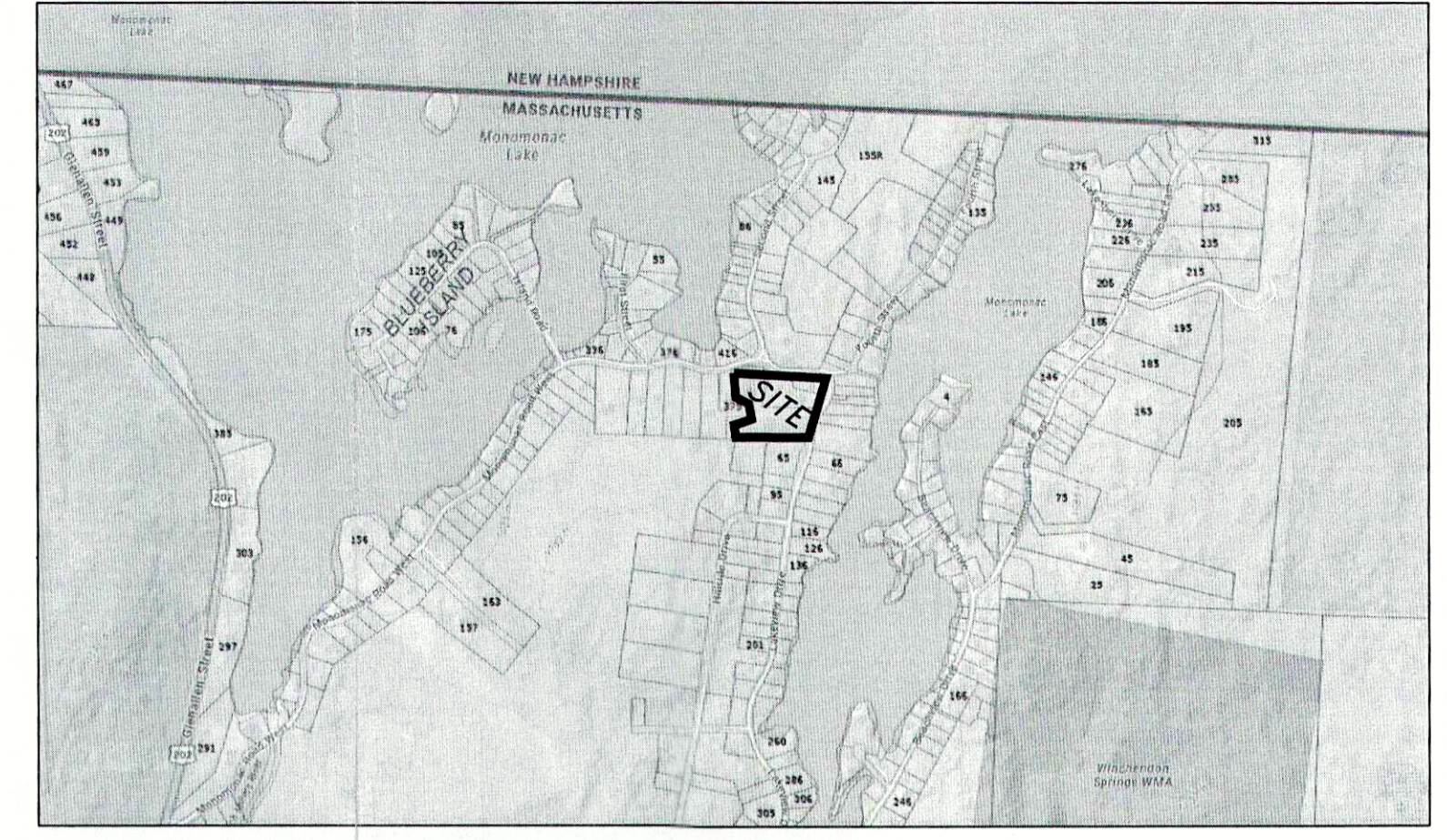


- LEGEND**
- N/F NOW OR FORMER OWNER
 - WETLANDS
 - WETLAND BOUNDARY
 - IPF IRON PIN FOUND
 - IPTBS IRON PIN TO BE SET (NOTE 3)
 - STONE WALL
 - UTILITY POLE
 - E ELECTRIC LINE



LOCUS 1"=1000'

