Jim & Jen Hardy Hardy Residence

6 Second Street, Winchendon, MA 01475



DRAWING INDEX

SHEET NAME

A101 First Floor Existing Conditions

A102 Second Floor Existing Conditions

A100 Basement Floor Existing Conditions

A103 Roof Plan Existing Conditions

G103 Site Plan

A104 Proposed Basement Floor A105 Proposed First Floor

A106 Proposed Second Floor A108 Proposed Roof Plan

A200 Elevations A201 Elevations

A202 Elevations A203 Elevations

A300 Building Sections A₃01 Building Sections

A107 Proposed Attic Plan

A302 Building Sections A303 Building Sections

Goo1 Cover Sheet

Goo2 General Information

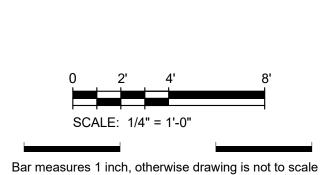
A501 Details

AMES MATTONI

t: 502.513.4342 james@JMDesign.biz services@JMDesign.biz WWW.JMDESIGN.BIZ DESIGN | CABINET SALES KITCHENS | BATHROOMS CLOSETS | PHOTOGRAPHY REVIT | BIM MODELING



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6/25/2023 8:50:24 PM SETS & REVISIONS Description

Jim & Jen Hardy

Hardy Residence

6 Second Street, Winchendon, MA 01475

Cover Sheet

G001

Drawn by Checked by

GENERAL STRUCTURAL NOTES:

- 1. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE SPECIFICATIONS AND OTHER PROJECT DRAWINGS BY OTHER DISCIPLINES. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CODES LISTED BELOW. 2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS RELATING TO
- EXISTING CONDITIONS BY MAKING FIELD SURVEYS AND MEASUREMENTS PRIOR TO COMMENCING FABRICATION OR CONSTRUCTION.
- 3. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION METHODS USED SHALL NOT CAUSE DAMAGE TO ADJACENT BUILDINGS, UTILITIES, OR OTHER PROPERTY. THIS REQUIREMENT IS PARTICULARLY IMPORTANT DURING FOUNDATION INSTALLATION.
- 4. THE GENERAL CONTRACTOR IS ADVISED TO CONSIDER PERFORMING PHOTOGRAPHIC SURVEYS AND OTHER DOCUMENTATION OF THE CONDITION OF ADJACENT BUILDINGS AND OTHER STRUCTURES BEFORE THE START OF
- 5. THE GENERAL CONTRACTOR SHALL OBTAIN COPIES OF THE LATEST CONTRACT DOCUMENTS, INCLUDING ALL ADDENDA, AND PROVIDE THE RELEVANT PORTIONS TO ALL SUB-CONTRACTORS AND SUPPLIERS PRIOR TO SUBMITTAL OF SHOP DRAWINGS AND FABRICATION AND ERECTION OF STRUCTURAL MEMBERS.
- 6. THE GENERAL CONTRACTOR SHALL COMPARE AND COORDINATE THE DRAWINGS OF ALL DISCIPLINES AND REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS TO THE ARCHITECT AND ENGINEER.
- 7. DETAILS LABELED "TYPICAL" SHALL APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED. SEE DETAIL TITLES FOR APPLICABILITY OF A PARTICULAR DETAIL. TYPICAL DETAILS SHALL APPLY WHETHER OR NOT THEY ARE SPECIFICALLY KEYED AT EACH LOCATION. THE ENGINEER SHALL HAVE FINAL AUTHORITY TO DETERMINE APPLICABILITY OF TYPICAL DETAILS.
- 8. WHERE CONFLICTS EXIST BETWEEN STRUCTURAL DOCUMENTS THE STRICTEST REQUIREMENTS, AS INDICATED BY THE STRUCTURAL ENGINEER SHALL GOVERN. 9. THE GENERAL CONTRACTOR SHALL REVIEW AND DETERMINE THAT DIMENSIONS
- ARE COORDINATED BETWEEN ARCHITECTURAL AND STRUCTURAL DRAWINGS PRIOR TO FABRICATION OR START OF CONSTRUCTION.
- 10. NO STRUCTURAL MEMBER SHALL BE CUT OR NOTCHED OR OTHERWISE REDUCED IN STRENGTH UNLESS APPROVED BY THE STRUCTURAL ENGINEER.
- 11. THE GENERAL CONTRACTOR SHALL COORDINATE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ANCHORED, EMBEDDED OR SUPPORTED ITEMS. NOTIFY THE ARCHITECT / ENGINEER OF ANY DISCREPANCIES

EXTERIOR DECK AND STAIRS NOTES:

- 1. ALL LUMBERS SHALL BE IDENTIFIED BY THE GRADE MARKS OF, OR CERTIFICATION OF INSPECTION ISSUED BY, AN APPROVED LUMBER GRADING OR INSPECTION BUREAU AGENCY.
- 2. ALL WOOD FOR SCREENED IN PORCH, UPPER PORCHES AND STAIRS TO BE PRESSURE TREATED WITH APPROVED PROCESS AND PRESERVATION IN ACCORD ANCE WITH AMERICAN WOOD ASSOCIATION STANDARDS.
- 3. ALL NAILS SHALL MEET REQUIREMENTS OF ASTMF1667. WOOD SCREWS SHALL MEET THE REQUIREMENTS OF ANSI/ASME B186.1.
- 4. BOLTS AND LAG SCREWS SHALL MEET THE REQUIREMENTS OF ANSI/ASME B182.1. 5. ALL SCREWS, BOLTS AND NAILS FOR USE WITH TREATED WOOD SHALL BE HOT
- DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZED OR COPPER FASTENERS TO BE HOT-DIPPED GALVANIZED SHALL MEET THE REQUIREMENTS OF ASTM A153, STANDARD.
- 6. SPECIFICATIONS FOR ZINC COATING (HOT-DIP) ON IRON STEEL HARDWARE, CLASS D FOR FASTENERS 3/8" DIAMETER OR SMALLER OR CLASS C FOR FASTENERS WITH
- 7. ALL HARDWARE (JOIST HANGERS, POST ANCHORS, ETC) SHALL BE GALVANIZED OR STAINLESS STEEL. HARDWARE TP BE HOT DIPPED PRIOR TO FABRICATION SHALL MEET ASTM A653.
- 8. FLASHING SHALL BE CORROSION-RESISTANT METAL OF MINIMUM NOMINAL .0019-INCH THICKNESS OR APPROVED NON METALLIC MATERIAL. ALUMINUM SHALL NOT BE USED IN DIRECT CONTACT WITH LUMBER TREATED WITH PRESERVATIVES THAT CONTAIN COPPER SUCH AS ACQ, COPPER AZOLE OR ACZA.
- 9. ALL LUMBER SHALL BE IDENTIFIED BY THE GRADE MARK OF, OR CERTIFICATE OF INSPECTION BY THE GRADE MARK OF, OR CERTIFICATION OF INSPECTION ISSUED BY, AN APPROVED LUMBER LEDGER LEAD ANCHORS ARE PROHIBITED.
- 10. THRU-BOLTS SHALL HAVE A DIAMETER OF 1/2" PILOT HOLES FOR THRU BOLTS SHALL BE 16/32" IN DIAMETER THRU-BOLTS REQUIRE WASHERS AT THE BOLT HEAD AND

DECKING REQUIREMENT

ATTACHED DECKING TO EACH JOIST W/(2) 8d TREATED NAILS OR (2)*8 SCREWS. SPACE DECKING BOARDS APPROXIMATELY 1/8"APART. IF DECKING IS INSTALLED @ 45° TO THE JOISTS EACH SEGMENT OF DECKING MUST BEAR IN A MINIMUM OF (4) JOISTS.

FOOTINGS:

SOIL BEARING CAPACITY IS ESTIMATED AT 1500 POUNDS PER SQUARE FOOT, IF OTHERWISE FOUND CONSULT DESIGNER FOR FOOTING RE-SIZING. CONTACT CALL-BEFORE-YOU-DIG BEFORE DIGGING. ALL PRE-MANUFACTURED ANCHORS SHALL BE GALVANIZED.

NOTES AND SPECIFICATIONS:

CONCRETE:

- 1. CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301-89 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS", ACI 318 (LATEST
- EDITION) BUILDING CODS ENFORCEMENT FOR REINFORCED CONCRETE. 2. CONCRETE SHALL DEVELOP A MINIMUM COMPRESSION STRENGTH OF 3000 PSI AT 28 DAYS, UNLESS NOTED OTHERWISE AND HAVE HIGH CONTENT OF FLY ASH.
- 3. ALL EXPOSED OUTSIDE CORNERS SHALL HAVE A 1/2" x 45 BEVEL, UNLESS NOTED
- 4. WELDED WIRE FABRIC SHALL COMPLY WITH ASTM A165, WITH A MINIMUM LAP OF ONE SPACING OF THE GROSS WIRE PLUS 2 INCHES.
- 5. ALL FOUNDATION AND FOOTINGS SHALL BEAR ON PROPERLY COMPACTED GRANULAR FILL OR VIRGIN SOIL CAP ABLE OF SUSTAINING A BEARING CAPACITY OF 2000 PSF TO A MINIMUM DEPTH OF 2'-0" BELOW FINISHED GRADE. 6. BACK FILL TO BE COMPACTED BY A SUITABLE MECHANICAL MEANS IN 6" LIFTS TO AT

LEAST 95% MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT AS DETERMINED

BY MODIFIED PROCTOR DENSITY TEST ASTM D-1557-58T. 7. ALL STRUCTURAL STEEL SHALL BE ENGINEERED AND NOTED ON STRUCTURAL

DIMENSION NOTES

- 1. EXTERIOR DIMENSION ARE FROM THE EXTERIOR OF FOUNDATION WALL TO EXTERIOR OF FOUNDATION WALL UNLESS NOTED OTHERWISE
- 2. STUD WALLS ARE DIMENSIONED FROM FACE OF FRAMING TO FACE OF FRAMING.

- 1. CONTRACTOR SHALL ADHERE TO ALL APPLICABLE 2018 KENTUCKY RESIDENTIAL
- A. ADOPTS WITH AMENDMENTS IRC 2018
- B. HTTPS://DHBC.KY.GOV/DOCUMENTS/PROPOSED2018KENTUCKYRESIDENTIALCOD ESECONDEDITION.PDF
- 2. FLOOR JOISTS SHALL BE STRUCTURAL GRADE *2 OR BETTER (MINIMUM 1,500 PSI) 3. FLOOR JOISTS UNDER CERAMICS TILE ARE DESIGNED FOR THIN SET SYSTEMS ONLY.
- 4. RECOMMENDED ALL JOISTS, RIDGES, BEAMS, COLUMNS, POSTS, & RAFTERS SHALL USE METAL HANGERS, METAL CONNECTORS, AND METAL STRAPS. BASIS OF DESIGN: SIMPSON STRONG-TIE. TOE-NAILING SHALL **ONLY** BE RECOMMENDED FOR TEMPORARY SUPPORT AND STUD FRAMING.
- 5. ALL SUBFLOORS IN BATHROOMS, LAUNDRY ROOMS, UTILITY ROOMS, AND MECHANICAL ROOMS WHERE WATER IS PRESENT SHALL BE P.T. OR MARINE GRADE
- 6. ALL SUBFLOORS UNDER SINK LOCATIONS IN KITCHENS SHALL BE P.T. OR MARINE GRADE PLYWOOD.
- 7. TYPICAL INTERIOR WALLS SHALL BE 2x4 @ 16" O.C. WOOD STUD WALLS UNLESS
- 8. TYPICAL WET WALLS SHALL BE 2x6 @ 16" O.C. WOOD STUD WALLS UNLESS NOTED
- 9. ALL COMPOSITE WOOD BEAMS OF THREE OR MORE MEMBERS SHALL BE THRU
- BOLTED WITH 1/2" BOLTS @ 16" O.C. STAGGERED. 10. PROVIDE APPROVED METAL LET-IN BRACING AT ALL CORNERS EXTENDING TO FOUNDATION WALL TO TOP OF PLATE AT AN ANGLE OF NOT GRATER THAN 60°,

FASTEN AT EACH STUD WITH (2) 8d NAILS OR PROVIDE A MINIMUM 4'-0" WIDE

- 1. FOR OPENINGS UP TO 6'-0" IN LENGTH, USE TWO (2) 2x10's WITH 1/2" PLYWOOD PLATE BETWEEN, FASTEN WITH STAGGERED 8d NAILS EACH SIDE. MINIMUM END BEARING FOR BEAM SHALL BE (2) TWO JACK STUD WIDTHS UNLESS NOTED
- 2. FOR 2x4 WALL OPENINGS 6'-0" UP TO 10'-0" IN LENGTH, USE (2) TWO 2x12's WITH 1/2" PLYWOOD PLATE BETWEEN 2X MEMBERS, THRU BOLTED WITH 1/2" BOLT @ 16" O.C. STAGGERED. DO NOT USE HEADERS ON INTERIOR NON-LOAD BEARING WALLS UNLESS NOTED OTHERWISE. MINIMUM END BEARING FOR BEAM SHALL BE (3) THREE JACK STUD WIDTHS UNLESS NOTED OTHERWISE.
- 3. FOR 2x6 WALL OPENINGS 6'-o" UP TO 10'-o" IN LENGTH, USE (3) THREE 2x10'S WITH 1/2" PLYWOOD PLATE BETWEEN 2X MEMBERS, THRU BOLTED WITH 1/2" BOLT @ 16" O.C. STAGGERED. DO NOT USE HEADERS ON INTERIOR NON-LOAD BEARING WALLS UNLESS NOTED OTHERWISE. MINIMUM END BEARING FOR BEAM SHALL BE (3) THREE JACK STUD WIDTHS UNLESS NOTED OTHERWISE.

CASEWORK:

SEE WINDOW AND DOOR DETAILS FOR CASEWORK

SHEET OF PLYWOOD AT EACH CORNER FACE.

SMOKE DETECTORS:

INSTALLATION AND LOCATION PER NFPA 14. VERIFY LOCATION AND REQUIREMENT WITH LOCAL AUTHORITIES HAVING JURISDICTION.

WINDOWS:

- 1. FENESTRATION U-FACTOR MINIMUM 0.40
- 2. ALL WINDOWS SHALL HAVE SCREENS.
- 3. WINDOWS BASIS FOR DESIGN ARE PELLA LIFESTYLE STANDARD SIZES. 4. CONTRACTOR FURNISHED AND INSTALLED WITH OWNER'S WRITTEN APPROVAL

INSTALLED WITH WRITTEN OWNER'S APPROVAL.

DOORS:

1. DOOR SHALL BE RAISED PANEL PAINT GRADE, CONTRACTOR FURNISHED AND

NOTES AND SPECIFICATIONS: *CONTINUED*

GYPSUM BOARD:

- 1. ALL GYPSUM BOARD SHALL BE A MINIMUM OF 1/2".
- 2. ALL BATHROOMS WALLS AND CEILINGS, AND NEAR WATER SUPPLIES SHALL BE MOLD RESISTANT GWB.
- 3. DROPPED CEILINGS OR SOFFITS IF NEEDED AT BATHROOMS AND ABOVE KITCHEN CABINETS AT 8'-o" A.F.F. FOR MECHANICALS.
- 4. LOWER LEVEL TO BE PRE-ROCKED BEFORE SOFFIT IS DROPPED AND JOIST CAVITIES WHERE MECHANICALS RUN.
- 5. CONTRACTOR TO COORDINATE WITH HVAC & PLUMING CONTRACTOR.

- 1. COOLING EQUIPMENT MUST BE SIZED ACCORDING TO LATEST EDITION OF AIR CONDITIONING CONTRACTORS OF AMERICA (ACCA) MANUALS J AND S, ASHRAE 2001 HANDBOOK OF FUNDAMENTALS OR AN EQUIVALENT COMPUTATION PROCEDURE. MAXIMUM OVER SIZING LIMIT FOR AC AND HEAT PUMPS IS 15%.
- 2. OUTDOOR TEMPERATURE SHALL BE THE 99% DESIGN TEMPERATURE AS PUBLISHED IN THE ASHRAE HANDBOOK OF FUNDAMENTALS FOR THE HOME'S LOCATION.
- 3. INDOOR TEMPERATURE SHALL BE 15" F FOR COOLING. 4. INFILTRATION RATE SHALL BE SELECTED AS TIGHT OR EQUIVALENT.
- 5. AT DUCTWORK TO BE RUN ON INTERIOR SPACES AND SEALED WITH UNDERWRITERS LABORATORY (UL)181 APPROVED TAPS. (METAL BACKED TAPES.)
- 6. ALL THROUGH PENETRATIONS OF DUCTWORK OR WRING TO BE SEALED WITH EXPANDING FOAM.

- 1. PLUMBERS SHALL **NOT** NOTCH, BEAMS, HEADERS, JOISTS, RAFTERS, OR STUDS IN BEARING WALLS. IF INSTALLATION OF PLUMBING SUPPLY, WASTE, OR VENTING IS UNAVOIDABLE, PLUMBER **SHALL** COORDINATE WITH GENERAL CONTRACTOR FOR
- CARPENTER TO PROVIDE ADEQUATE OPENINGS. 2. TOILET TO BE DUAL FLUSH, ALL FAUCETS TO BE LOW FLOW.
- 3. WASTE LINES TO BE CONCEALED IN JOIST CAVITIES AND NOTED PLUMBING WALLS. 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE KENTUCKY PLUMBING CODE AND OTHER STATE AND LOCAL CODES AS THEY APPLY.

