

Jim & Jen Hardy Hardy Residence

6 Second Street, Winchendon, MA 01475

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WWW.JMDESIGN.BIZ

DESIGN | CABINET SALES

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Project Phase

Project Status

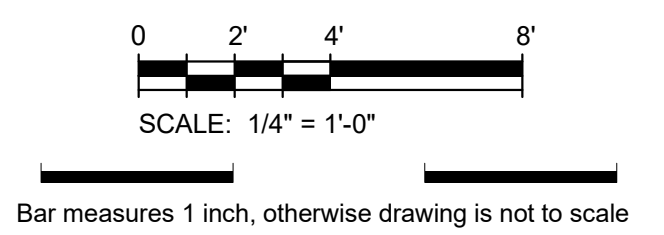
DESIGN SET ONLY

NOT FOR CONSTRUCTION

RELEASED FOR CONSTRUCTION

RECORD DRAWING

Sheet Scales



Project number Project Number

Project Date Issue Date

PRINT DATE 6/25/2023 8:50:24 PM

SETS & REVISIONS

No.	Description	Date
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Scale

Drawn by JPM

Checked by JPM

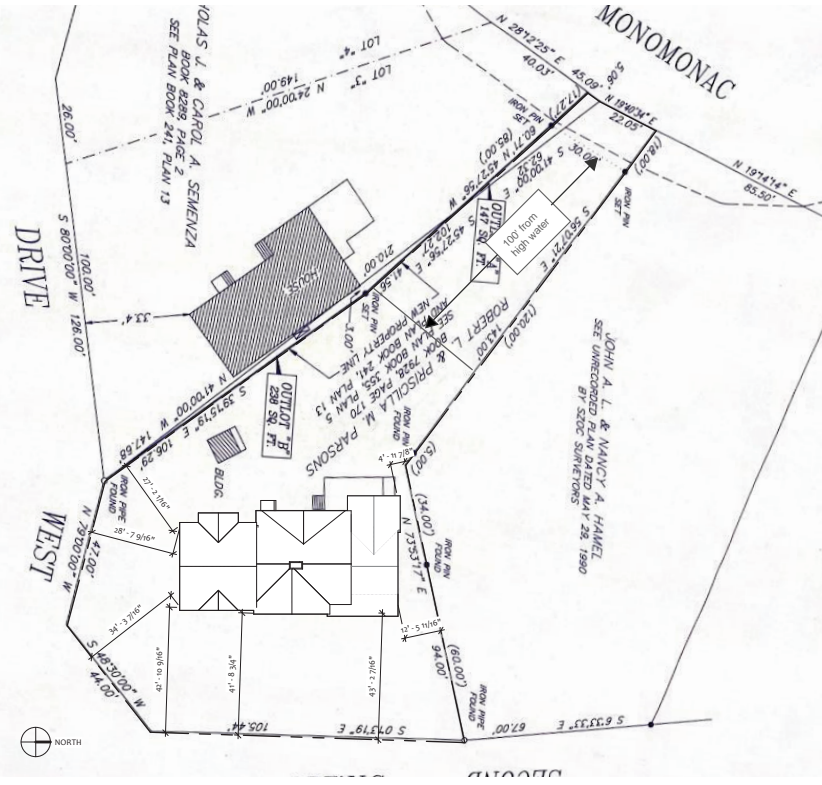
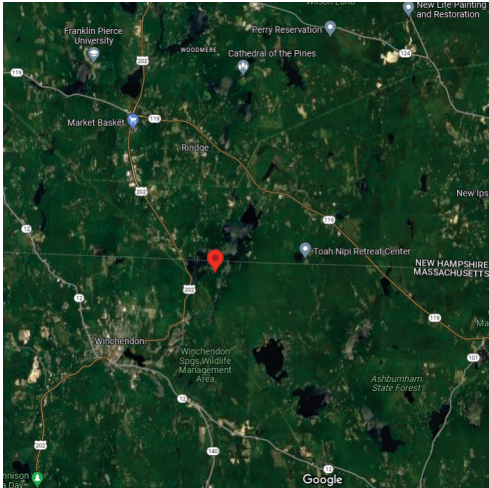
Jim & Jen Hardy

Hardy Residence

6 Second Street, Winchendon,
MA 01475

Cover Sheet

G001



1 SITE PLAN
1" = 20'-0"

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Project Phase	
Project Status	
DESIGN SET ONLY	<input type="checkbox"/>
NOT FOR CONSTRUCTION	<input type="checkbox"/>
RELEASED FOR CONSTRUCTION	<input type="checkbox"/>
RECORDED DRAWING	<input type="checkbox"/>