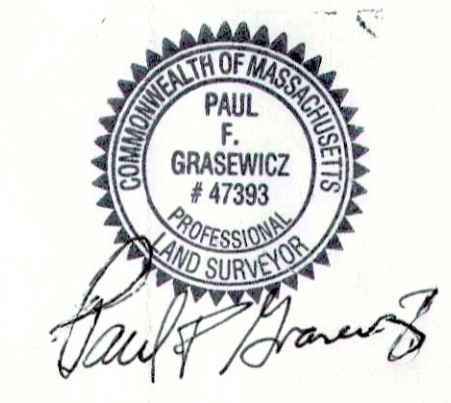
NOTES

1. THE PURPOSE OF THIS PLAN IS TO CHANGE THE LOT LINES BETWEEN MAP-7 LOTS-58 & 60 BY TRANSFERRING PARCEL "A" FROM LOT-58 TO LOT-60.
2. THE SUBJECT PROPERTY IS LOCATED IN THE LMOD ZONING DISTRICT
 DIMENSIONAL REQUIREMENTS:
 FRONTAGE= 150'
 AREA= 40,000 S.F. MIN.
 MINIMUM FRONT SETBACK=20'
 MINIMUM SIDE SETBACK=10'
 MINIMUM REAR SETBACK=20'
 MAXIMUM IMPERVIOUS AREA AS % OF LOT=15%
 *MINIMUM LOT AREA TO BE EXCLUSIVE OF WETLANDS AND SLOPES OVER 1:4.
 MAP-7 LOT-60
 AREA=47,026 S.F.
 WETLAND AREA= 1,682 S.F. SLOPE > 1:4 AREA= 5,201 S.F.
 UPLAND/NON-STEEP AREA= 40,143 S.F.
 FRONTAGE=123' < REQ'D 150' (LOT IS GRANDFATHERED)
 MAP-7 LOT-58
 AREA=101,361 S.F.
 WETLAND AREA= 29,263 S.F. SLOPE > 1:4 AREA= 6,903 S.F.
 UPLAND/NON-STEEP AREA= 65,195 S.F.
 FRONTAGE=200' > REQ'D 150'
3. IPTBS SIGNIFIES A 5/8"Ø STEEL REINFORCING BAR WITH A PINK CAP LABELLED 'GRAZ ENG. PLS 47393' TO BE SET.
4. WETLANDS SHOWN HEREON WERE FLAGGED/DELINEATED BY GRAZ ENGINEERING, LLC. ON MAP-7 LOT-60, AND WERE SHOWN ON REFERENCE PLAN #1 ON MAP-7 LOT-58.

REFERENCE PLANS & DEEDS

1. SUBJECT LOT ASSESSOR'S MAP-7 LOT-60
 A) WCRC PLAN BOOK-247 PLAN-76
 B) WCRC PLAN BOOK-507 PLAN-100
 C) DEED BOOK-69470 PAGE-319
2. SUBJECT LOT ASSESSOR'S MAP-7 LOT-58
 A) PLAN BOOK-739 PAGE-88
 B) DEED BOOK-69470 PAGE-254

I CERTIFY THAT THIS PLAN HAS BEEN PREPARED IN CONFORMITY WITH THE RULES AND REGULATIONS OF THE REGISTERS OF DEEDS OF THE COMMONWEALTH OF MASSACHUSETTS:



Paul F. Grasewicz
 PAUL F. GRASEWICZ P.L.S.
 MASS. PLS #47393

A-N-R (MGL CH. 41, 81P) PLAN
 MAP-7 LOTS-58 & 60
 MONOMONAC ROAD WEST/LAKEVIEW DRIVE; WINCHENDON, MA

OWNERS:
 KAYLA T. & TUCKER N. FRIEND
 405 WEST MONOMONAC ROAD
 WINCHENDON, MA 01475
 &
 JOSEPH W. & JULIA KENDALL
 46 LAKEVIEW DRIVE
 WINCHENDON, MA 01475