<u>INSULATION</u>:

- 1. INSULATION MATERIAL INSTALLED TO MEET GRADE 1 AS DEFINED BY APPENDIX A 2006 MORTGAGE INDUSTRY NATIONAL HOME ENERGY RATING SYSTEM STANDARDS: ON SITE INSPECTION PROCEDURES FOR MINIMUM RATED FEATURES.(WWW.NATRESENT.ORG)
- 2. SEAL FLU SHAFTS AND ALL EXTERIOR WALL PENETRATION W/EXPANDING FOAM. 3. ZONE 4 - MINIMUM PERFORMANCE UNLESS OTHERWISE NOTED ON SECTIONS:
- A. ROOF / ATTIC: R-49
- B. EXTERIOR WALLS: R-13 (2x4 STUD CAVITY), R-19 (2x6 STUD CAVITY)
- C. FLOOR: R-30
- D. CRAWLS SPACE WALL: R-25

E. BASEMENT WALL: R-11

ELECTRICAL:

- 1. ALL APPLIANCES AND EQUIPMENT TO BE ENERGY STAR RATED.
- 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE N.E.C. STATE AND LOCAL CODES AS THEY APPLY.

TYPICAL ABBREVIATIONS:

| & | And | IRGWB | Impac |
|--------|--|--------|---------|
| @ | At | ILO | In Lie |
| Ø | Diameter | INSUL | Insula |
| # | Pound OR Number | INT | Interio |
| A.C.T. | Acoustic Ceiling Tile | LO | Low |
| A.D. | Area Drain | MAX | Maxin |
| A.F.F. | Above Finished Floor | MO | Maso |
| ALUM | Aluminum | MECH | Mech |
| ANOD | Anodized | MEMBR | Meml |
| BSMT | Basement | MIN | Minim |
| BYND | Beyond | MRGWB | Moist |
| B.O. | Bottom of | MTL | Metal |
| BOT | Bottom | NIC | Not Ir |
| C.I.P. | Cast In Place | NO | Numb |
| CHNL | Channel | NOM | Nomii |
| C.J. | Control Joint | O.C. | On Ce |
| CL | Center Line | O.H. | Overh |
| CLG | Ceiling | OPP | Oppo |
| CLR | Clear | OZ | Ounce |
| CMU | Concrete Masonry Unit | PCC | Pre-Ca |
| COL | Column | PLUMB | Plumb |
| COMPR | Compressible | PLYD | Plywo |
| CONC | Concrete | P.T. | Pressi |
| CONT | Continuous | PNT | Paint |
| CPT | Carpet | PVC | Polyvi |
| C.T. | Ceramic Tile | RBR | Rubbe |
| CTYD | Courtyard | R.C.P. | Refle |
| DBL | Double | R.D. | Roc |
| DEMO | Demolish or Demolition | REQD | Requi |
| DIA | Diameter | RM | Room |
| DIM | Dimension | SIM | Simila |
| DIMS | Dimensions | S.D. | Smok |
| DN | Down | SPEC | Specif |
| DR | Door | SPK | Sprink |
| DWG | Drawing | S.STL | Stainl |
| EA | Each | S.T.C. | Sou |
| EJ | Expansion Joint | STL | Steel |
| EL | Elevation | STRUCT | Struct |
| ELEC | Electrical | T&G | Tongu |
| ELEV | Elevator or Elevation | TELE | Telep |
| EPDM | Ethylene Propylene Diene M-Class (Roofing) | TLT | Toilet |
| EQ | Equal | T.M.E. | To N |
| EXIST | Existing | T.O. | Тор |

Top Of Concrete

Telephone/Data

Verify In Field

Toilet Paper Dispenser

Unless Noted Otherwise

Top Of Steel

Underside

With

Vision Panel

T.O.S.

TPD

T/D

TYP

U/S

V.I.F.

VP

WD

U.N.O.

EXT

FD

FEC

FIXT

FLR

FND

GΑ

GALV

GWB

EXP JT Expansion Joint

Exterior

Fixture

Face Of

Gauge

Filled Metal

Foundation

Galvanized

Hollow Core

Hollow Metal

Floor

Floor Drain or Fire Department

Finished Face or Finished Floor

HVAC Heating, Ventilating, And Air Conditioning

Fire Extinguisher Cabinet

Finished Floor Level

Gypsum Wall Board

ict Resistant Gypsum Wall Board **EXTERIOR ELEVATION CALLOUT** ated or Insulation onry Opening nanical ıbrane INTERIOR ELEVATION CALLOUT ture-Resistant Gypsum Wall Board n Contract SECTION CALLOUT hang or Opposite Hand osite or Opposite Hand Cast Concrete bing ood sure Treated DETAIL SECTION CALLOUT or Painted vinyl Chloride ected Ceiling Plan of Drain DETAIL SECTION CALLOUT ke Detector ified OR Specification ıkler or Speaker less Steel und Transmission Coefficient cture or Structural gue And Groove (101) DOOR TAG Match Existing Top Of

Room name

TYPICAL PROJECT SYMBOLS:

Project Phase **Project Status** DESIGN SET ONLY NOT FOR CONSTRUCTION RELEASED FOR CONSTRUCTION RECORD DRAWING Sheet Scales

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Date

AMES MATTONI t: 502.513.4342

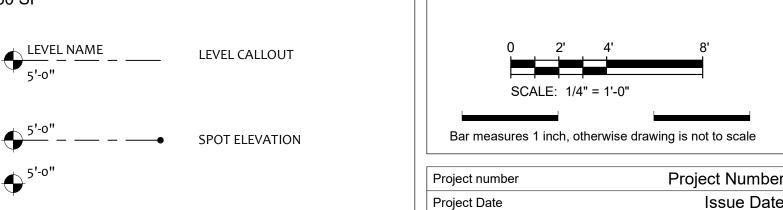
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DESIGN | CABINET SALES

KITCHENS | BATHROOMS CLOSETS | PHOTOGRAPHY

REVIT | BIM MODELING



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WALL TAG

WINDOW TAG

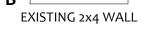
ROOM TAG

SLOPE



WALL TYPES:





EXISTING 2x6 WALL

10" FOUNDATION WAL w/ WATERPROOFING

SETS & REVISIONS Description

Hardy Residence

Jim & Jen Hardy

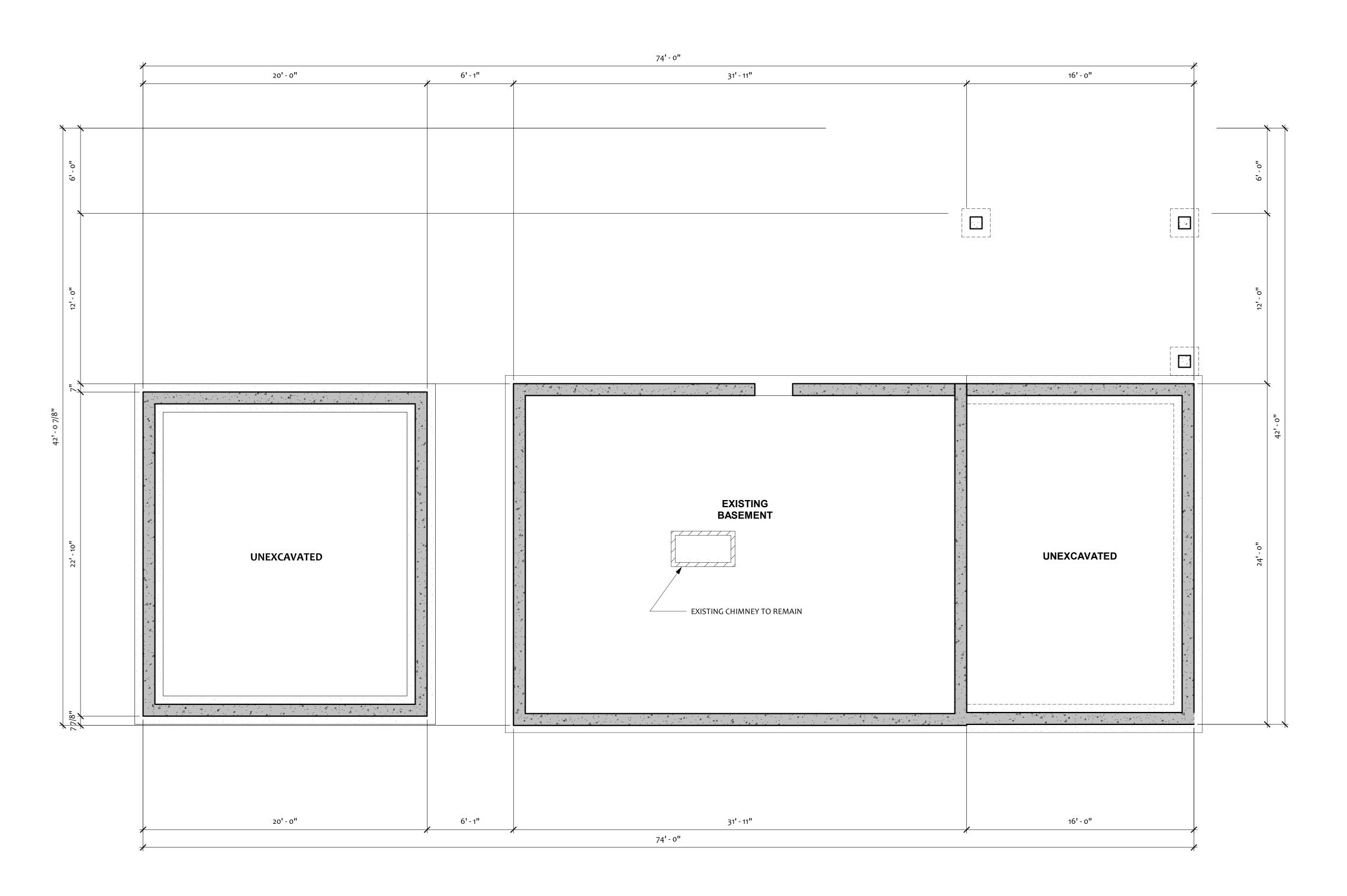
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General Information

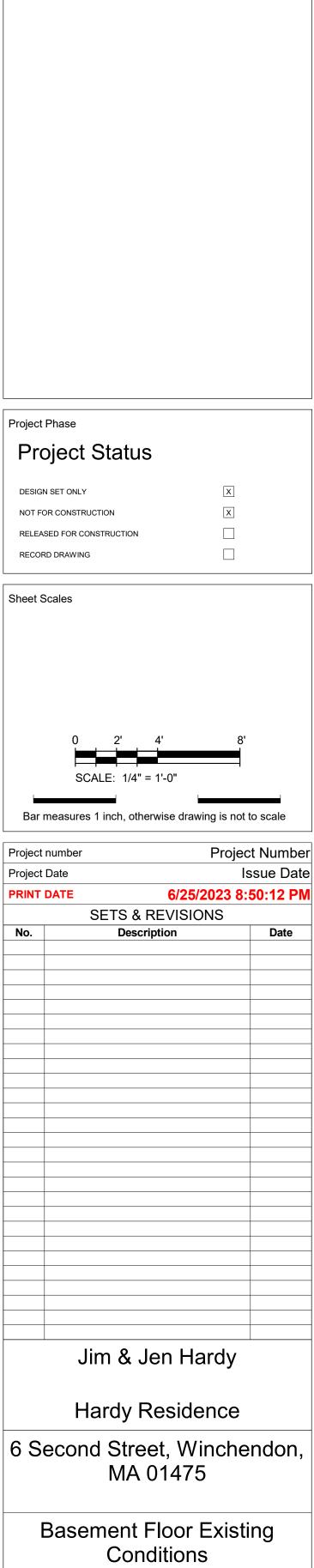
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1 EXISTING BASEMENT 1/4" = 1'-0"

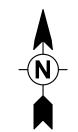


A100

1/4" = 1'-0"

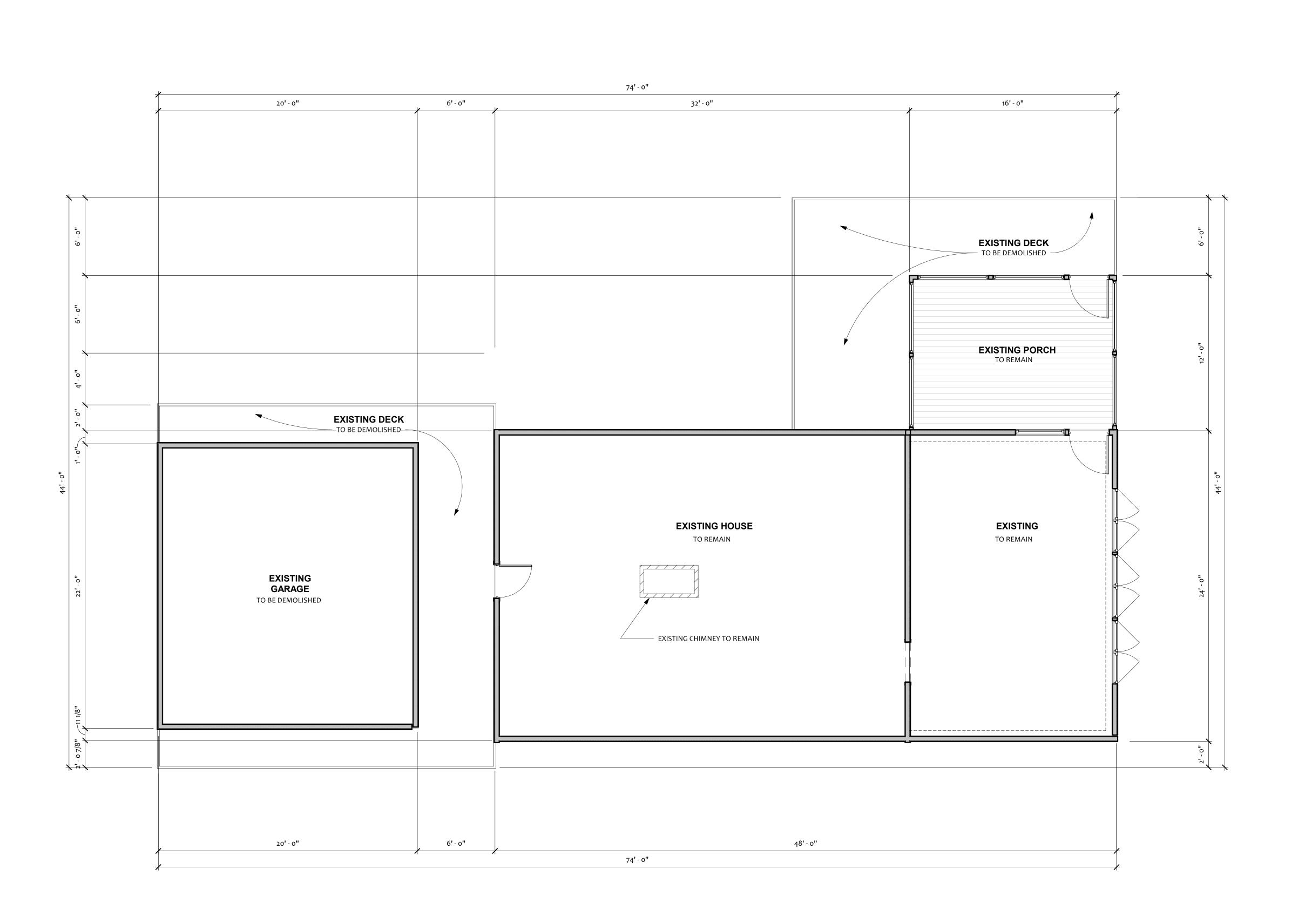
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Drawn by

Checked by



1 EXISTING 1ST FLOOR 1/4" = 1'-0"

EXISTING SQUARE FOOTAGEUNFINISHED

GARAGE 440 SF
BASEMENT 768 SF
COVERED PORCH 160 SF

SUB TOTAL 1,368 SF FINISHED

1ST FLOOR 768 SF

NET TOTAL: 2,136 SF

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DESIGN | CABINET SALES
KITCHENS | BATHROOMS
CLOSETS | PHOTOGRAPHY
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Project Phase

Project Status

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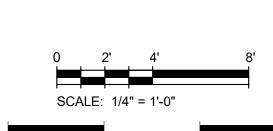
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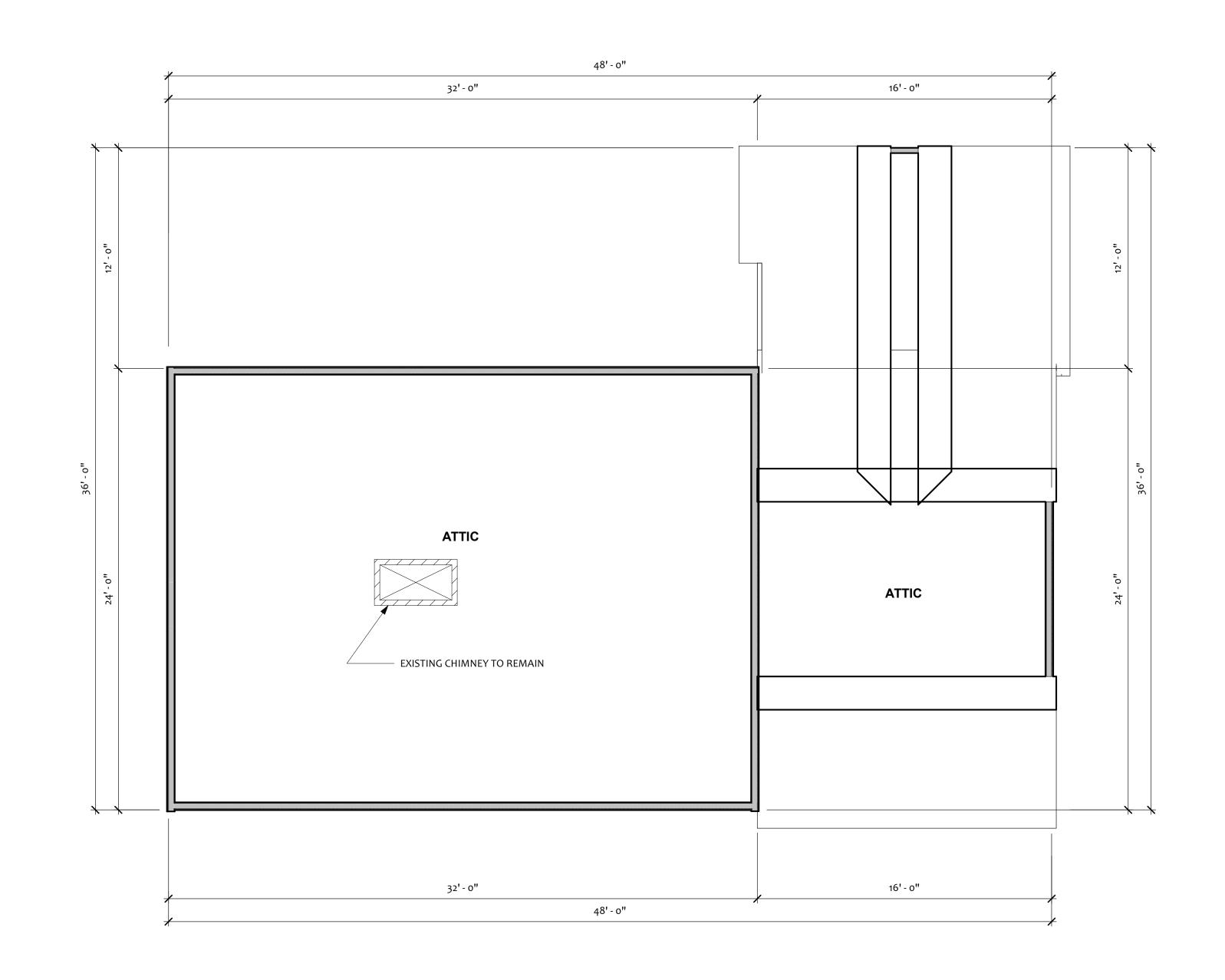
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Hardy Residence