Sheet Scales	
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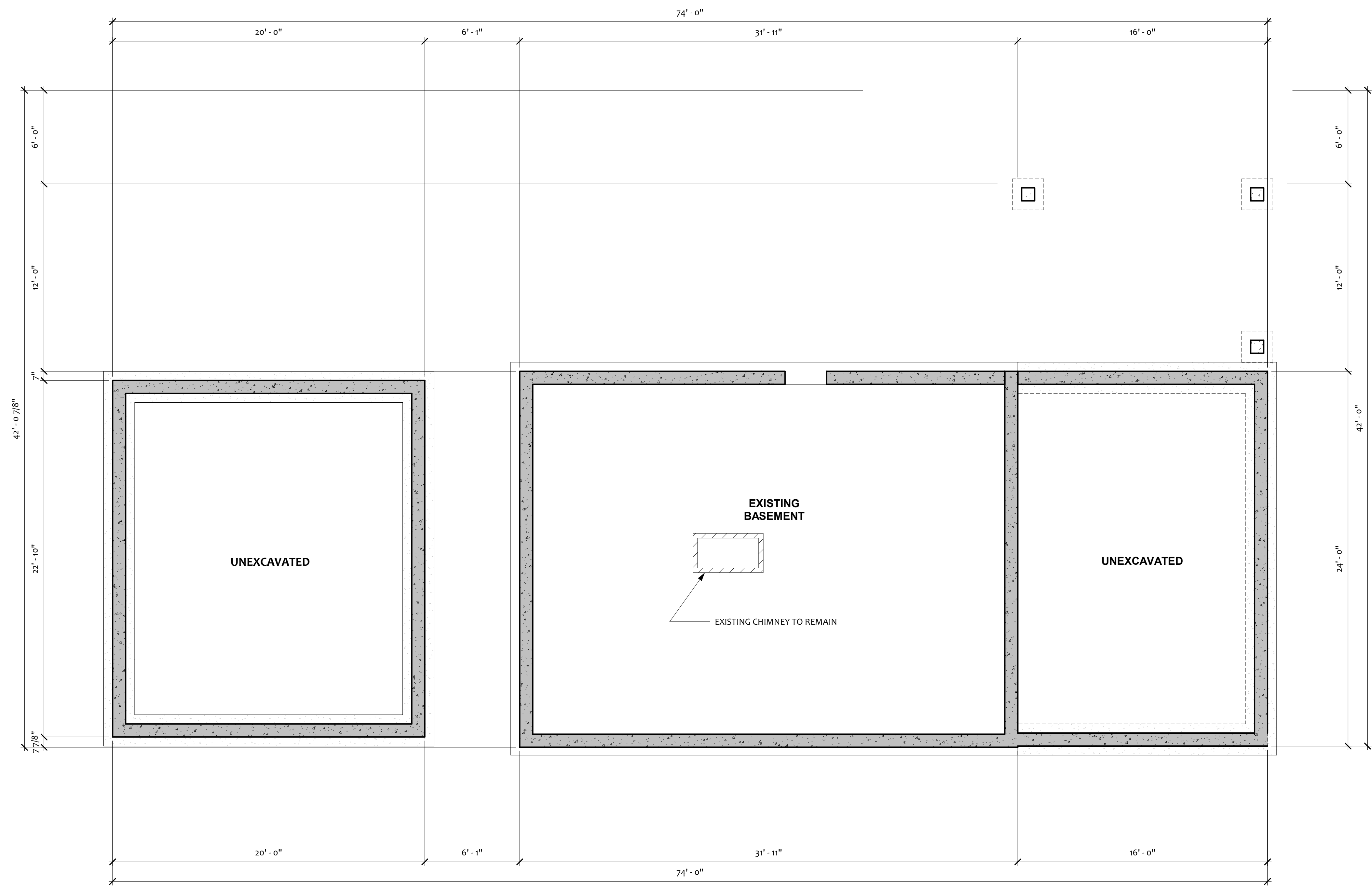
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Project Date	Issue Date	
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SETS & REVISIONS		
No.	Description	Date

Jim & Jen Hardy
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6 Second Street, Winchendon,
MA 01475

Site Plan

G103

Scale	1" = 20'-0"
Drawn by	Author
Checked by	Checker



1 EXISTING BASEMENT
1/4" = 1'-0"

Project Phase

Project Status	
DESIGN SET ONLY	<input checked="" type="checkbox"/>
NOT FOR CONSTRUCTION	<input checked="" type="checkbox"/>
RELEASED FOR CONSTRUCTION	<input type="checkbox"/>
RECORD DRAWING	<input type="checkbox"/>

Sheet Scales

Project number	Project Number
Project Date	Issue Date
PRINT DATE	6/25/2023 8:50:12 PM

SETS & REVISIONS		
No.	Description	Date

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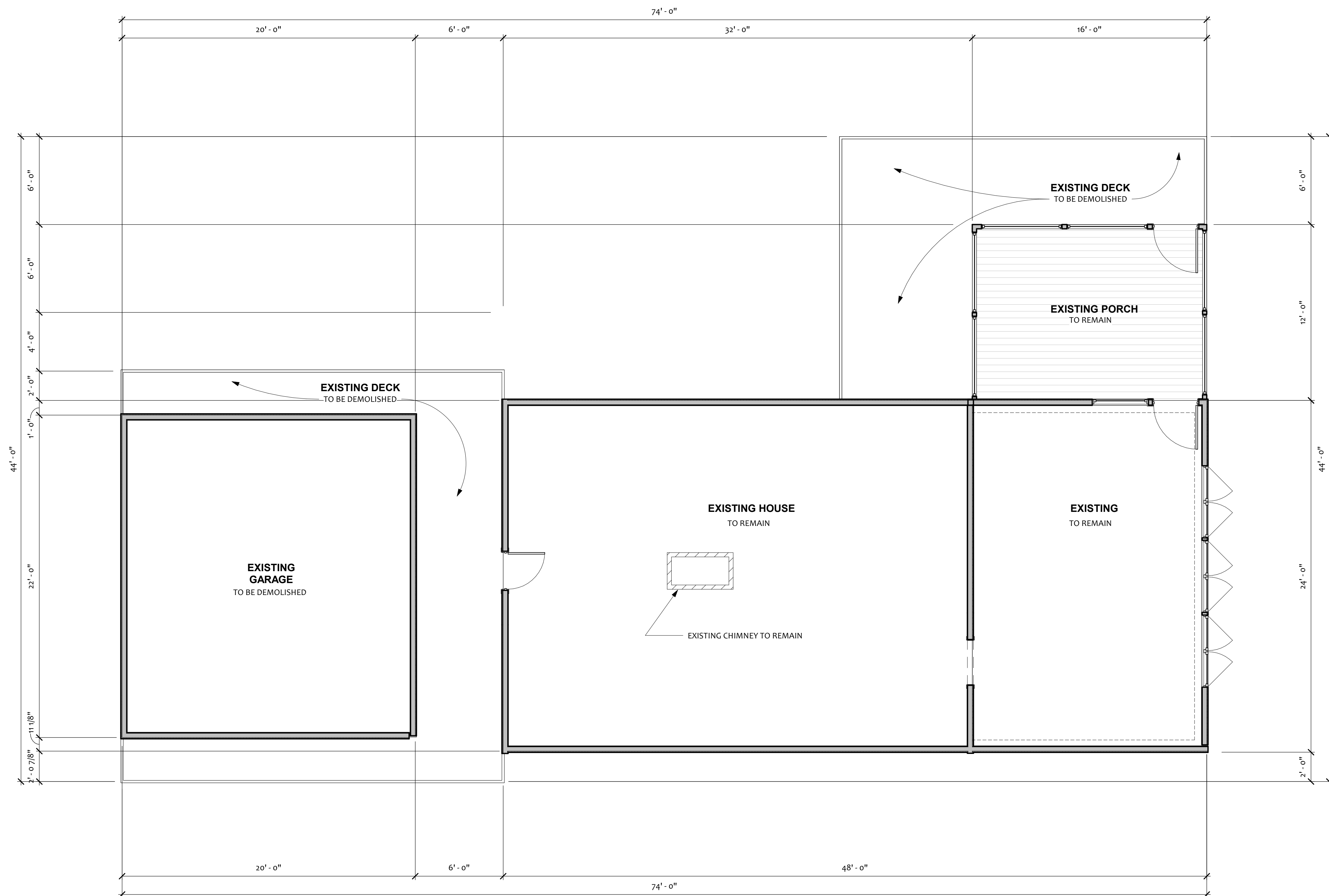
Basement Floor Existing
Conditions