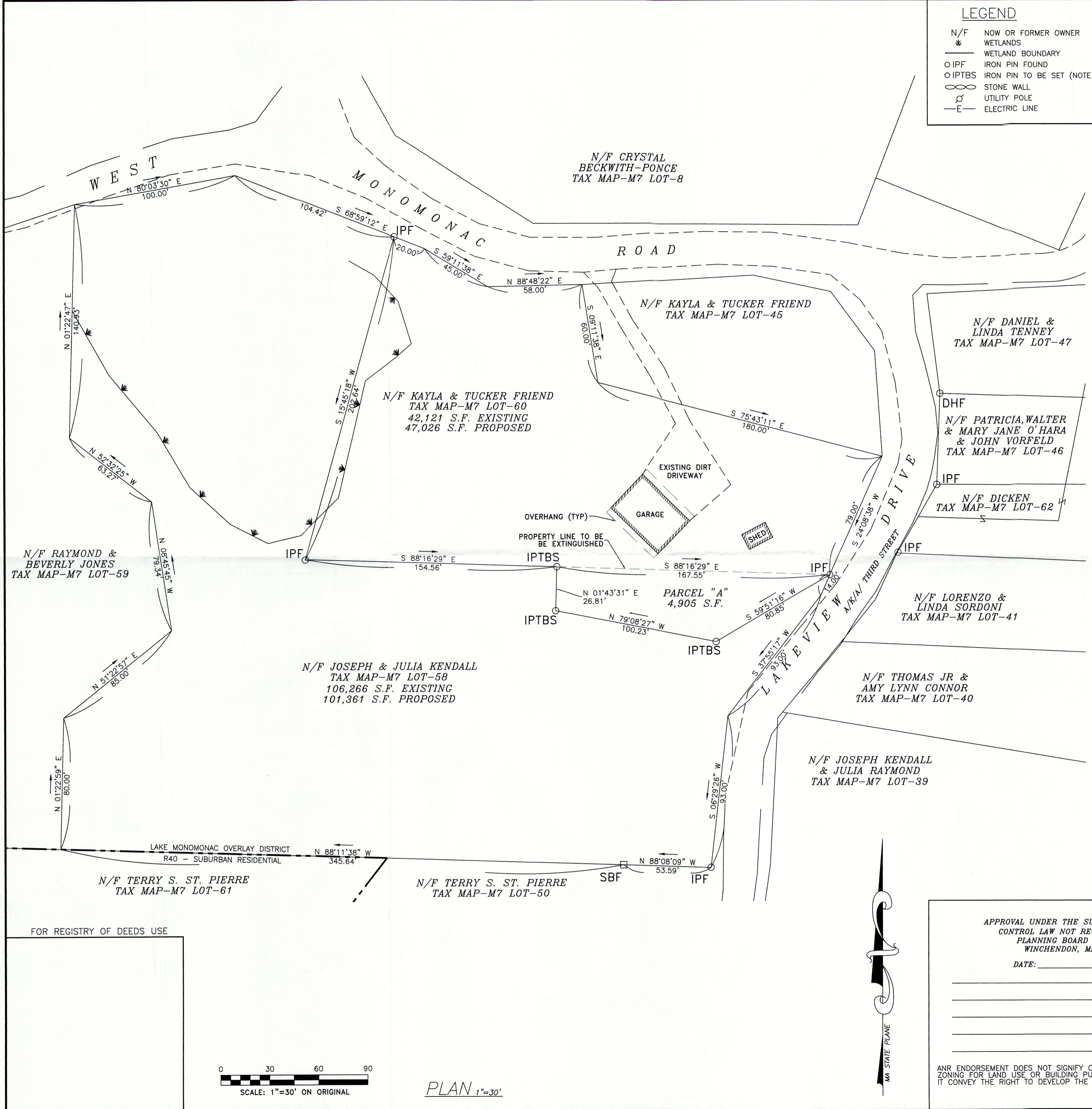
NOVEMBER 13, 2023

GRAZ Engineering, LLC

323 WEST LAKE ROAD; FITZWILLIAM, NH 03447; (603) 585-6959

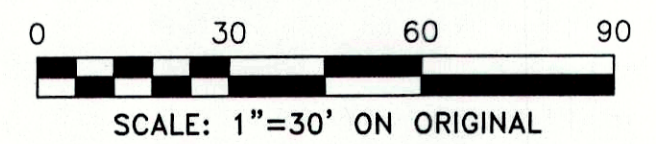
JOB NO. 21183

SHEET 1 OF 1



APPROVAL UNDER THE SUBDIVISION CONTROL LAW NOT REQUIRED
 PLANNING BOARD OF WINCHENDON, MA
 DATE: _____

ANR ENDORSEMENT DOES NOT SIGNIFY COMPLIANCE WITH ZONING FOR LAND USE OR BUILDING PURPOSES NOR DOES IT CONVEY THE RIGHT TO DEVELOP THE PROPERTY.



SCALE: 1"=30' ON ORIGINAL

PLAN 1"=30'

FOR REGISTRY OF DEEDS USE

LAKE MONOMONAC OVERLAY DISTRICT
 R40 - SUBURBAN RESIDENTIAL