6 Second Street, Winchendon, MA 01475

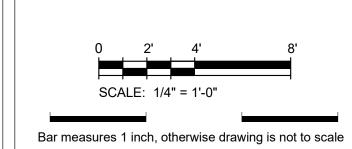
First Floor Existing Conditions

A101





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Jim & Jen Hardy

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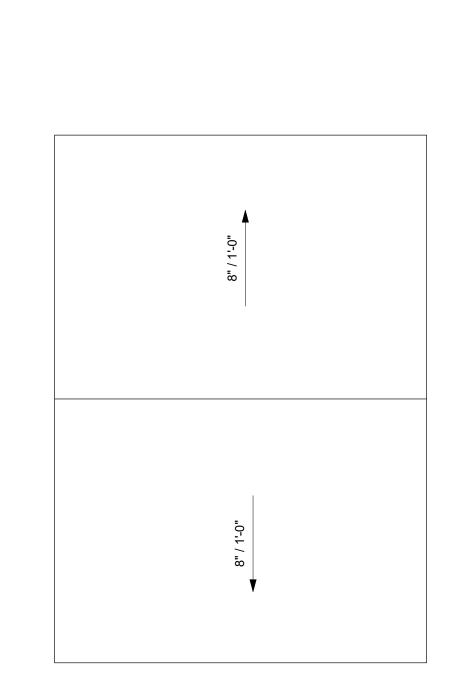
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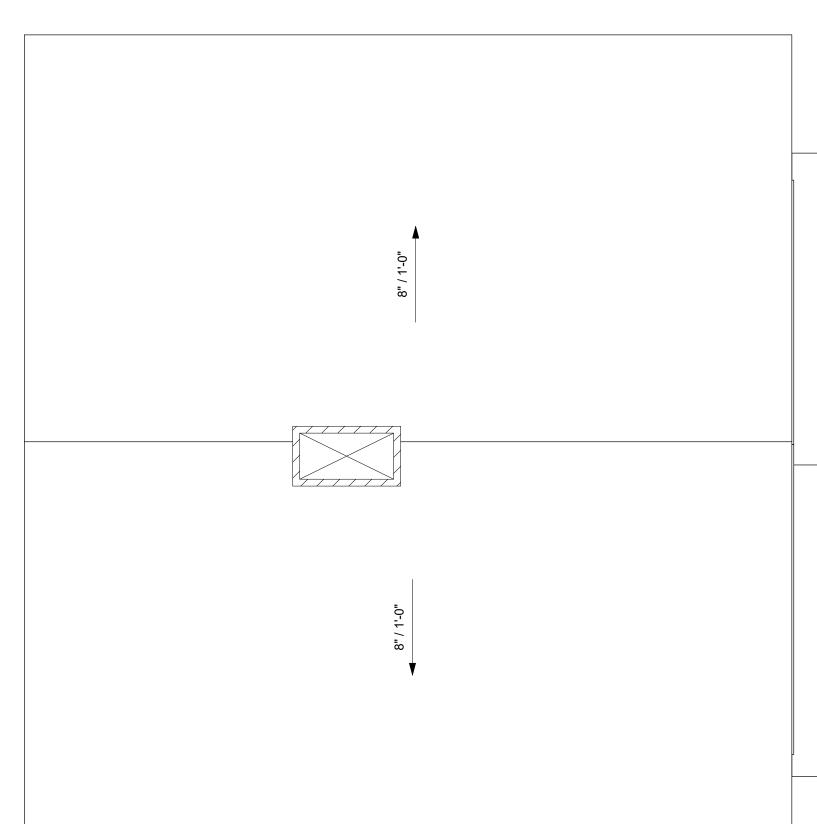
Second Floor Existing Conditions

A102

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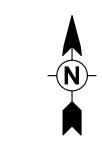
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8"/1-0"

1 EXISTING ROOF 1/4" = 1'-0"



Project Phase

Project Status

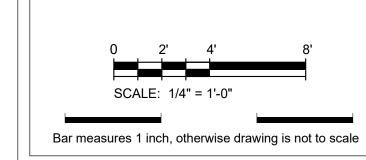
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RECORD DRAWING

Sheet Scales



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Project Date

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Description

Date

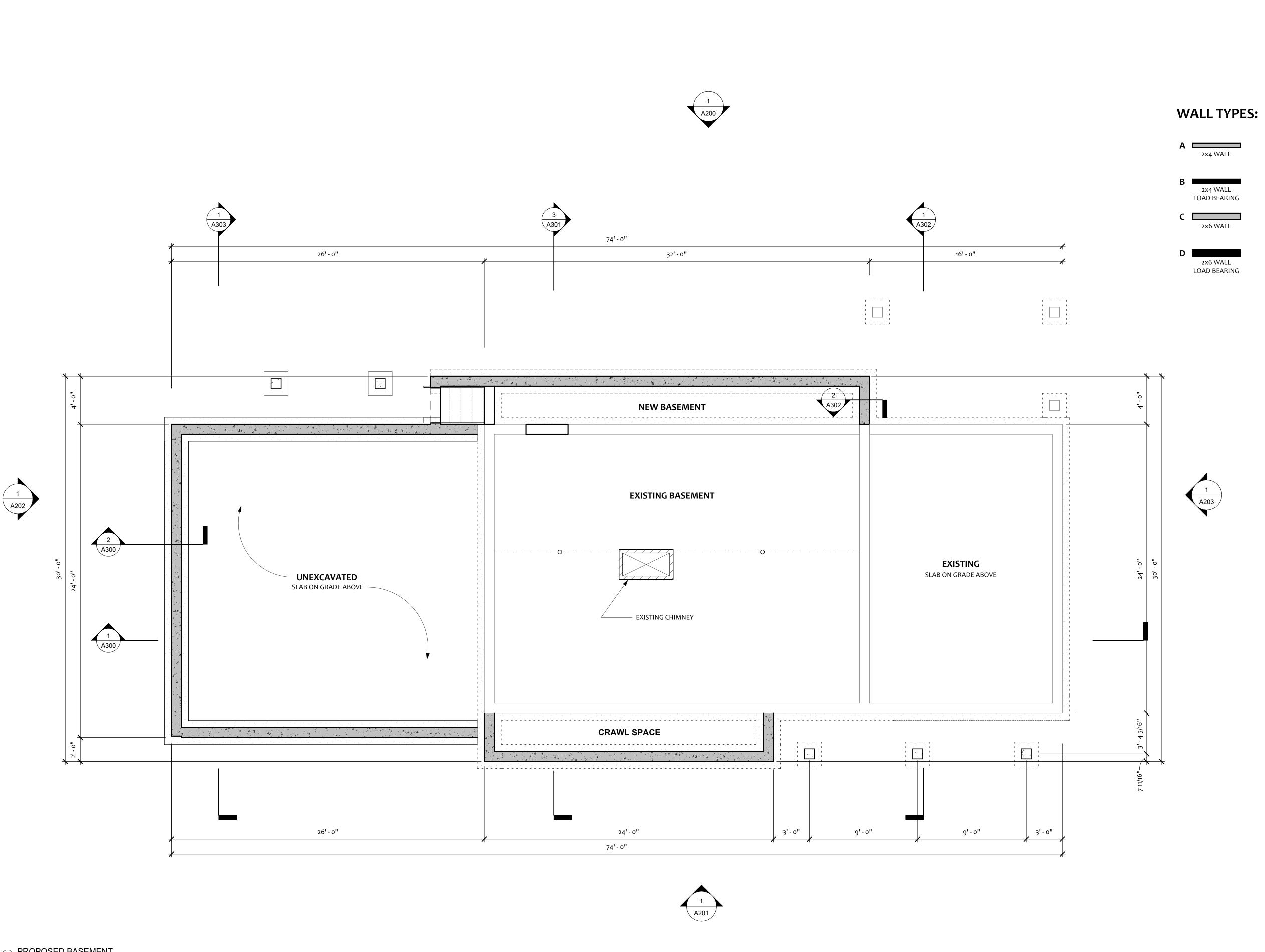
Jim & Jen Hardy

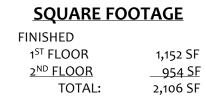
Hardy Residence

6 Second Street, Winchendon, MA 01475

Roof Plan Existing Conditions

A103





Project Status

Sheet Scales

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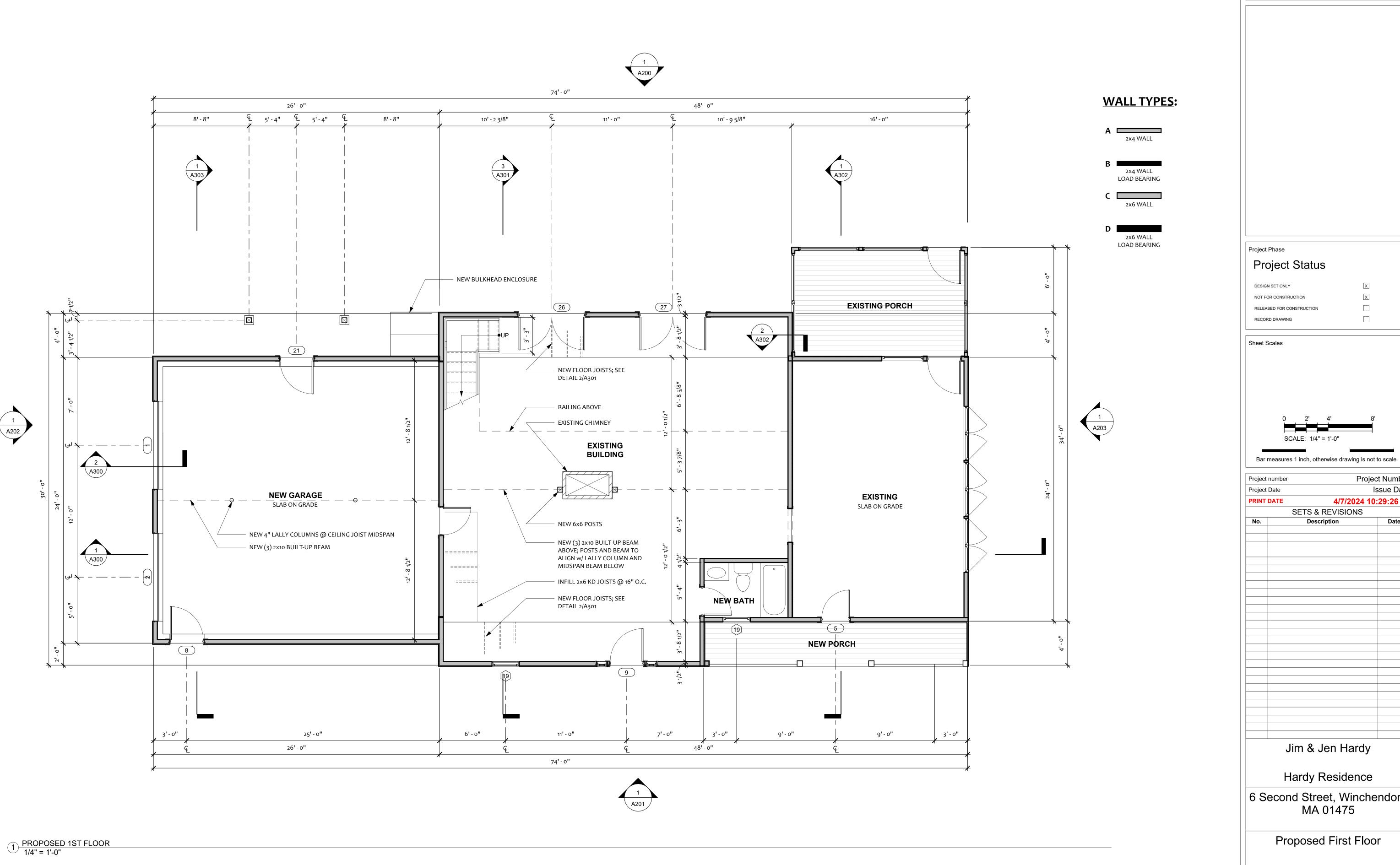
Project Number Project number Issue Date 4/7/2024 10:29:25 PM PRINT DATE SETS & REVISIONS Description Jim & Jen Hardy Hardy Residence 6 Second Street, Winchendon,

MA 01475

Proposed Basement Floor

A104

1/4" = 1'-0" Author Drawn by Checked by Checker





1ST FLOOR 2ND FLOOR TOTAL: 1,152 SF 954 SF 2,106 SF

Project Status

DESIGN SET ONLY NOT FOR CONSTRUCTION RELEASED FOR CONSTRUCTION RECORD DRAWING

Project Number Project number Issue Date 4/7/2024 10:29:26 PM PRINT DATE SETS & REVISIONS Description Jim & Jen Hardy Hardy Residence

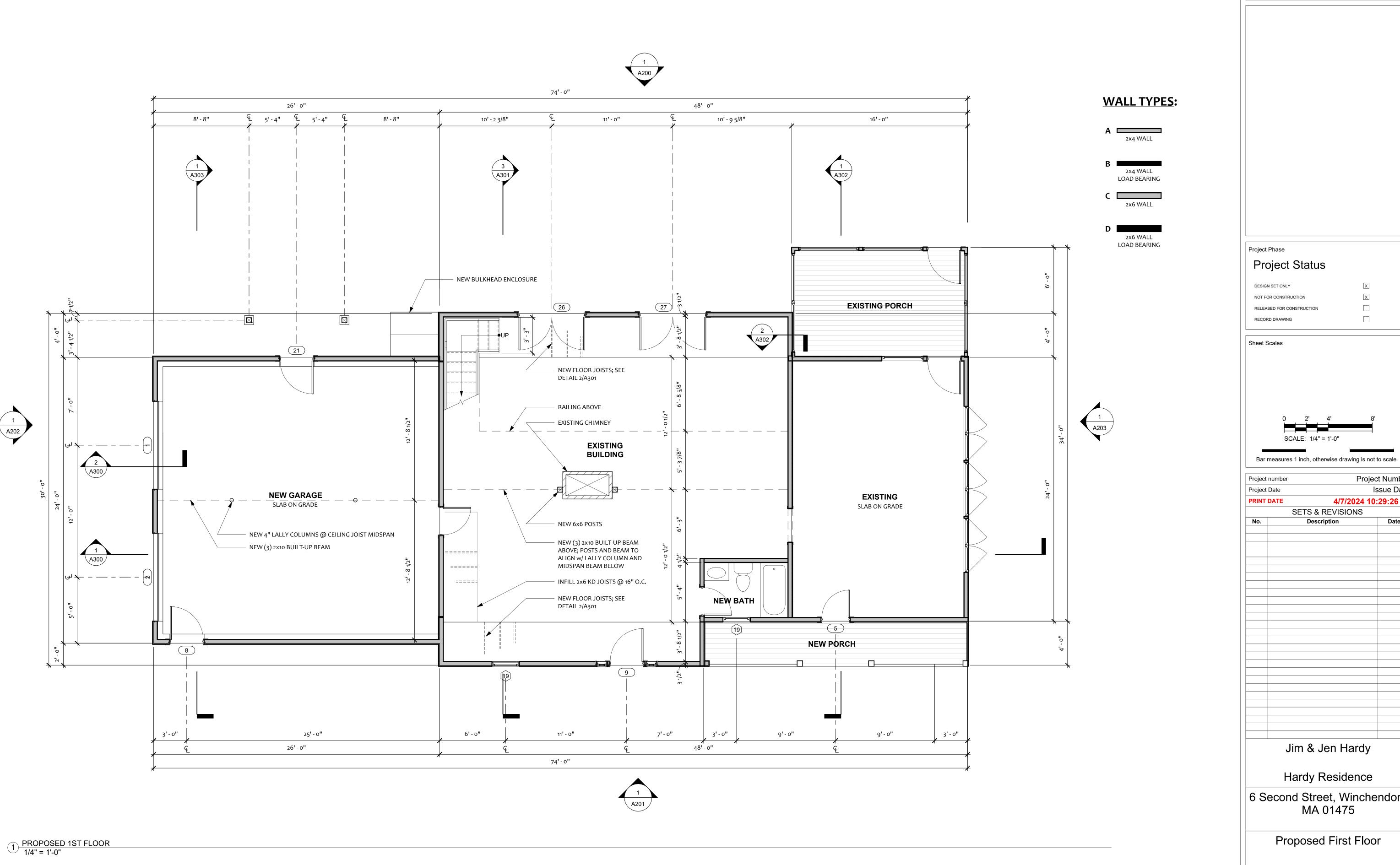
6 Second Street, Winchendon, MA 01475

Proposed First Floor

A105

-N-

1/4" = 1'-0" Scale Author Drawn by Checker Checked by





1ST FLOOR 2ND FLOOR TOTAL: 1,152 SF 954 SF 2,106 SF

Project Status

DESIGN SET ONLY NOT FOR CONSTRUCTION RELEASED FOR CONSTRUCTION RECORD DRAWING

Project Number Project number Issue Date 4/7/2024 10:29:26 PM PRINT DATE SETS & REVISIONS Description Jim & Jen Hardy Hardy Residence