A100
Scale 1/4" = 1'-0"
Drawn by Author
Checked by Checker

EXISTING SQUARE FOOTAGE

UNFINISHED	
GARAGE	440 SF
BASEMENT	768 SF
COVERED PORCH	160 SF
SUB TOTAL	1,368 SF
FINISHED	
1ST FLOOR	768 SF
NET TOTAL:	2,136 SF

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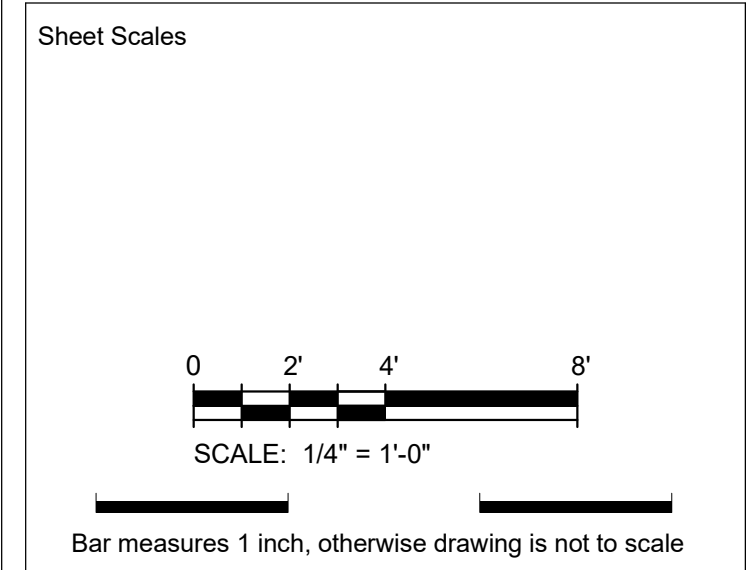


① EXISTING 1ST FLOOR
 1/4" = 1'-0"

Project Phase

Project Status

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NOT FOR CONSTRUCTION	<input checked="" type="checkbox"/>
RELEASED FOR CONSTRUCTION	<input type="checkbox"/>
RECORD DRAWING	<input type="checkbox"/>



Project number	Project Number	
Project Date	Issue Date	
PRINT DATE	6/25/2023 8:50:12 PM	
SETS & REVISIONS		
No.	Description	Date

