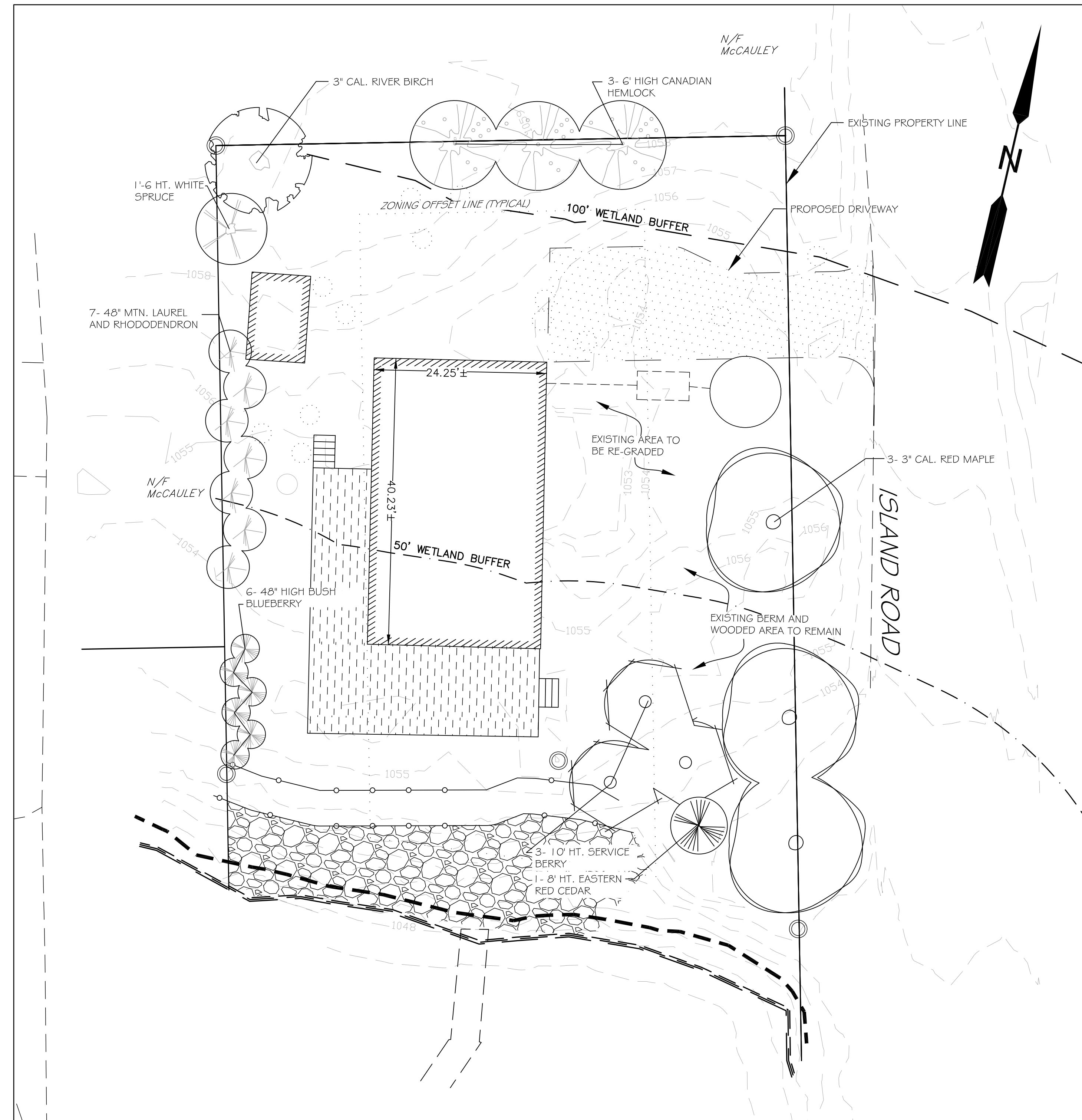
- THE EXISTING CONDITIONS SHOWN HEREON ARE THE RESULT OF AN ON THE GROUND SURVEY PERFORMED BY PERA LAND SURVEYING. DISTANCES AND AREA SHOWN ARE TAKEN FROM RECORD INFORMATION. FIELD SURVEY PERFORMED ON MAY 28, 2020 & NOVEMBER 12, 2021. LOT LINES BASED ON EXISTING FOUND MONUMENTATION AND RECORD DEED AND PLAN.
- THIS PLAN DEPICTS ONLY THOSE FEATURES THAT WERE VISUALLY APPARENT AT THE TIME OF THE SURVEY. THE ABSENCE OF SUBSURFACE STRUCTURES, UTILITIES, ETC. IS NOT INTENDED OR IMPLIED.
- THE LOCATION OF THE LEACHING PIT IS TAKEN FROM A PLAN FROM NORTHLAND ENGINEERING, DATED 5/6/21, REVISED 10/17/21.
- THE ASSESSORS PARCEL ID FOR THIS PROPERTY IS. M6-0-9.
- THE DEED REFERENCE FOR THE PROPERTY IS BOOK 59558, PAGE 168.
- THE PROPERTY PLAN REFERENCE IS "PLAN OF SUBDIVISION IN WINCHENDON MASS. OWNED AND DEVELOPED BY MONOMONAC LAKE SHORES, INC., DATED FEBRUARY 25, 1958- BOOK 230, PLAN 99.
- PORTIONS OF THE SUBJECT PREMISES ALONG LAKE MONOMONAC ARE SITUATED IN THE 100- YEAR FLOOD HAZARD ZONE, PER FLOOD INSURANCE RATE MAP 250348-0010B, REVISION DATED APRIL 25, 2001. FLOOD ELEVATION LINE SHOWN HEREON AND DETERMINED FROM FILED LEVEL OBSERVATIONS FROM THE PUBLISHED RM AT THE OUTLET DAM.
- PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT DIG-SAFE AT 1-888-344-7233 AND OBTAIN A DIG-SAFE NUMBER AT LEAST 72 HOURS PRIOR TO INITIATING WORK.

No.	Date	Revision
3.	09/27/22	Revision
2.	06/13/22	Town Comments
1.	03/24/22	Town Comments

Drawn By: lcg
 Designed By: lcg
 Checked By: _____

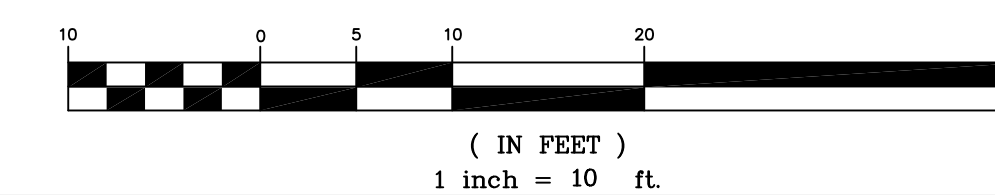


EXISTING CONDITION & DEMOLITION PLAN



RESTORATION PLAN

GRAPHIC SCALE



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 Civil Engineers
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 www.mccartyengineering.com

Project Name
 Cindy Fitch
 6 Island Drive
 Winchendon, MA

Sheet Title
 RESTORATION
 PLAN

Job No: 121.03.002
 File Name: 121.03.002
 Date: March 9, 2022
 Scale: 1"=10'
 Sheet No.
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