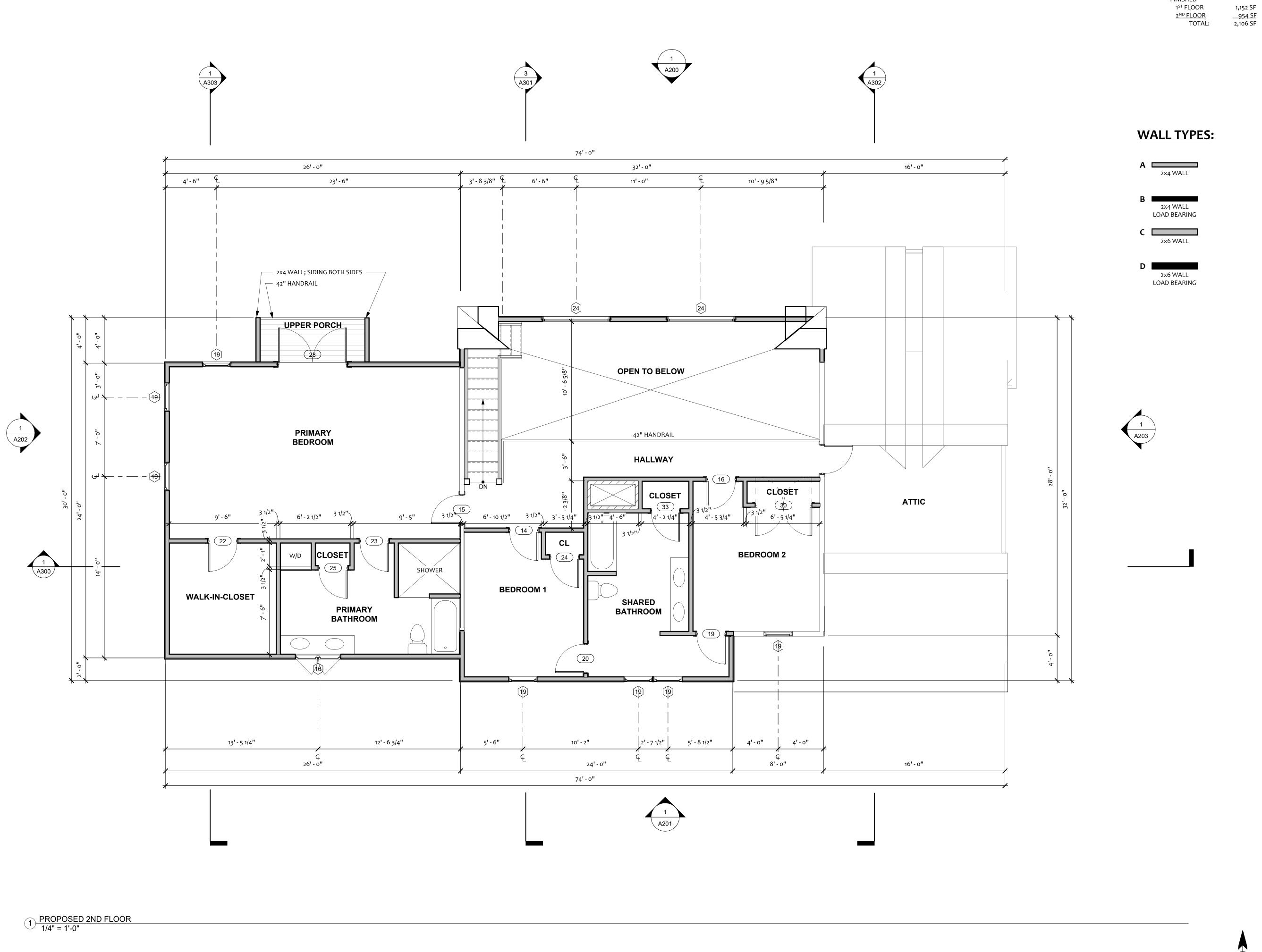
6 Second Street, Winchendon, MA 01475

Proposed First Floor

A105

-N-

1/4" = 1'-0" Scale Author Drawn by Checker Checked by





FINISHED

Project Status

NOT FOR CONSTRUCTION

RECORD DRAWING

Sheet Scales

RELEASED FOR CONSTRUCTION

Bar measures 1 inch, otherwise drawing is not to scale

Project Number Project number Issue Date 4/7/2024 10:29:26 PM PRINT DATE SETS & REVISIONS Description Jim & Jen Hardy

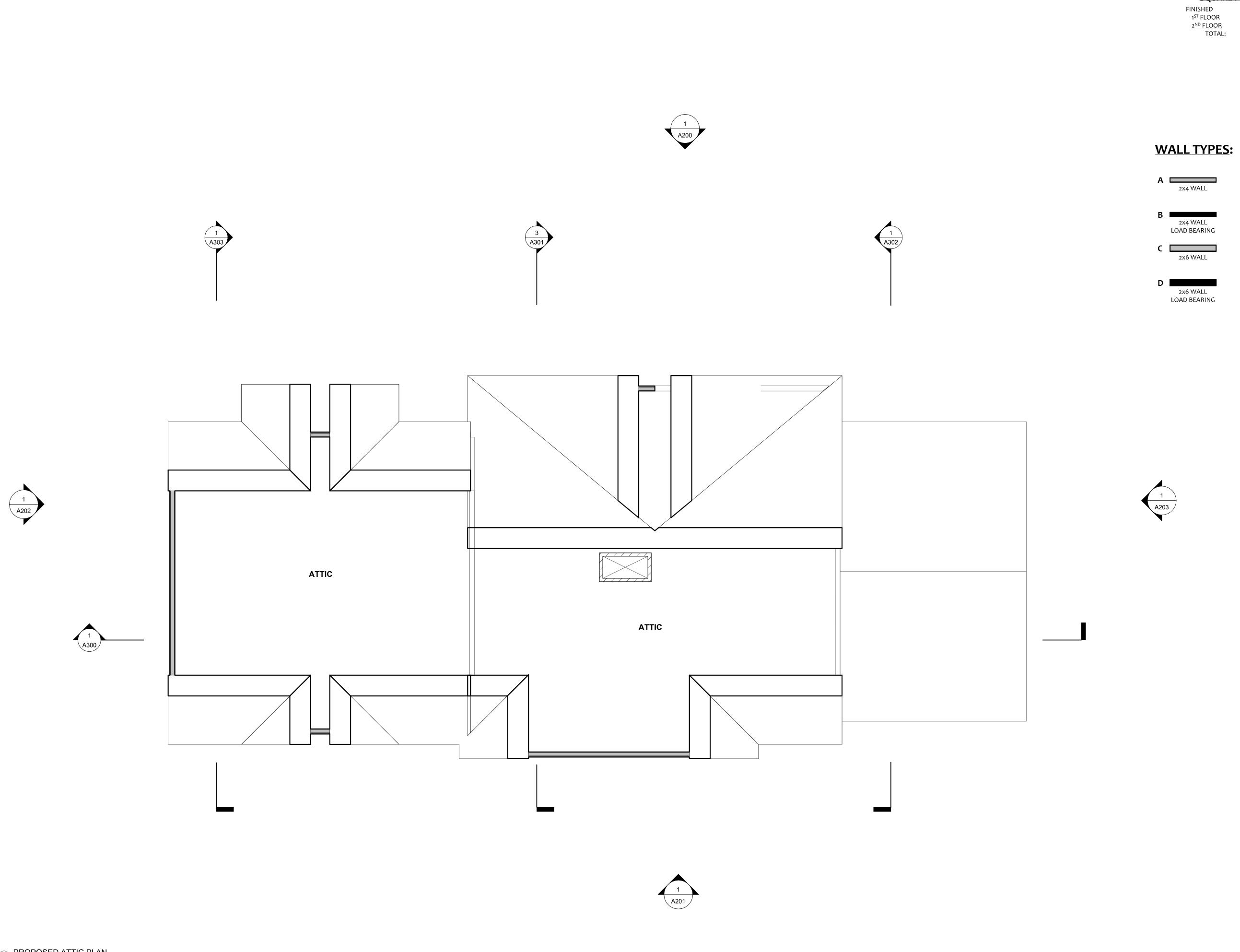
Hardy Residence

6 Second Street, Winchendon, MA 01475

Proposed Second Floor

A106

1/4" = 1'-0" Author Drawn by Checked by Checker



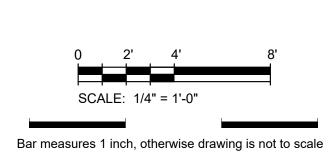


1,152 SF <u>954 SF</u> 2,106 SF

Project Status

DESIGN SET ONLY NOT FOR CONSTRUCTION RELEASED FOR CONSTRUCTION RECORD DRAWING

Sheet Scales



Project Number Project number Issue Date 4/7/2024 10:29:27 PM PRINT DATE SETS & REVISIONS Description

Jim & Jen Hardy

Hardy Residence

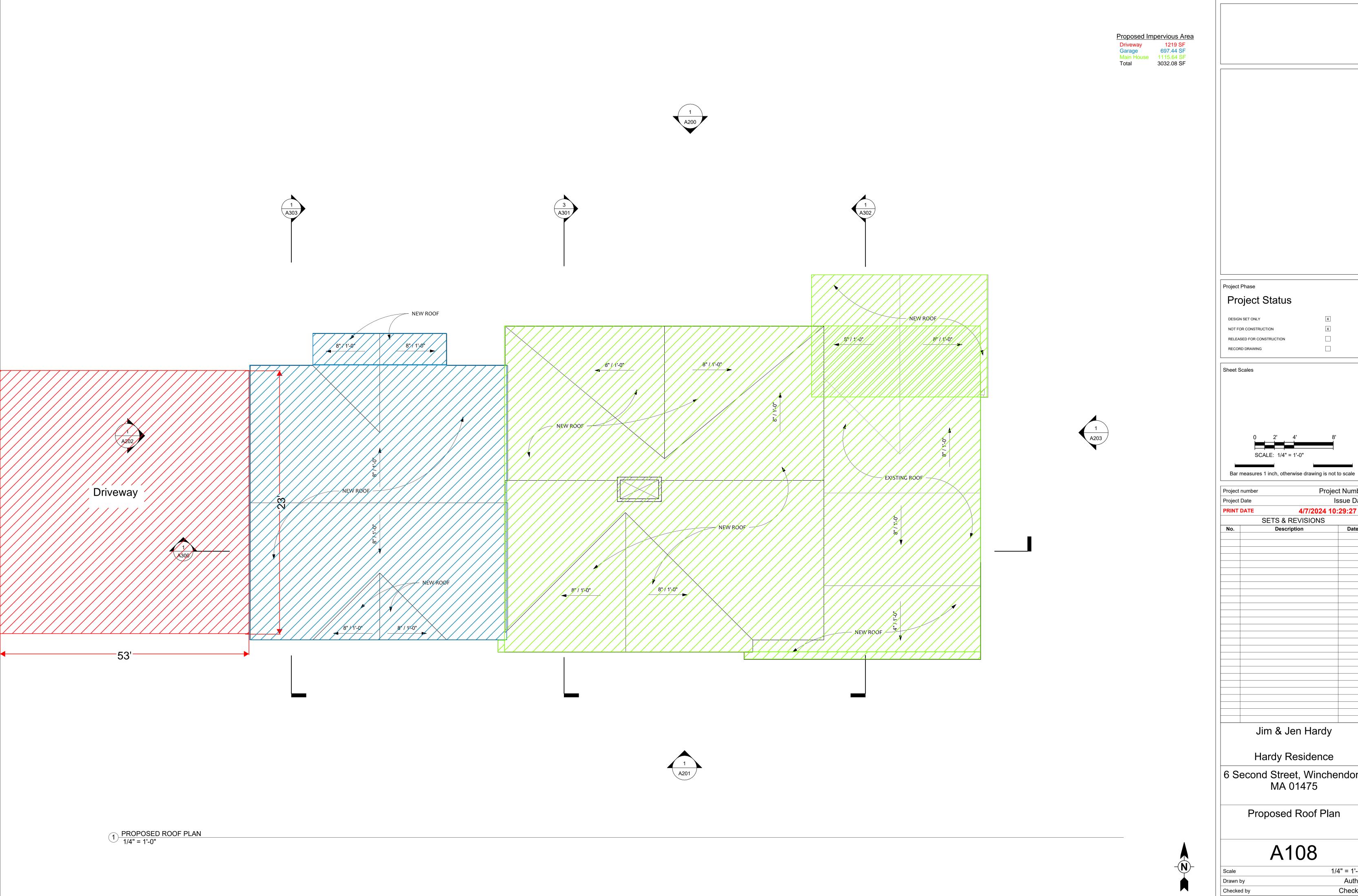
6 Second Street, Winchendon, MA 01475

Proposed Attic Plan

A107

1/4" = 1'-0" Author Drawn by Checked by Checker

PROPOSED ATTIC PLAN
1/4" = 1'-0"





Project Number Issue Date 4/7/2024 10:29:27 PM SETS & REVISIONS Description Jim & Jen Hardy