Jim & Jen Hardy

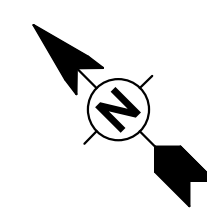
Hardy Residence

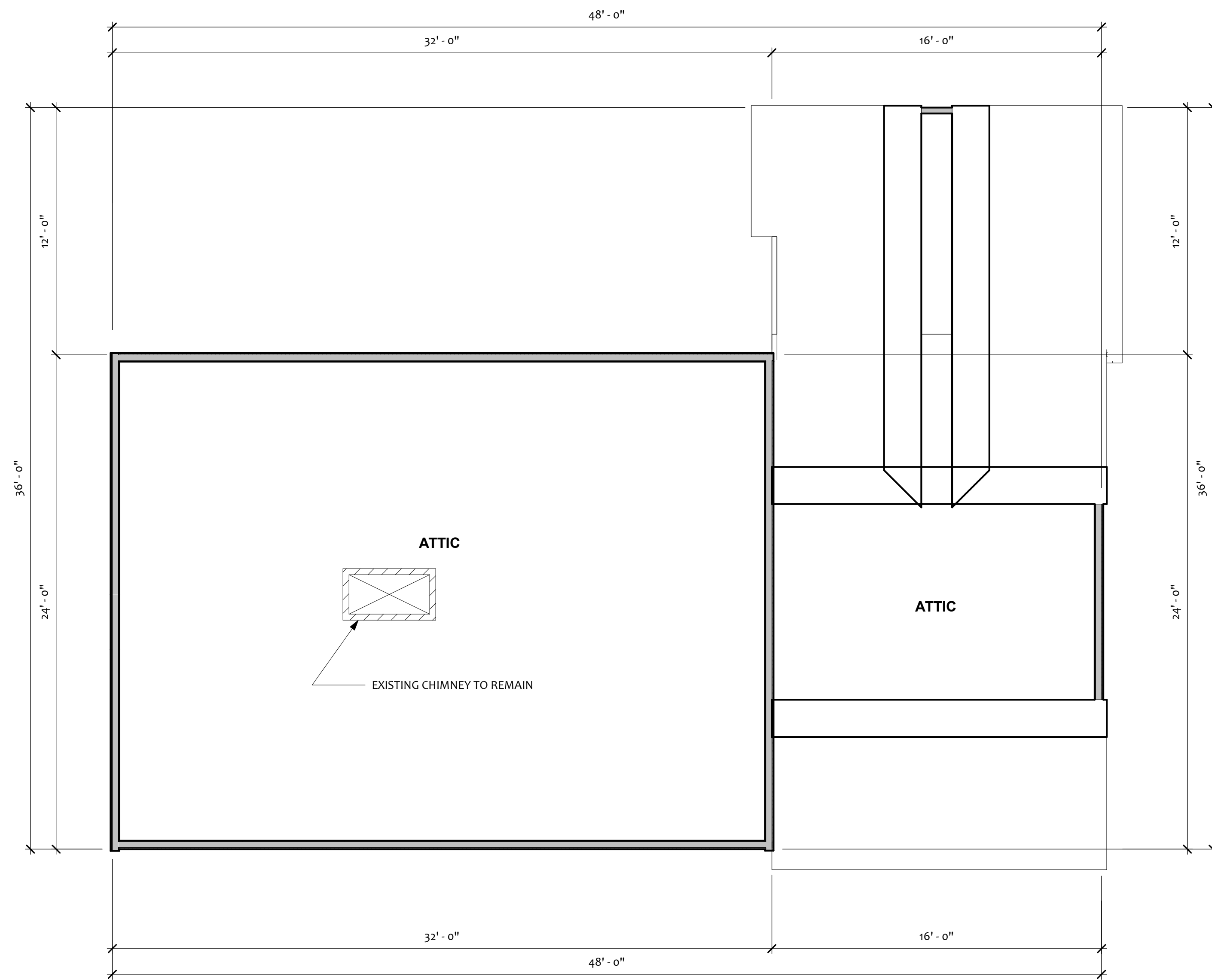
6 Second Street, Winchendon,
 MA 01475

First Floor Existing Conditions

A101

Scale	1/4" = 1'-0"
Drawn by	Author
Checked by	Checker





1 EXISTING 2ND FLOOR
1/4" = 1'-0"



Project Status

DESIGN SET ONLY	<input checked="" type="checkbox"/>
NOT FOR CONSTRUCTION	<input checked="" type="checkbox"/>
RELEASED FOR CONSTRUCTION	<input type="checkbox"/>
RECORD DRAWING	<input type="checkbox"/>

Sheet Scales

Project number	Project Number
Project Date	Issue Date
PRINT DATE	6/25/2023 8:50:13 PM

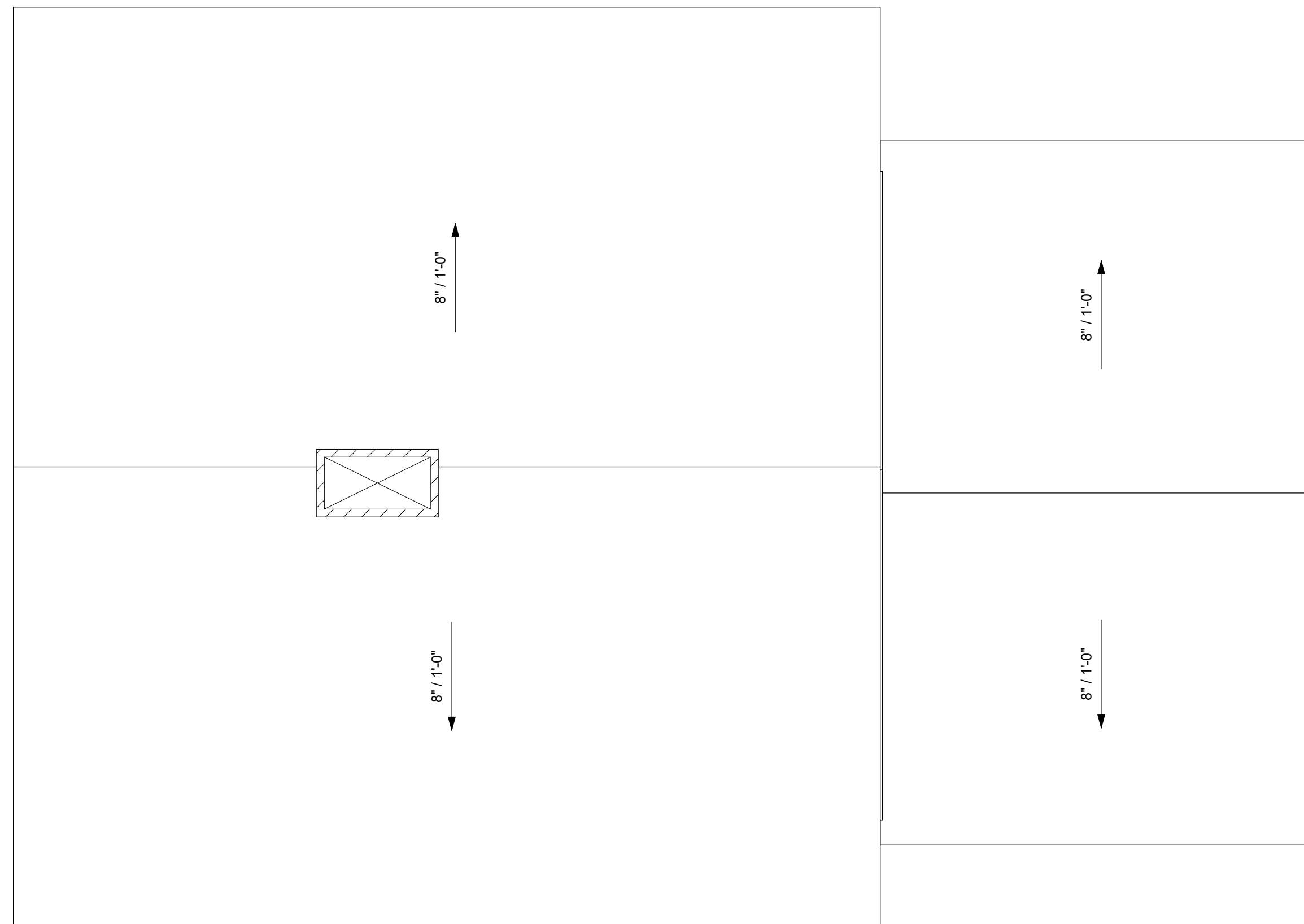
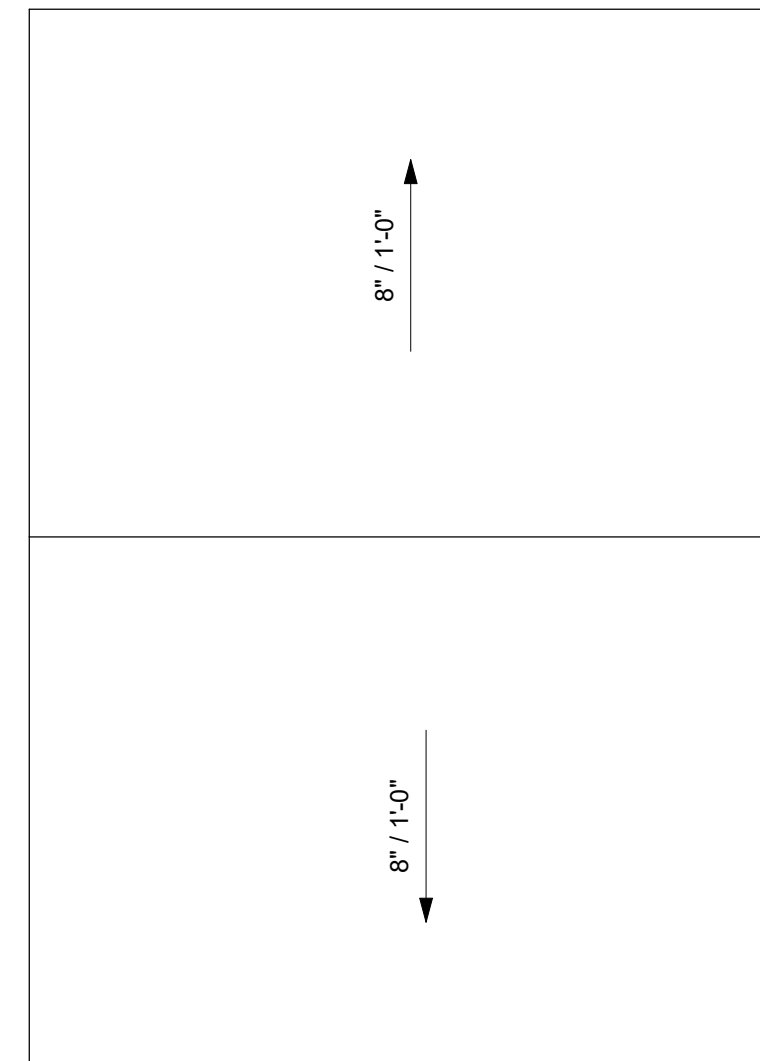
SETS & REVISIONS		
No.	Description	Date