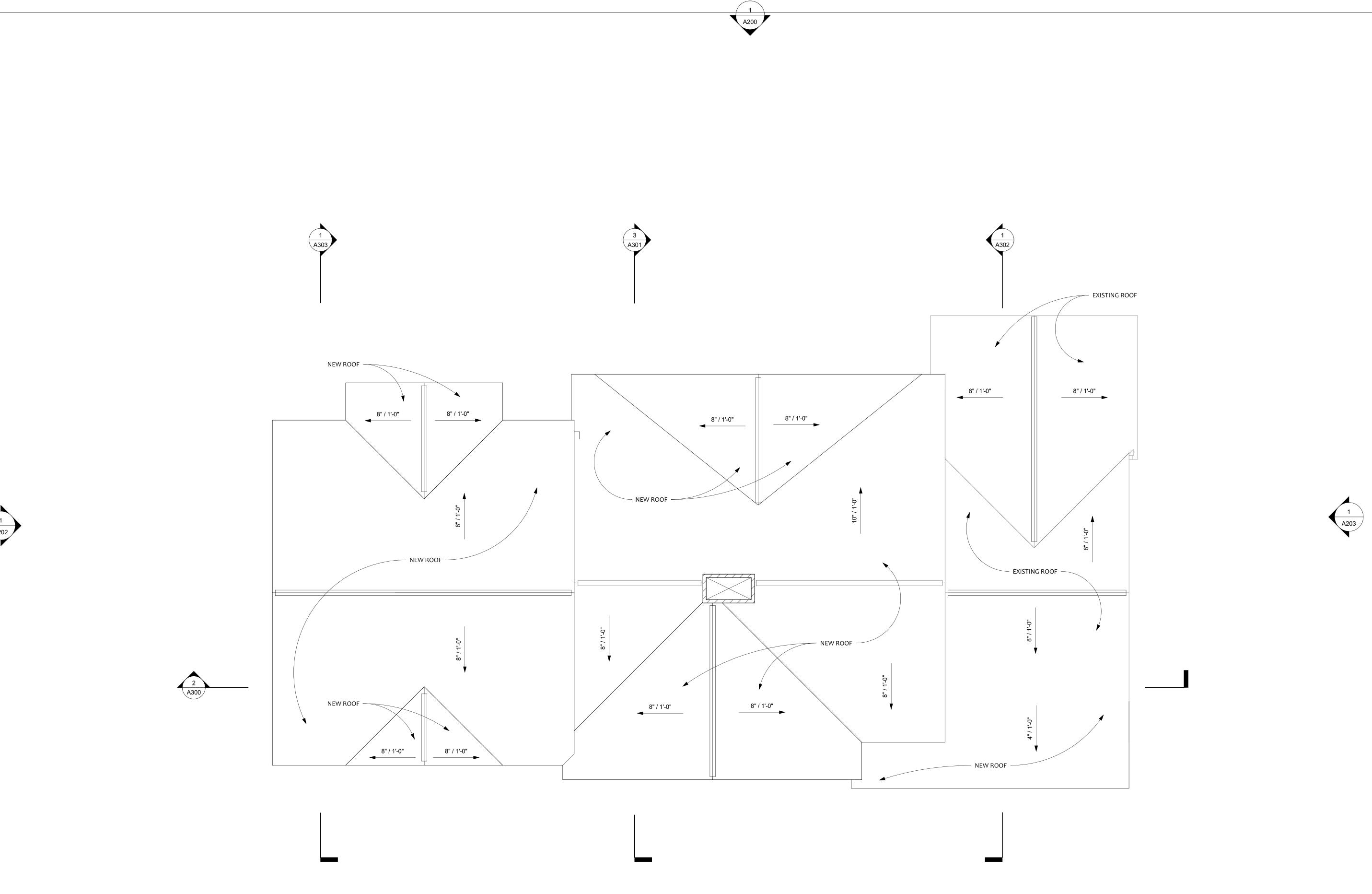
Hardy Residence

6 Second Street, Winchendon, MA 01475

Proposed Roof Plan

A108

1/4" = 1'-0" Author Checker



RELEASED FOR CONSTRUCTION RECORD DRAWING Sheet Scales

Project Status

NOT FOR CONSTRUCTION

Bar measures 1 inch, otherwise drawing is not to scale

Project number Project Number Issue Date 6/25/2023 8:50:15 PM SETS & REVISIONS

Description

Jim & Jen Hardy

Hardy Residence

6 Second Street, Winchendon, MA 01475

Proposed Roof Plan

A108

1/4" = 1'-0" Author Drawn by Checked by Checker

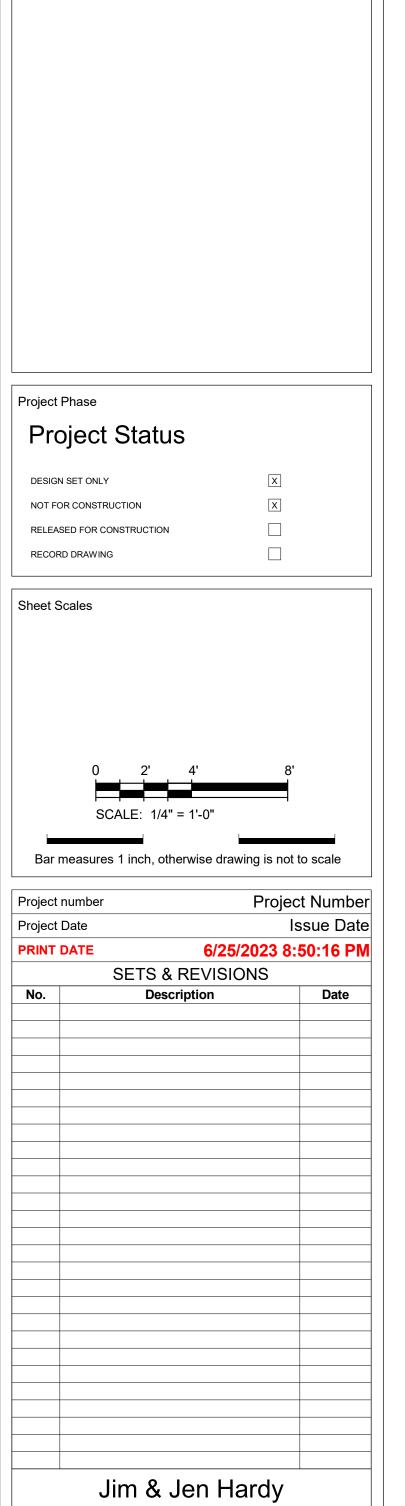
1) PROPOSED ROOF PLAN 1/4" = 1'-0"



-N-



1) NORTH ELEVATION 1/4" = 1'-0"



Hardy Residence

6 Second Street, Winchendon,

MA 01475

Elevations

A200

Drawn by

Checked by

1/4" = 1'-0"

Author

Checker



1 SOUTH ELEVATION 1/4" = 1'-0"

Project Phase

Project Status

DESIGN SET ONLY

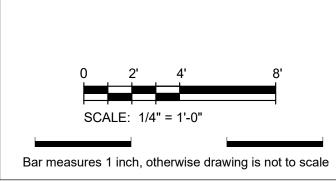
NOT FOR CONSTRUCTION

RELEASED FOR CONSTRUCTION

RECORD DRAWING

Sheet Scales

Project number



Project Date

PRINT DATE

6/25/2023 8:50:18 PM

SETS & REVISIONS

No. Description Date

Project Number

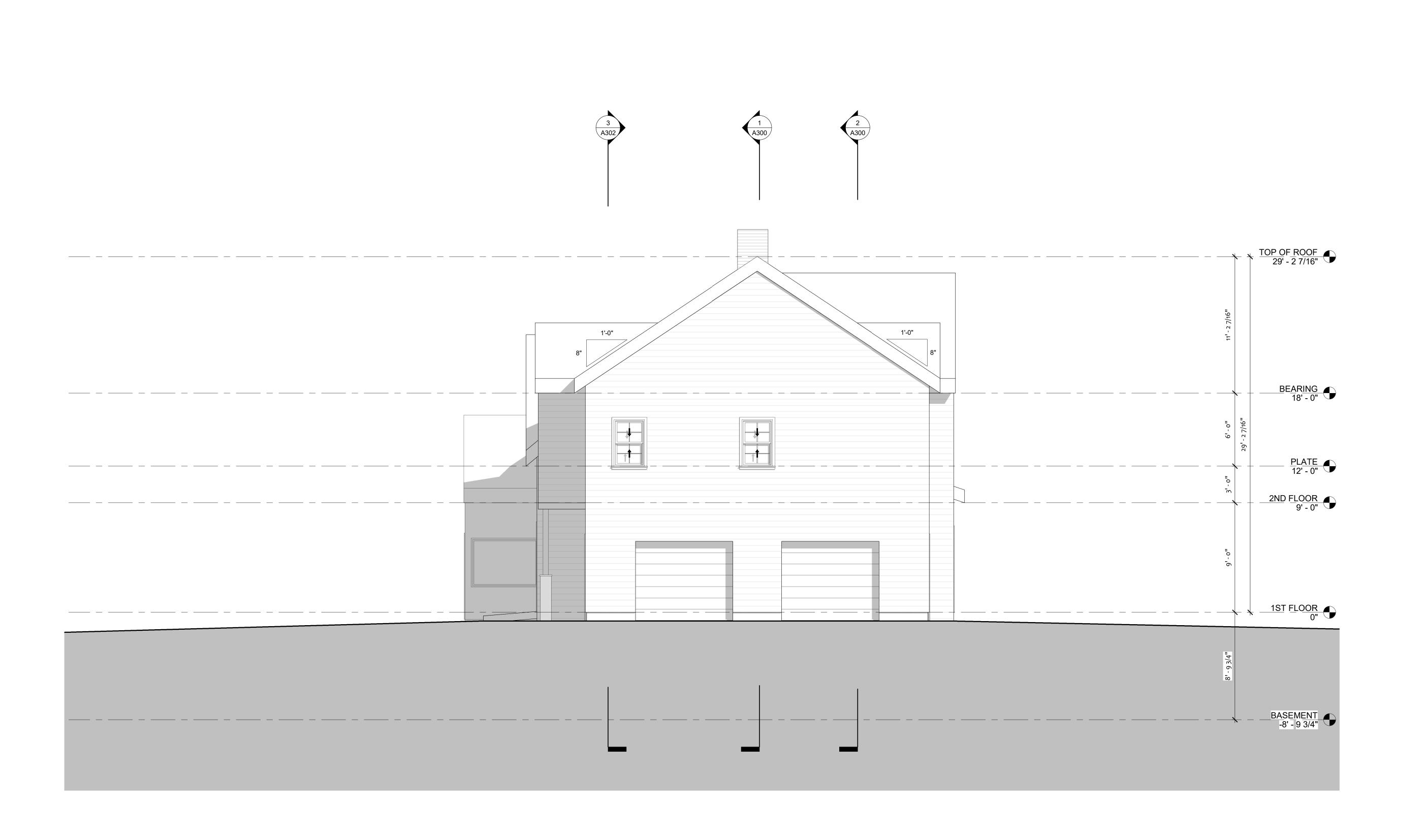
Jim & Jen Hardy

Hardy Residence

6 Second Street, Winchendon, MA 01475

Elevations

A201



1 WEST ELEVATION 1/4" = 1'-0"



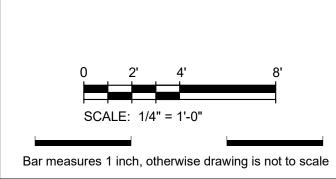
DESIGN SET ONLY

NOT FOR CONSTRUCTION

RELEASED FOR CONSTRUCTION

RECORD DRAWING

Sheet Scales



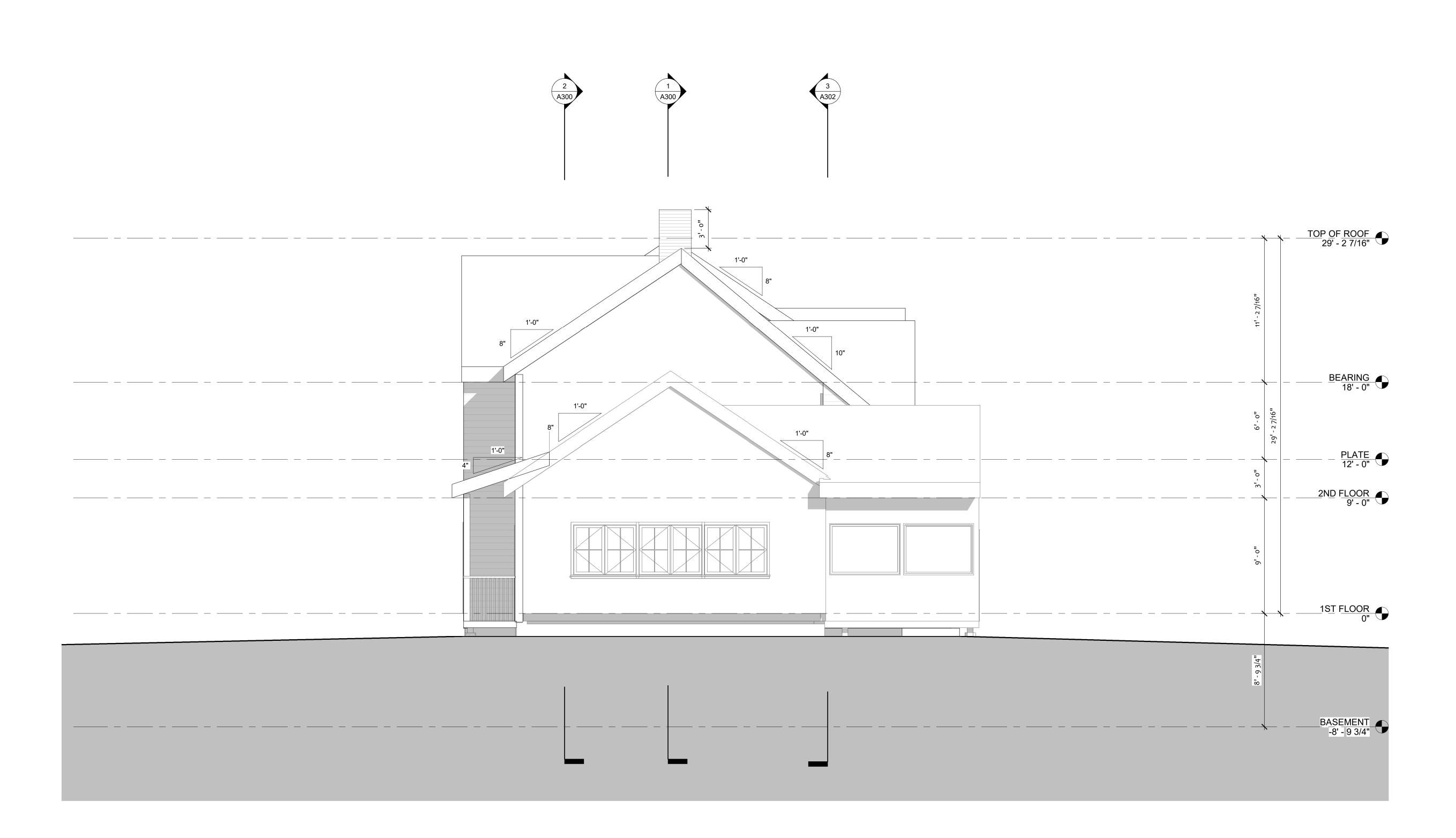
Jim & Jen Hardy

Hardy Residence

6 Second Street, Winchendon, MA 01475

Elevations

A202



1 EAST ELEVATION 1/4" = 1'-0"

Project Status NOT FOR CONSTRUCTION RELEASED FOR CONSTRUCTION RECORD DRAWING Bar measures 1 inch, otherwise drawing is not to scale Project number Project Number Issue Date 6/25/2023 8:50:21 PM SETS & REVISIONS

Description Date

Jim & Jen Hardy

Hardy Residence

6 Second Street, Winchendon,

MA 01475

Elevations

A203

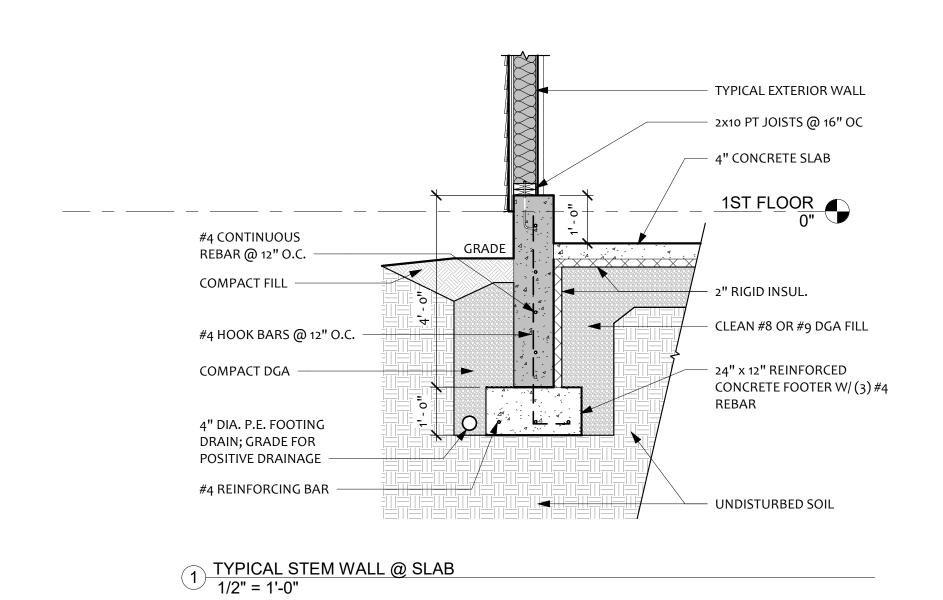
Drawn by

Checked by

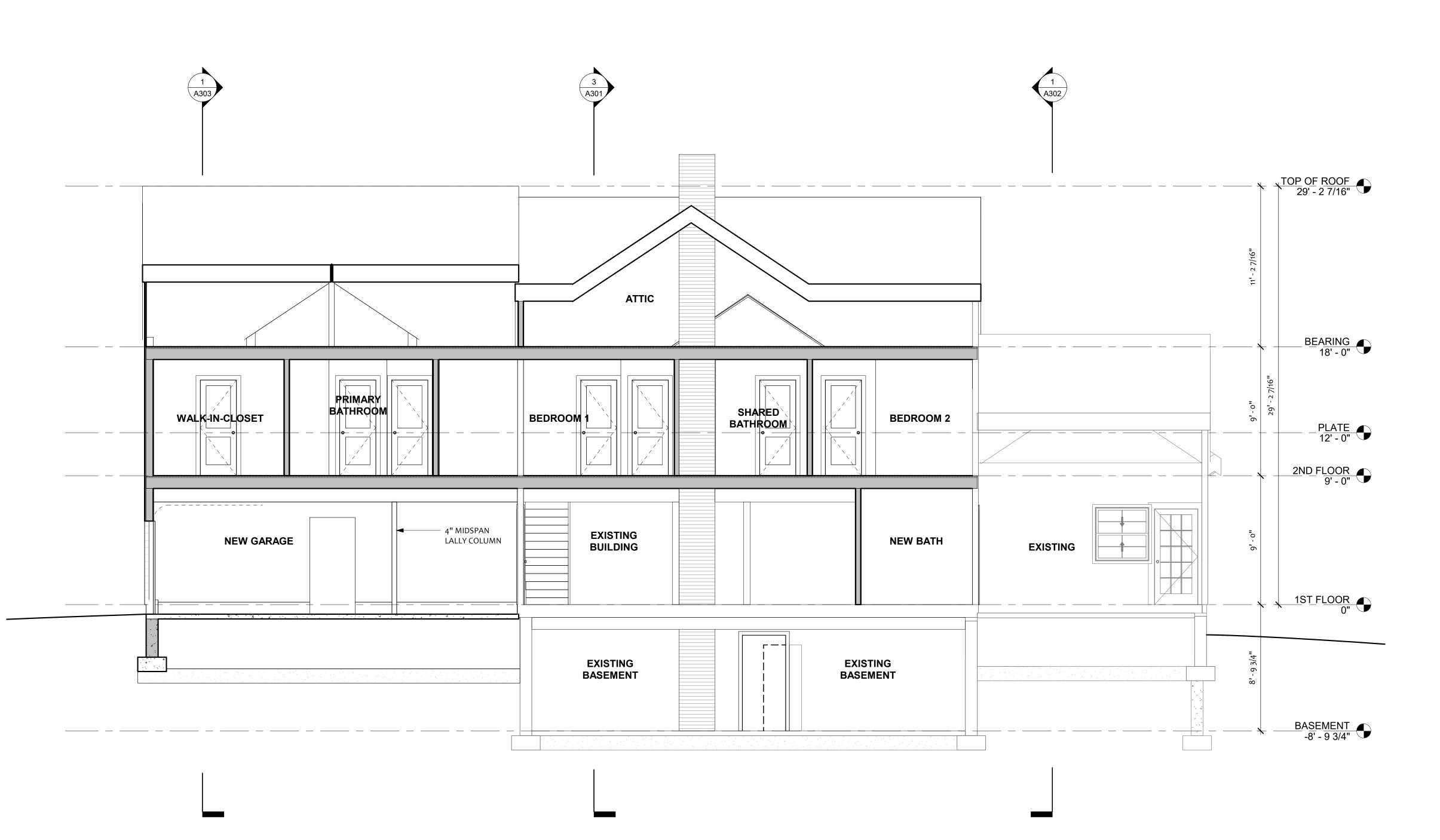
1/4" = 1'-0"