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6 Second Street, Winchendon,
MA 01475

Second Floor Existing Conditions

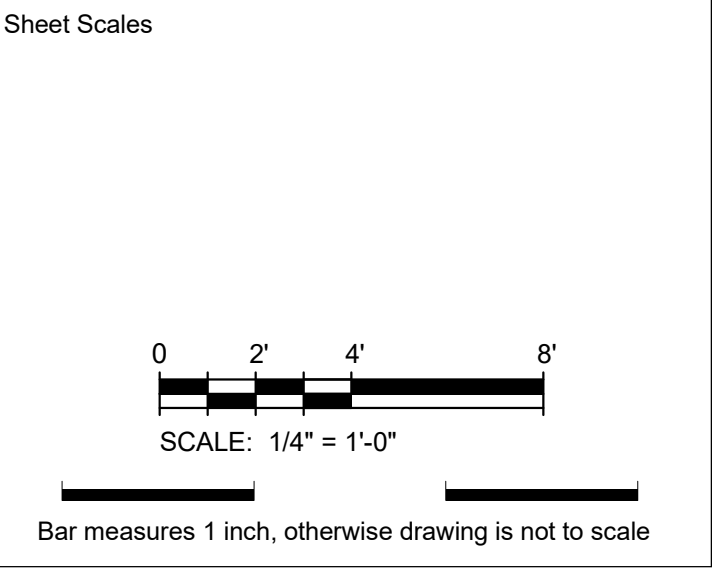
A102

Scale	1/4" = 1'-0"
Drawn by	Author
Checked by	Checker



① EXISTING ROOF
1/4" = 1'-0"

Project Phase	
Project Status	
DESIGN SET ONLY	<input checked="" type="checkbox"/>
NOT FOR CONSTRUCTION	<input checked="" type="checkbox"/>
RELEASED FOR CONSTRUCTION	<input type="checkbox"/>
RECORD DRAWING	<input type="checkbox"/>



Project number	Project Number
Project Date	Issue Date
PRINT DATE	6/25/2023 8:50:13 PM

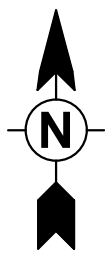
SETS & REVISIONS		
No.	Description	Date

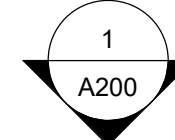
Jim & Jen Hardy
Hardy Residence
6 Second Street, Winchendon,
MA 01475