Author

Checker



2 BUILDING CROSS-SECTION 1/4" = 1'-0"



Project Phase Project Status

NOT FOR CONSTRUCTION RELEASED FOR CONSTRUCTION RECORD DRAWING

Sheet Scales

Project number

Bar measures 1 inch, otherwise drawing is not to scale

Project Number Issue Date 6/25/2023 8:50:21 PM SETS & REVISIONS

Description

Jim & Jen Hardy

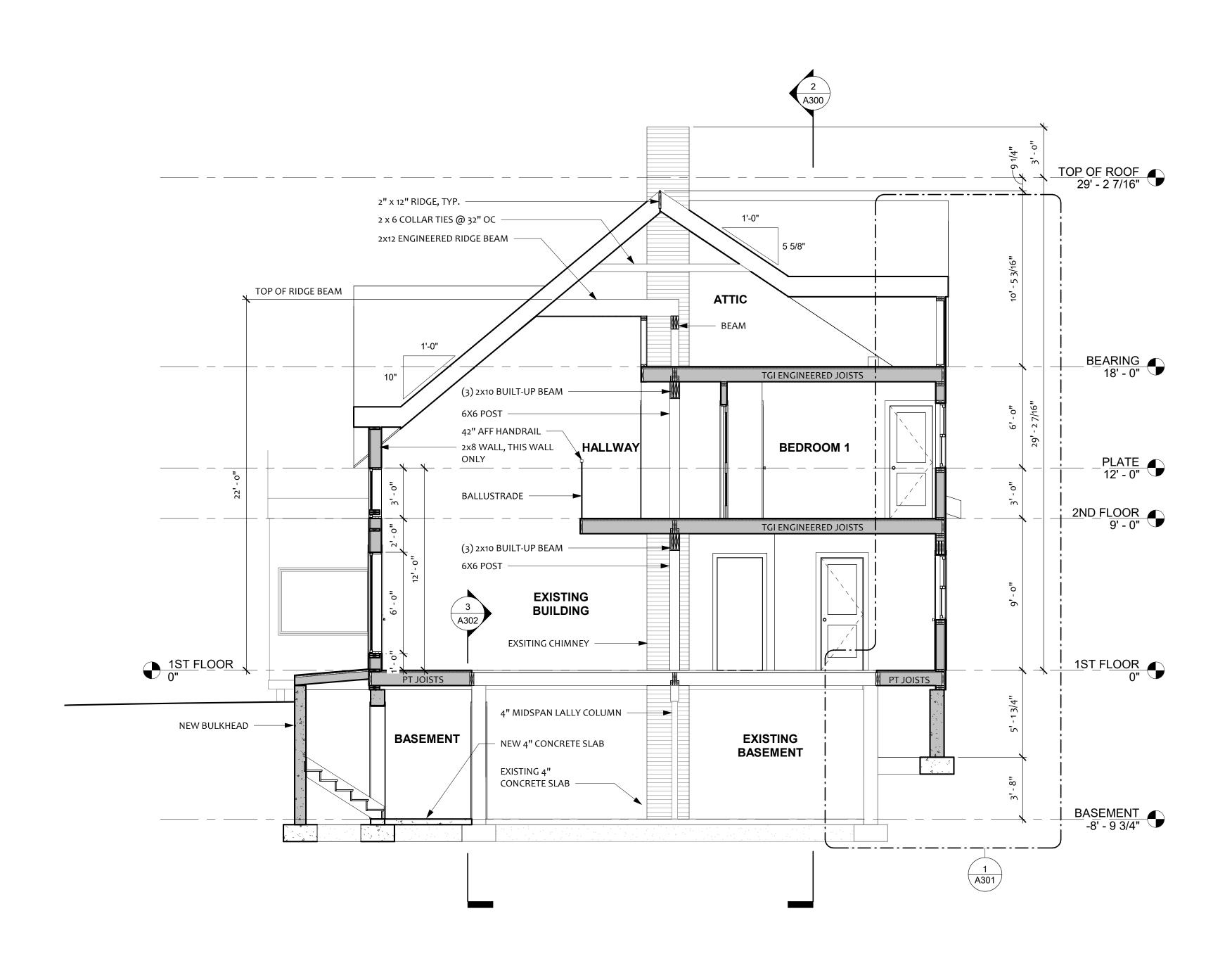
Hardy Residence

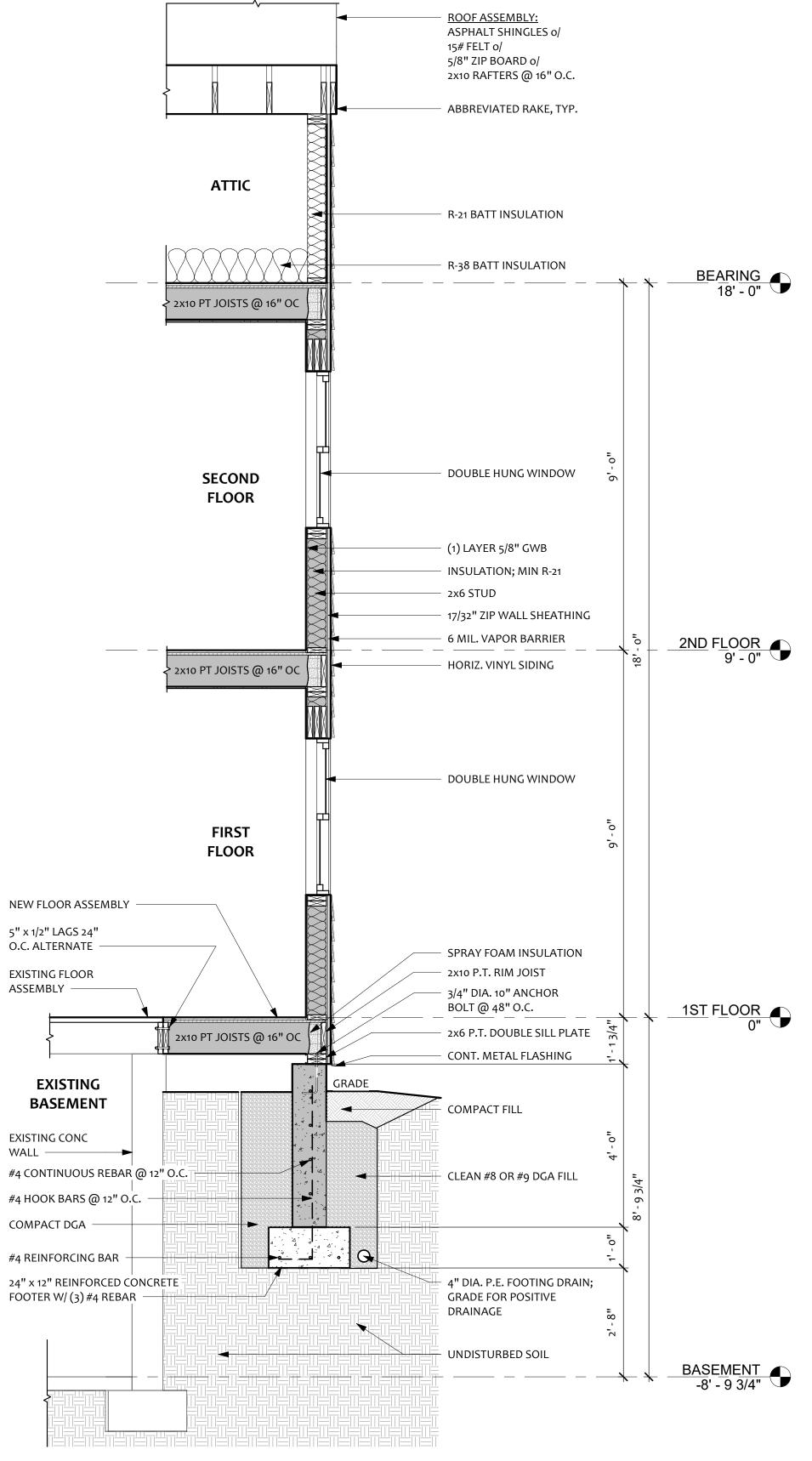
6 Second Street, Winchendon, MA 01475

Building Sections

A300

Scale As indicated Author Drawn by Checker Checked by





1 WALL SECTION @ NEW CONSTRUCTION 1/2" = 1'-0"

Building Sections

3 BUILDING SECTION @ NEW CONSTRUCTION 1/4" = 1'-0"

A301 As indicated Scale Drawn by

Checked by

Project Phase

DESIGN SET ONLY

RECORD DRAWING

Sheet Scales

Project number

Project Date

PRINT DATE

NOT FOR CONSTRUCTION

RELEASED FOR CONSTRUCTION

SCALE: 1/4" = 1'-0"

Bar measures 1 inch, otherwise drawing is not to scale

SETS & REVISIONS

Jim & Jen Hardy

Hardy Residence

6 Second Street, Winchendon,

MA 01475

Description

Project Number

6/25/2023 8:50:22 PM

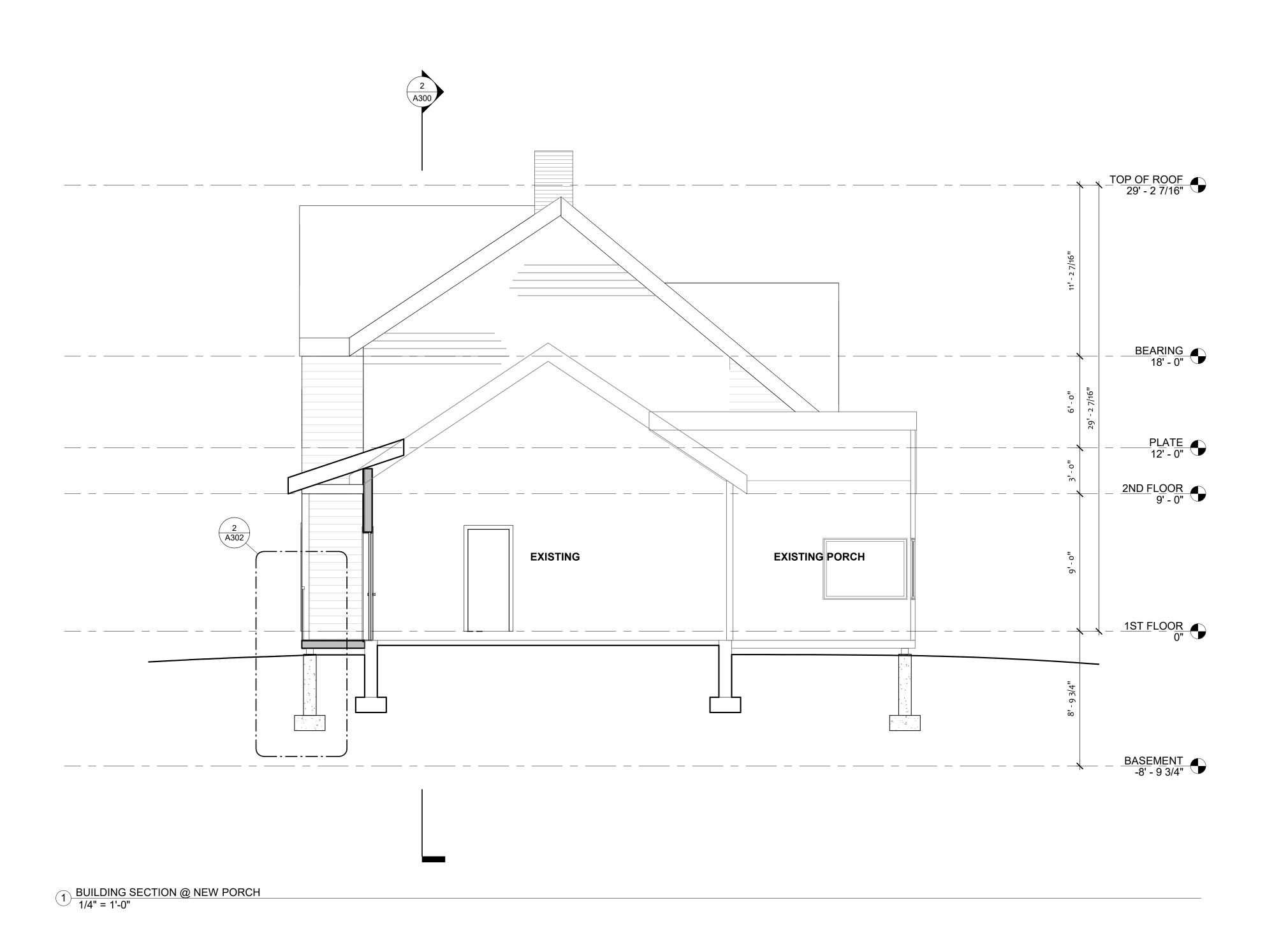
Issue Date

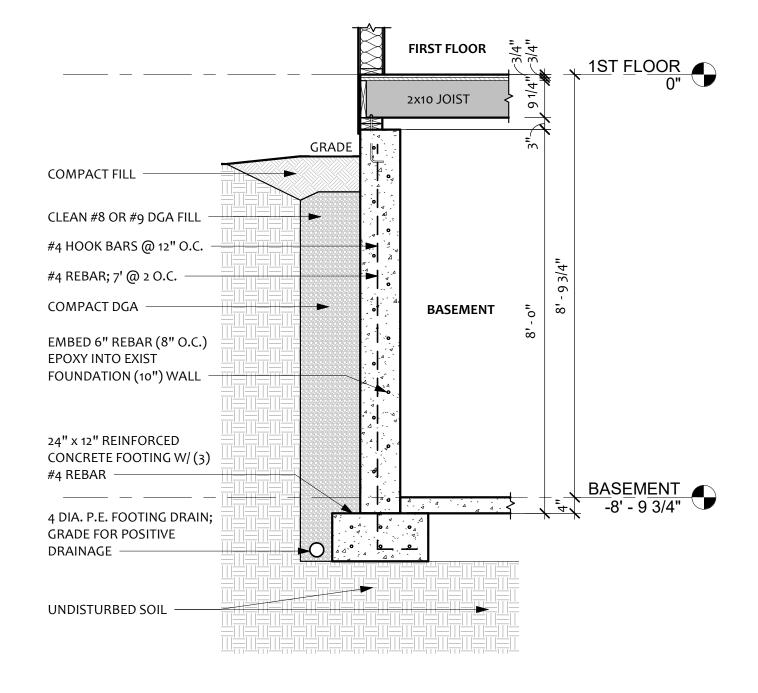
Date

Author

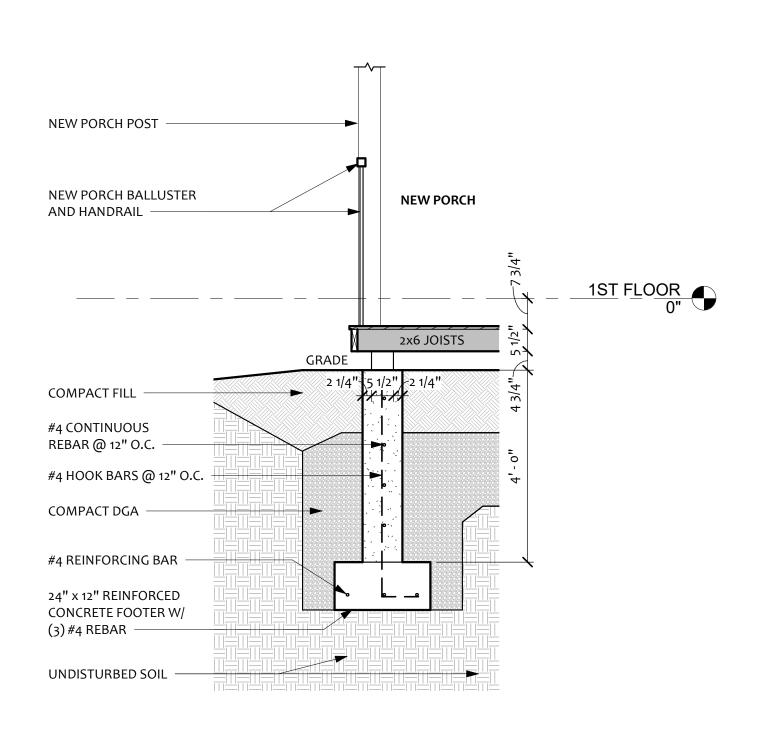
Checker

Project Status

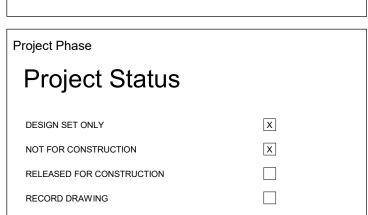




3 TYPICAL NEW FOUNDATION WALL 1/2" = 1'-0"



2 TYPICAL PIER 1/2" = 1'-0"



Sheet Scales

0 2' 4' 8'

SCALE: 1/4" = 1'-0"

Bar measures 1 inch, otherwise drawing is not to scale

| Project num | ber P | Project Numbe | | |
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| Project Date | : | Issue Date 6/25/2023 8:50:23 PM | | |
| PRINT DAT | E 6/25/202 | | | |
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| - | Jim & Jen Hard | dy | | |
| | Hardy Residen | ce | | |
| 6 Sec | ond Street, Wind | chendon | | |

A302

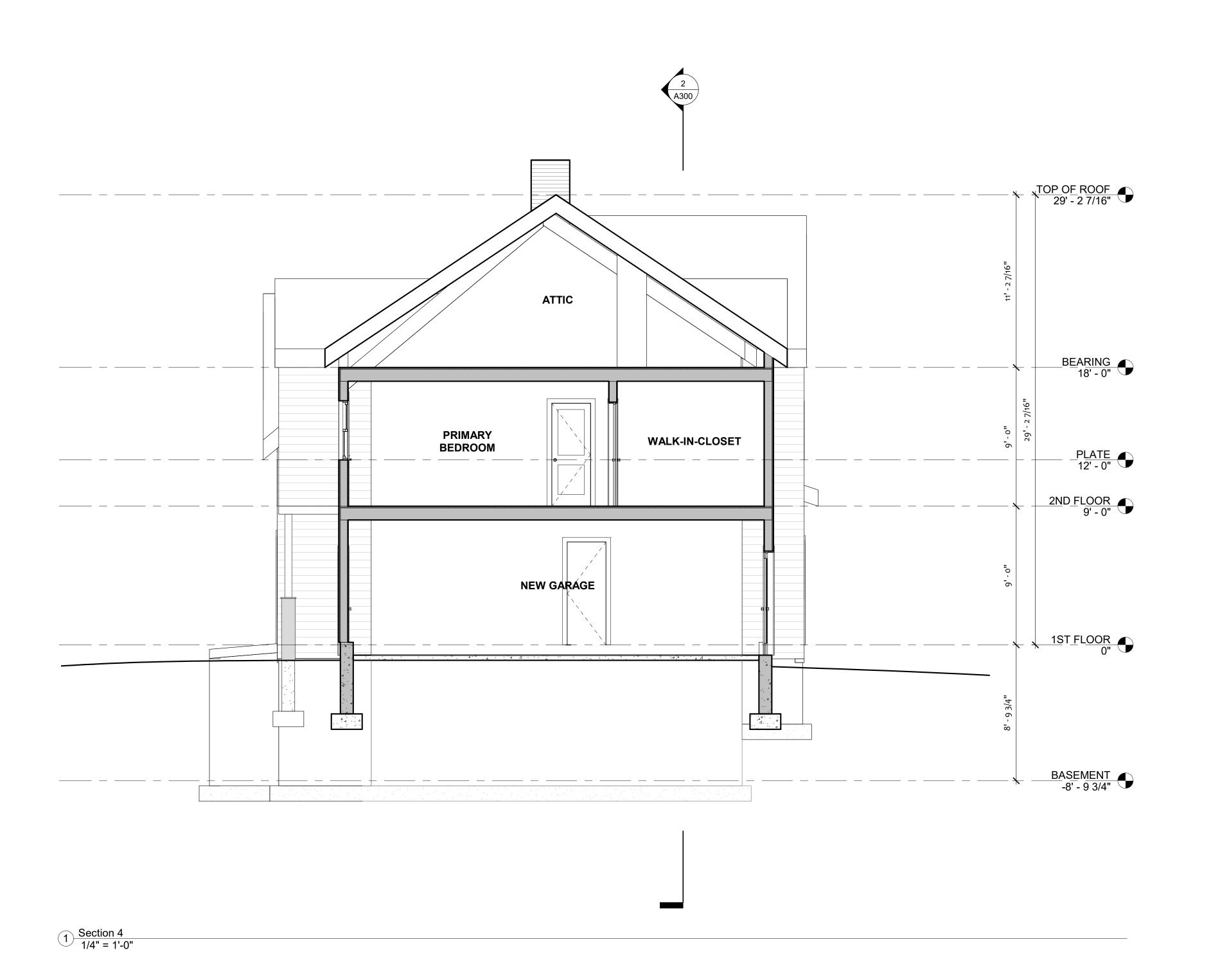
MA 01475

Building Sections

Scale As indicated

Drawn by Author

Checked by Checker





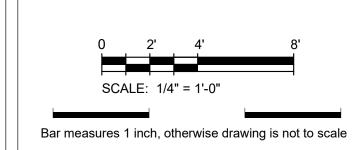
DESIGN SET ONLY

NOT FOR CONSTRUCTION

RELEASED FOR CONSTRUCTION

RECORD DRAWING

Sheet Scales



| Project number | | | Projec | t Numb | |
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| Project | Date | | Is | sue Da | |
| PRINT I | DATE | 6/25/2023 8:50:23 F | | | |
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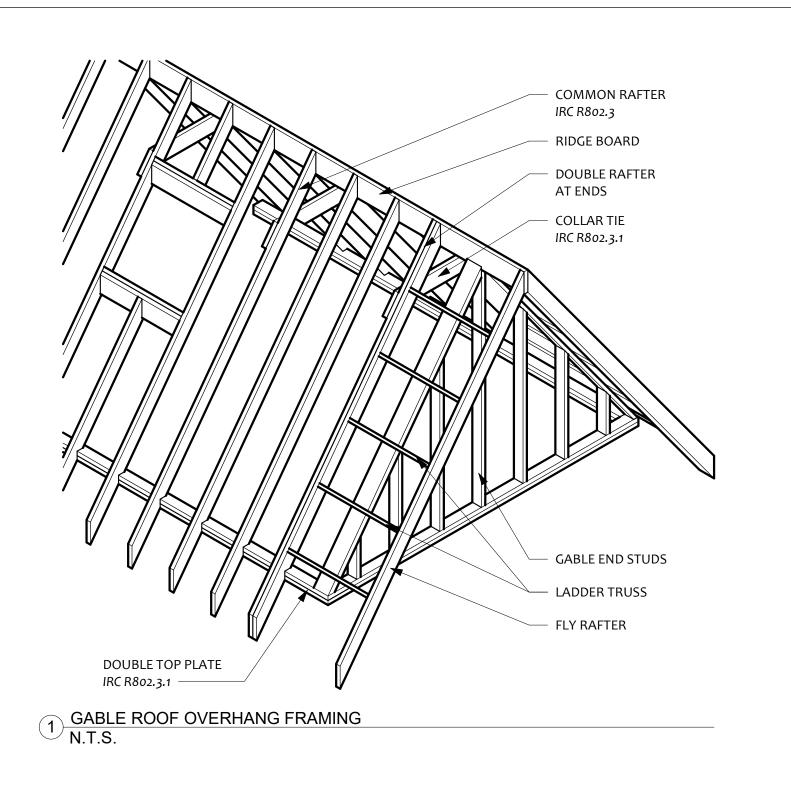
Jim & Jen Hardy

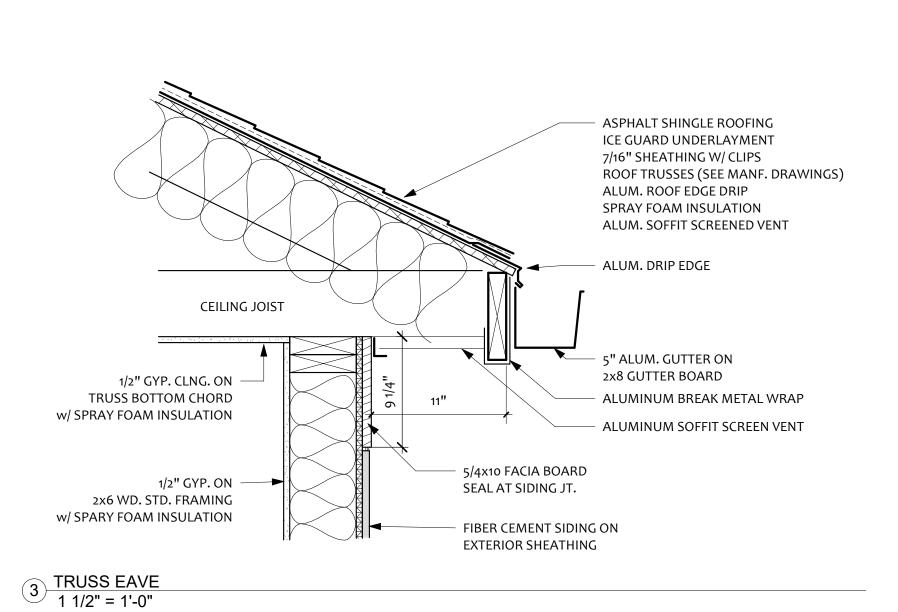
Hardy Residence

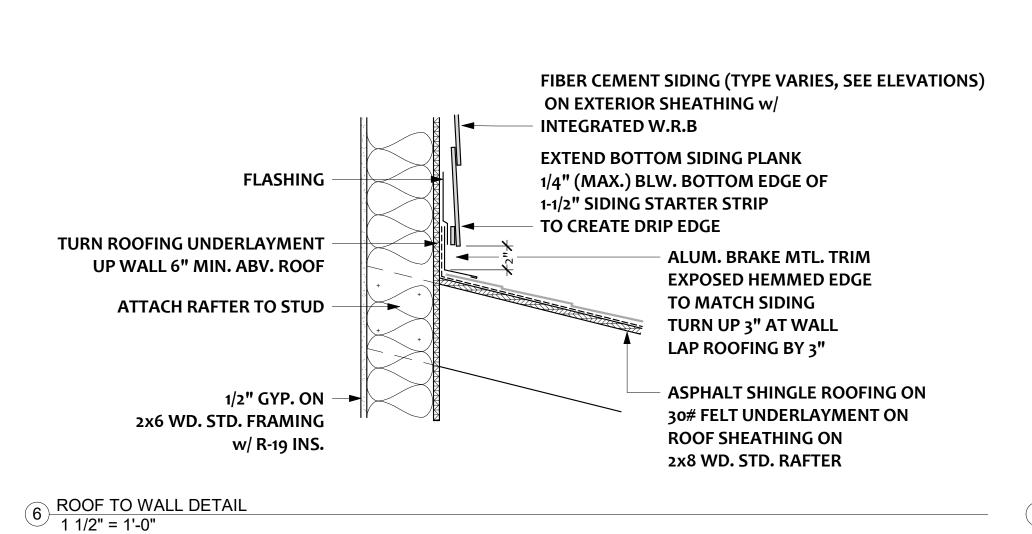
6 Second Street, Winchendon, MA 01475

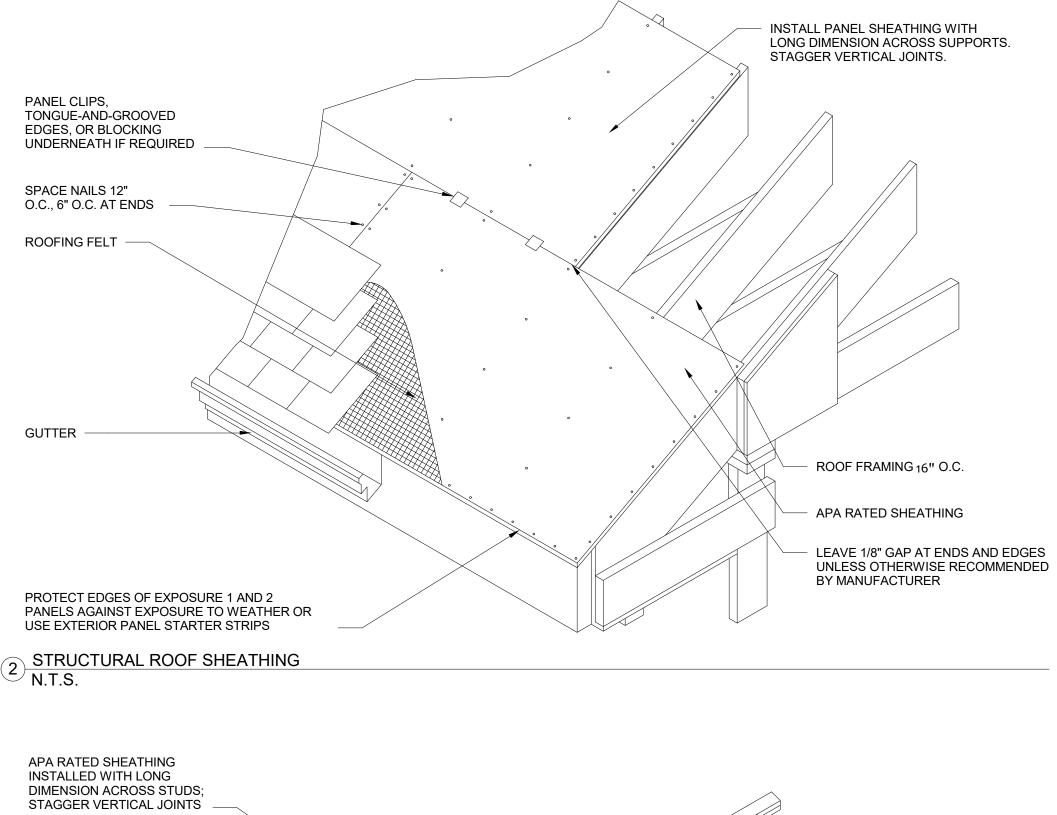
Building Sections

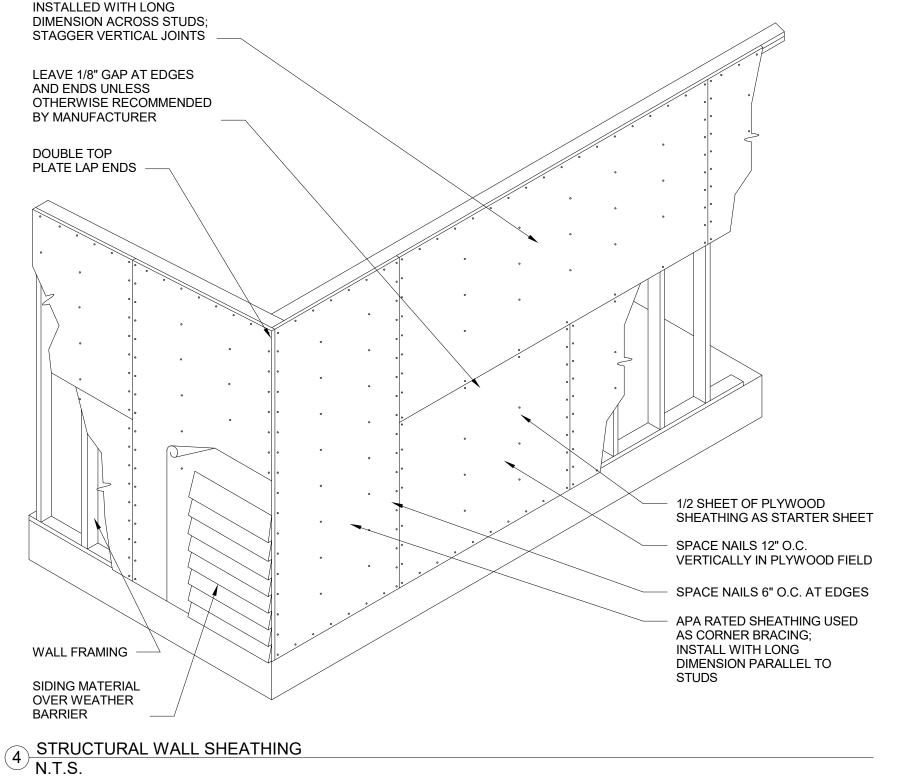
A303

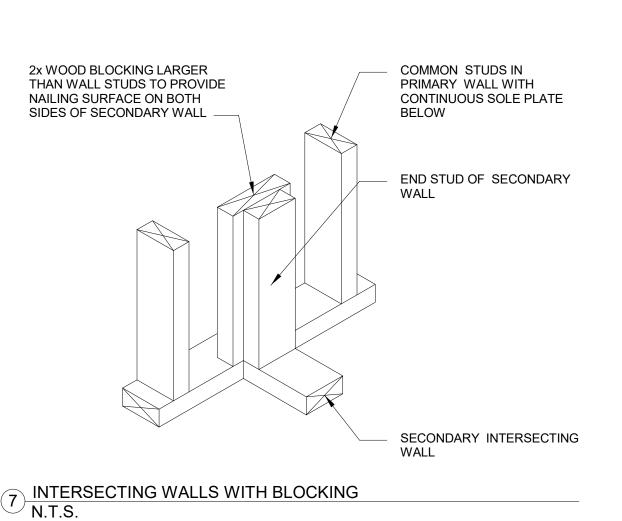












- (2) 1/2" CONTINUOUS PLYWOOD (NOT OSB)

Details

Jim & Jen Hardy

Hardy Residence

6 Second Street, Winchendon,

MA 01475

AMES MATTONI t: 502.513.4342 james@JMDesign.biz services@JMDesign.biz

WWW.JMDESIGN.BIZ

DESIGN | CABINET SALES KITCHENS | BATHROOMS

CLOSETS | PHOTOGRAPHY REVIT | BIM MODELING

Project Phase

DESIGN SET ONLY

RECORD DRAWING

Sheet Scales

Project number

Project Date

PRINT DATE

NOT FOR CONSTRUCTION

RELEASED FOR CONSTRUCTION

SCALE: 3/4" = 1'-0"