Roof Plan Existing Conditions

A103

Scale	1/4" = 1'-0"
Drawn by	Author
Checked by	Checker





PROPOSED SQUARE FOOTAGE

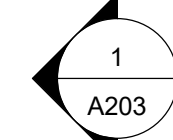
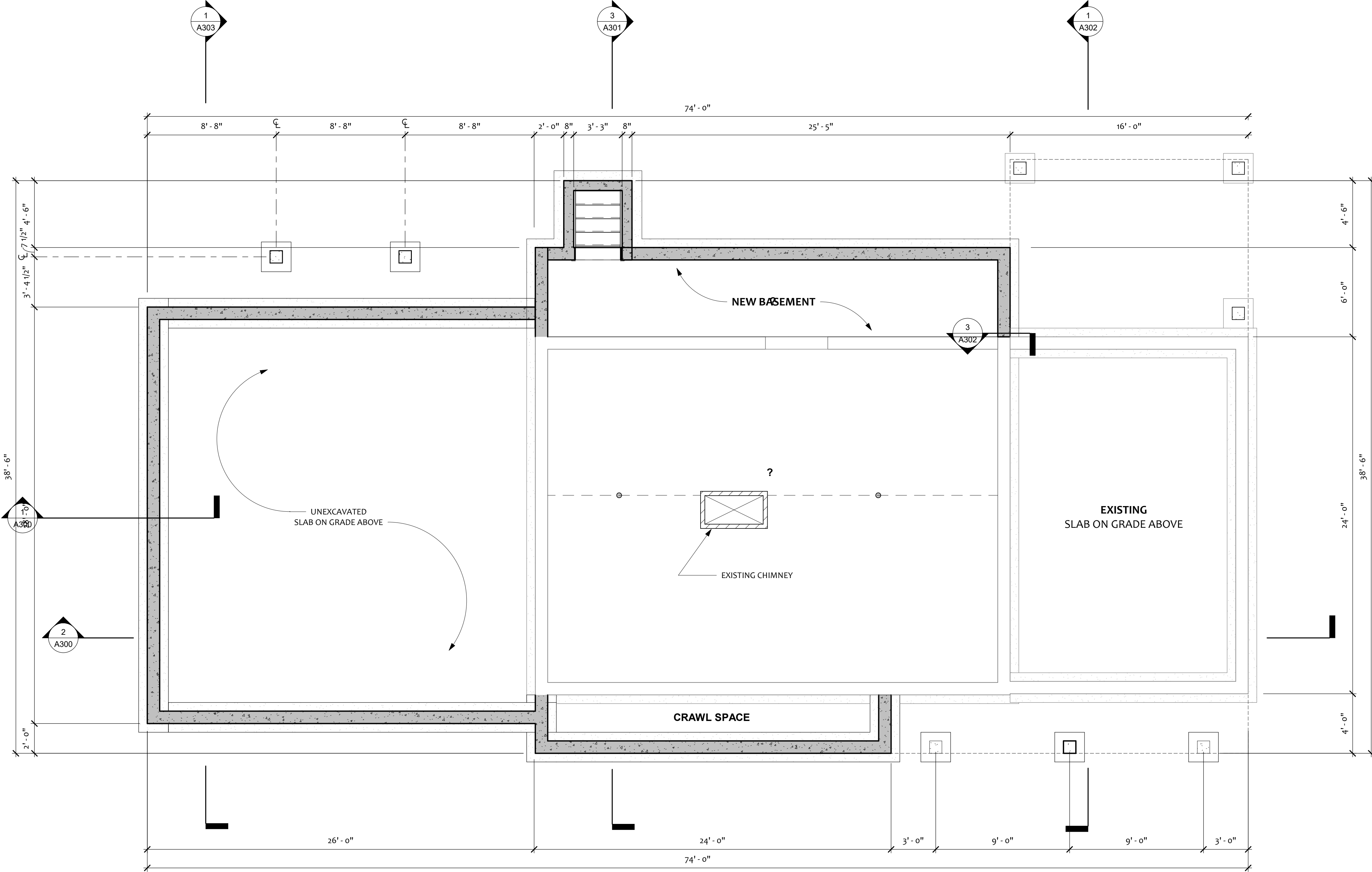
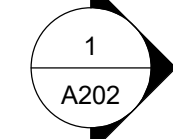
UNFINISHED
 GARAGE 728 SF
 BASEMENT 890 SF
 COVERED PORCH 160 SF
 SUB-TOTAL: 1,778 SF

FINISHED
 1ST FLOOR 1,416 SF
 2ND FLOOR 1,326 SF
 SUB-TOTAL: 2,792 SF

NET TOTAL: 4,570 SF

WALL TYPES:

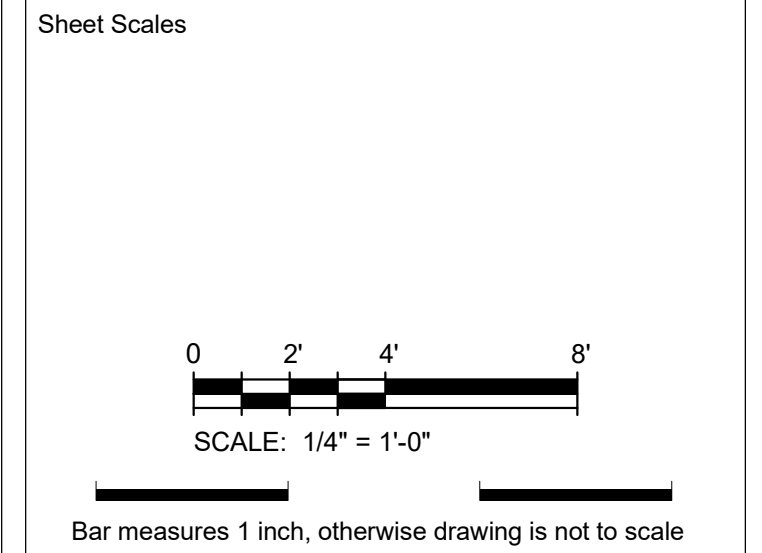
- A NEW 2x4 WALL
- B EXISTING 2x4 WALL
- C NEW 2x6 WALL
- D EXISTING 2x6 WALL
- E 10" FOUNDATION WALL w/WATERPROOFING



Project Phase

Project Status

DESIGN SET ONLY	<input checked="" type="checkbox"/>
NOT FOR CONSTRUCTION	<input checked="" type="checkbox"/>
RELEASED FOR CONSTRUCTION	<input type="checkbox"/>
RECORD DRAWING	<input type="checkbox"/>



Project number	Project Number	
Project Date	Issue Date	
PRINT DATE	6/25/2023 8:50:13 PM	
SETS & REVISIONS		
No.	Description	Date

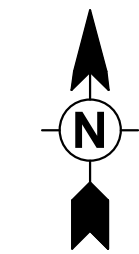
Jim & Jen Hardy
 Hardy Residence
 6 Second Street, Winchendon,
 MA 01475