Bar measures 1 inch, otherwise drawing is not to scale

SETS & REVISIONS

Description

Project Number

6/25/2023 8:50:23 PM

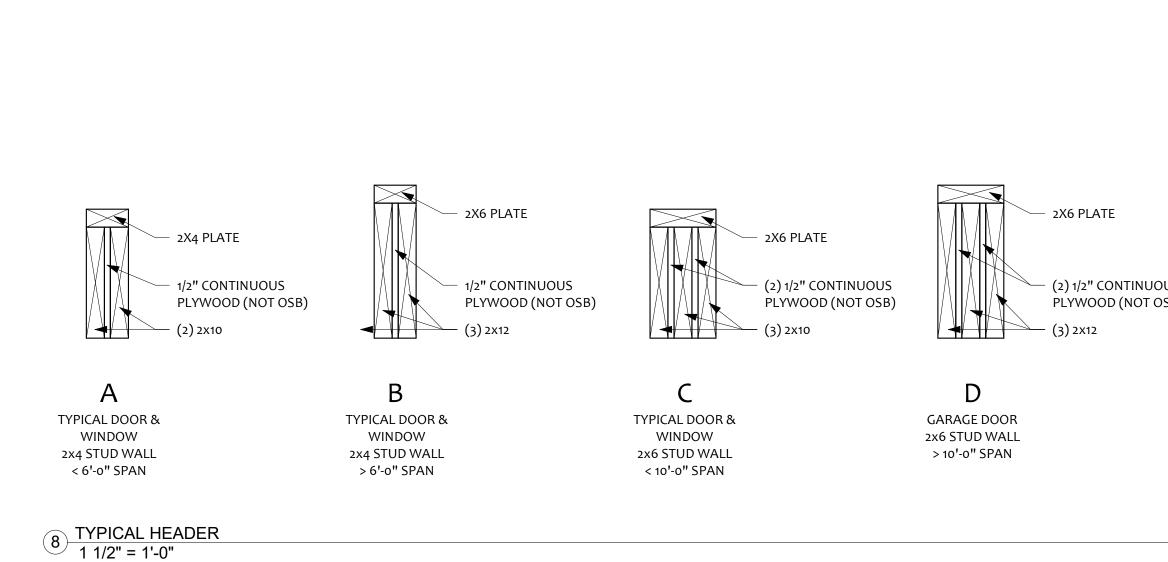
Issue Date

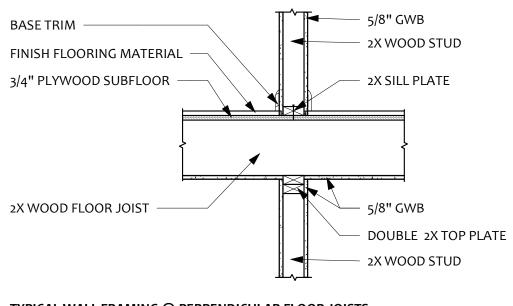
Date

Project Status

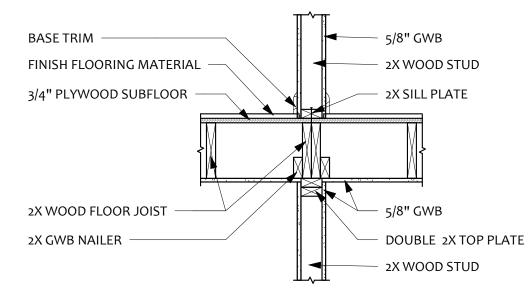
A501

As indicated Scale JPM Drawn by JPM Checked by

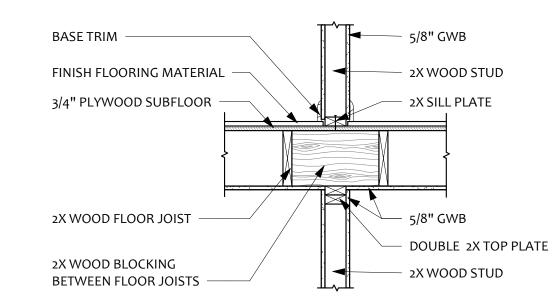




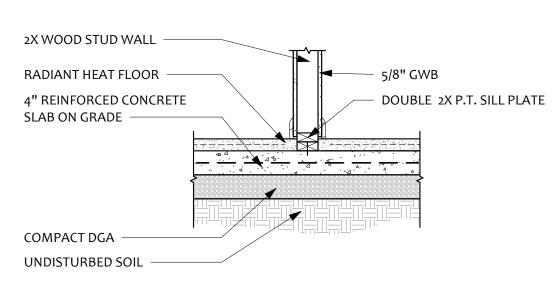
TYPICAL WALL FRAMING @ PERPENDICULAR FLOOR JOISTS



TYPICAL WALL FRAMING @ PARALLEL FLOOR JOISTS

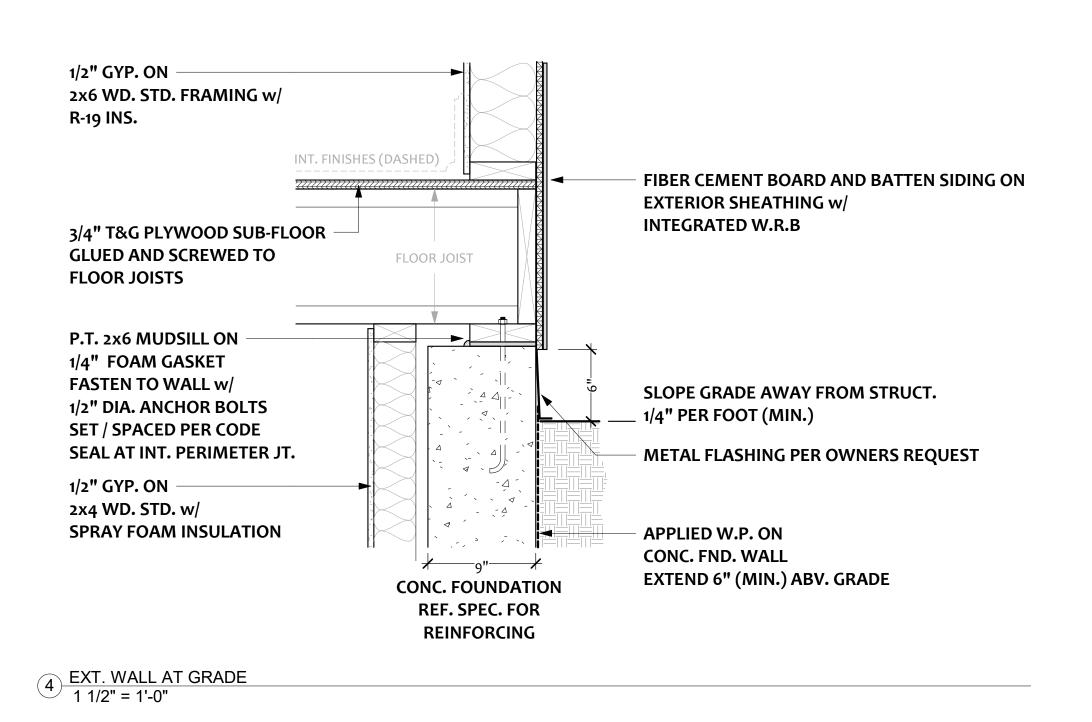


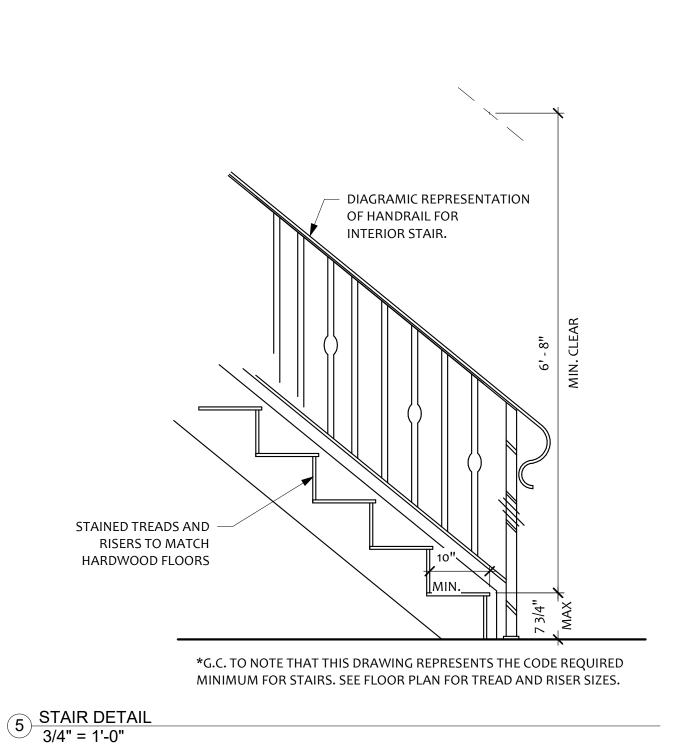
TYPICAL WALL FRAMING BETWEEN PARALLEL FLOOR JOISTS

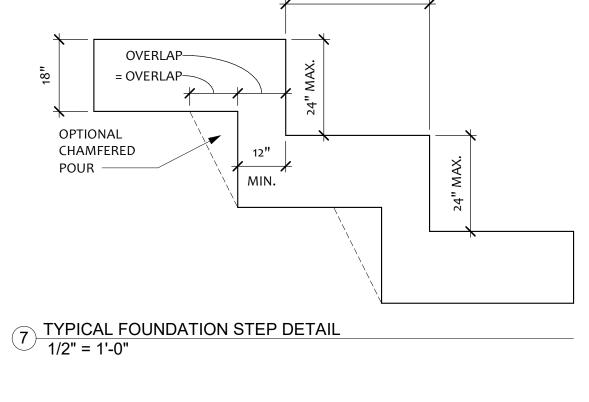


TYPICAL WALL FRAMING @ CONCRETE SLAB

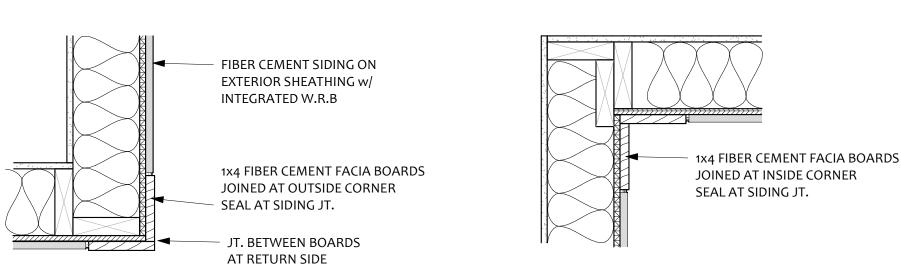
5 WALL TO FLOOR TYPICAL FRAMING DETAILS 3/4" = 1'-0"







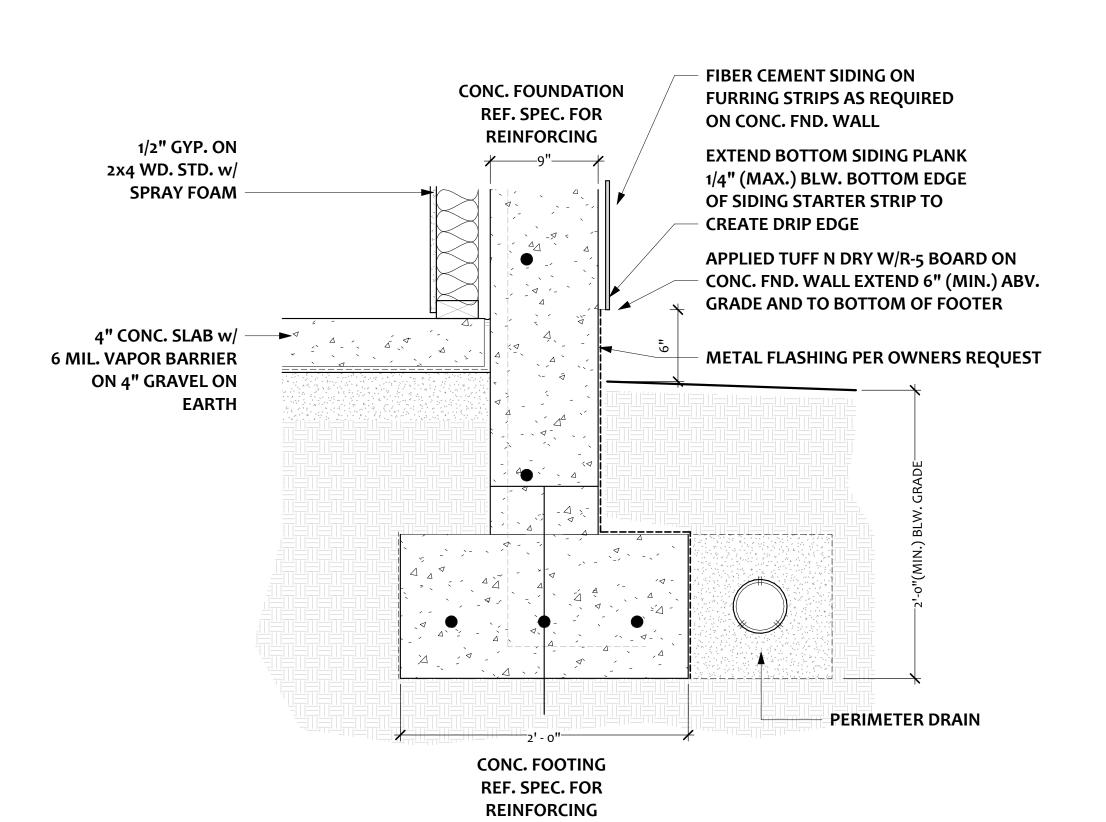
MIN. 24"



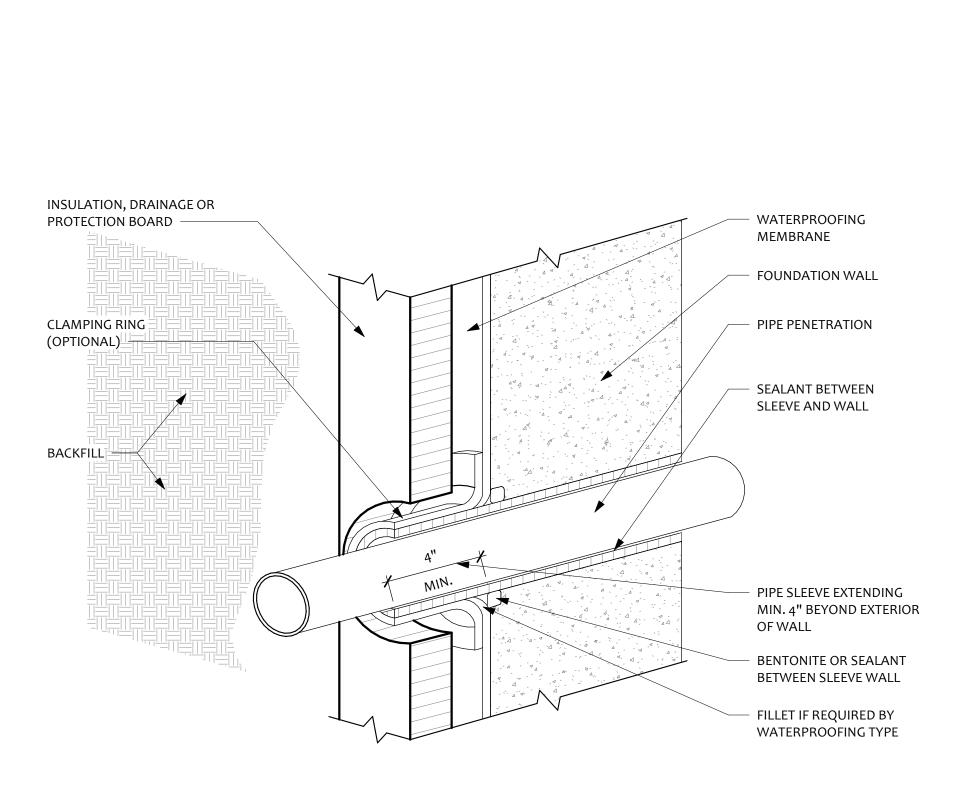
OUTSIDE CORNER

INSIDE CORNER

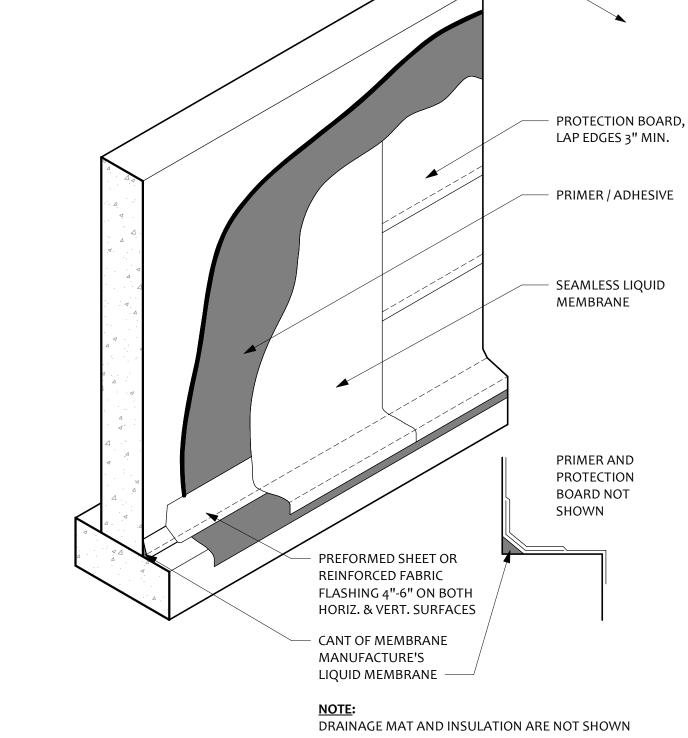
6 TYP. CORNERS 1 1/2" = 1'-0"



1 1/2" = 1'-0"



POUNDATION PENETRATION DETAIL N.T.S.



3 LIQUID APPLIED WATERPROOFING 3/4" = 1'-0"

AMES MATTONI t: 502.513.4342 james@JMDesign.biz services@JMDesign.biz WWW.JMDESIGN.BIZ DESIGN | CABINET SALES KITCHENS | BATHROOMS CLOSETS | PHOTOGRAPHY REVIT | BIM MODELING

Project Phase **Project Status** DESIGN SET ONLY NOT FOR CONSTRUCTION RELEASED FOR CONSTRUCTION RECORD DRAWING

Sheet Scales SCALE: 3/4" = 1'-0" SCALE: 1 1/2" = 1'-0" Bar measures 1 inch, otherwise drawing is not to scale

Project Number Project number Project Date Issue Date PRINT DATE 6/25/2023 8:50:24 PM SETS & REVISIONS Description Date Jim & Jen Hardy Hardy Residence

Details

6 Second Street, Winchendon,

MA 01475

A502

As indicated Scale JPM Drawn by Checked by