Proposed Basement Floor

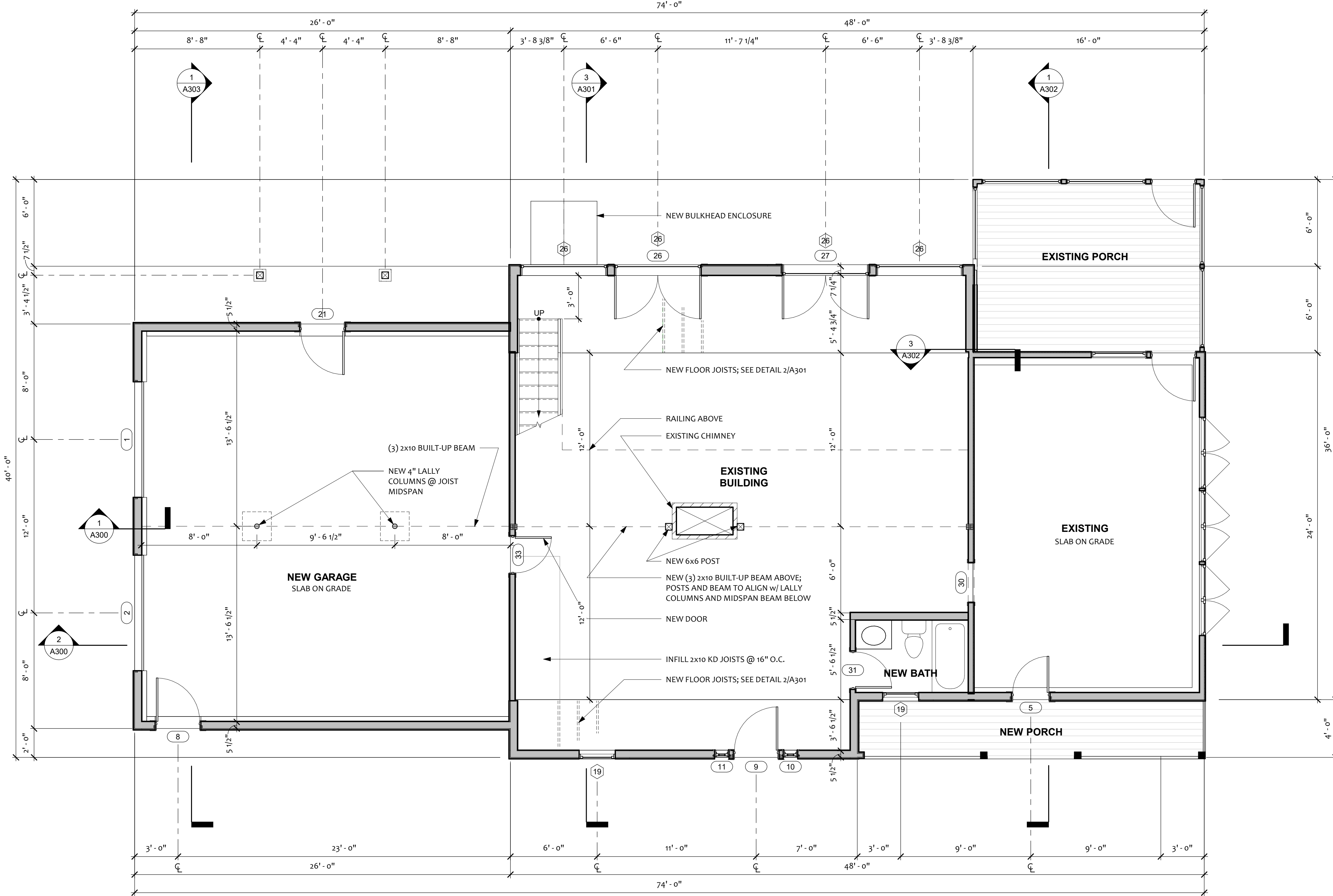
A104

Scale 1/4" = 1'-0"
 Drawn by Author
 Checked by Checker

1 PROPOSED BASEMENT
 1/4" = 1'-0"



1
A200



1
A202

1
A201

PROPOSED SQUARE FOOTAGE

UNFINISHED

GARAGE	728 SF
BASEMENT	890 SF
COVERED PORCH	160 SF
SUB-TOTAL:	1,778 SF

FINISHED

1 ST FLOOR	1,416 SF
2 ND FLOOR	1,326 SF
SUB-TOTAL:	2,792 SF

NET TOTAL: 4,570 SF

WALL TYPES:

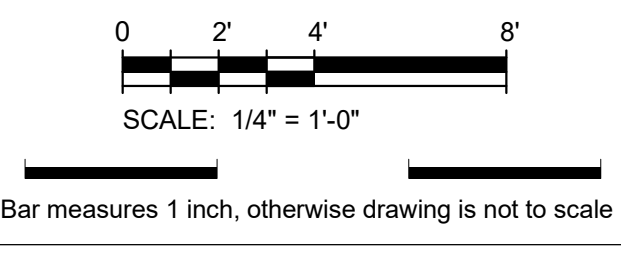
- A NEW 2x4 WALL
- B EXISTING 2x4 WALL
- C NEW 2x6 WALL
- D EXISTING 2x6 WALL
- E 10" FOUNDATION WALL w/ WATERPROOFING

Project Phase

Project Status

- DESIGN SET ONLY
- NOT FOR CONSTRUCTION
- RELEASED FOR CONSTRUCTION
- RECORD DRAWING

Sheet Scales



Project number	Project Number
Project Date	Issue Date
PRINT DATE	6/25/2023 8:50:14 PM

SETS & REVISIONS		
No.	Description	Date

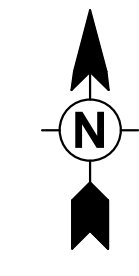
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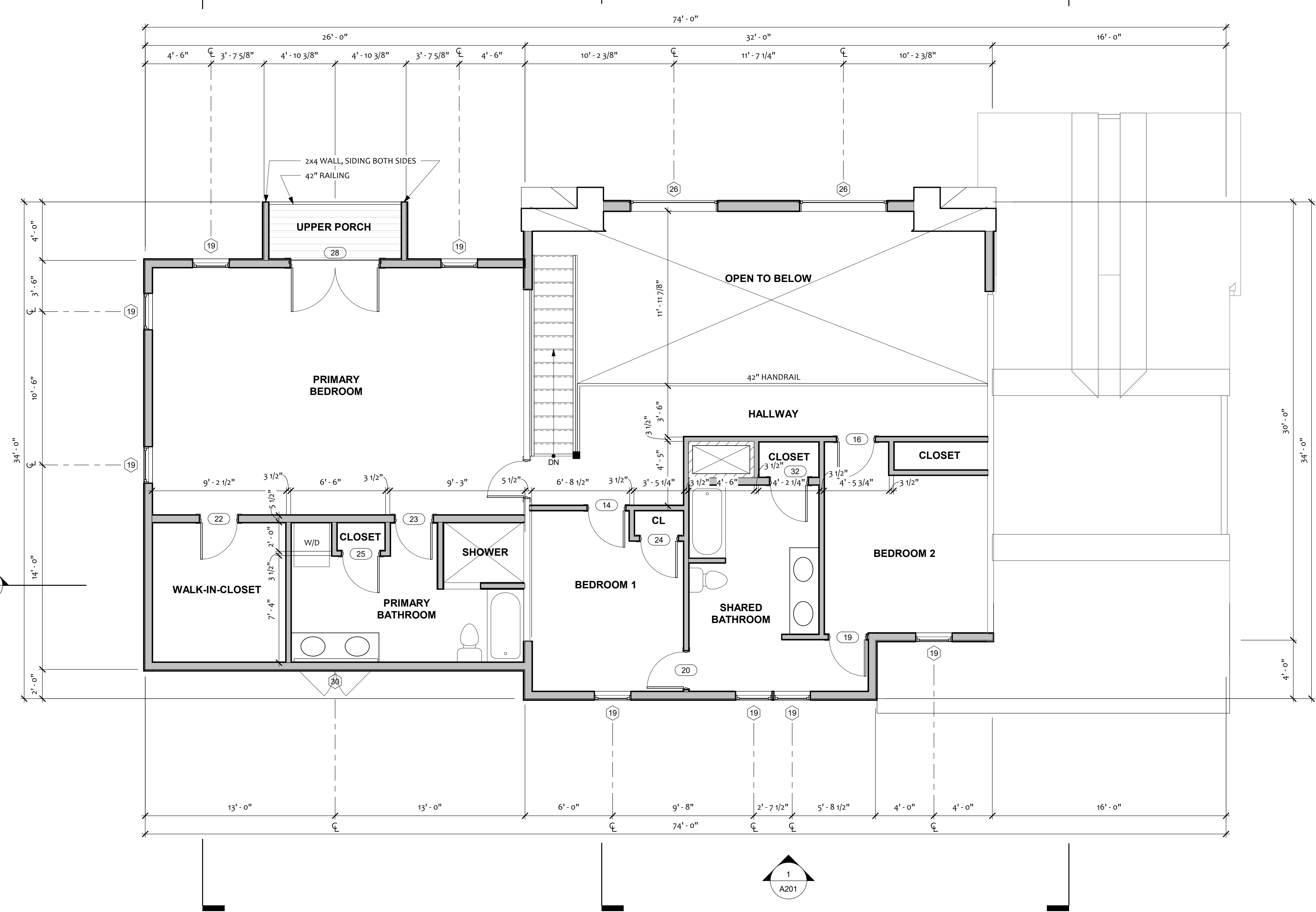
Proposed First Floor

A105

Scale	1/4" = 1'-0"
Drawn by	Author
Checked by	Checker

1 PROPOSED 1ST FLOOR
1/4" = 1'-0"





PROPOSED SQUARE FOOTAGE

UNFINISHED
 GARAGE 728 SF
 BASEMENT 890 SF
 COVERED PORCH 160 SF
 SUB-TOTAL: 1,778 SF

FINISHED
 1ST FLOOR 1,416 SF
 2ND FLOOR 1,376 SF
 SUB-TOTAL: 2,792 SF

NET TOTAL: 4,570 SF

WALL TYPES:

- A NEW 2x4 WALL
- B EXISTING 2x4 WALL
- C NEW 2x6 WALL
- D EXISTING 2x6 WALL
- E 10" FOUNDATION WALL w/ WATERPROOFING

Project Phase

Project Status

DESIGN SET ONLY

NOT FOR CONSTRUCTION

RELEASED FOR CONSTRUCTION

RECORD DRAWING

Sheet Scales

Bar measures 1 inch, otherwise drawing is not to scale

Project number		Project Number
Project Date		Issue Date
PRINT DATE		6/25/2023 8:50:14 PM
SETS & REVISIONS		
No.	Description	Date

Jim & Jen Hardy
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 MA 01475

Proposed Second Floor

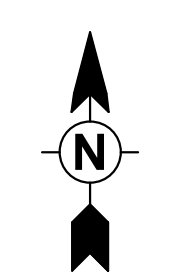
A106

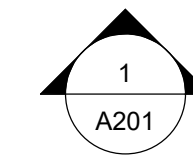
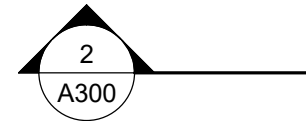
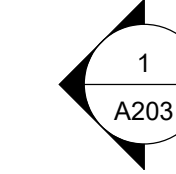
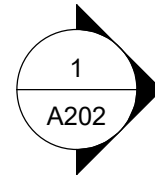
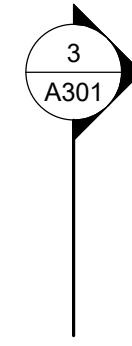
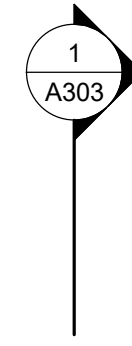
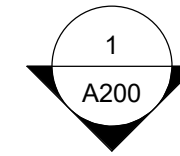
Scale 1/4" = 1'-0"

Drawn by Author

Checked by Checker

1 PROPOSED 2ND FLOOR
 1/4" = 1'-0"





PROPOSED SQUARE FOOTAGE

UNFINISHED	
GARAGE	728 SF
BASEMENT	890 SF
COVERED PORCH	160 SF
SUB-TOTAL:	1,778 SF
FINISHED	
1 ST FLOOR	1,416 SF
2 ND FLOOR	1,376 SF
SUB-TOTAL:	2,792 SF
NET TOTAL:	4,570 SF

WALL TYPES:

- A** NEW 2x4 WALL
- B** EXISTING 2x4 WALL
- C** NEW 2x6 WALL
- D** EXISTING 2x6 WALL
- E** 10" FOUNDATION WALL w/ WATERPROOFING

Project Phase

Project Status

DESIGN SET ONLY

NOT FOR CONSTRUCTION

RELEASED FOR CONSTRUCTION

RECORD DRAWING

Sheet Scales

SCALE: 1/4" = 1'-0"

Bar measures 1 inch, otherwise drawing is not to scale

Project number _____ Project Number _____

Project Date _____ Issue Date _____

PRINT DATE 6/25/2023 8:50:15 PM

SETS & REVISIONS

No.	Description	Date

Jim & Jen Hardy

Hardy Residence

6 Second Street, Winchendon,
MA 01475

Proposed Attic Plan

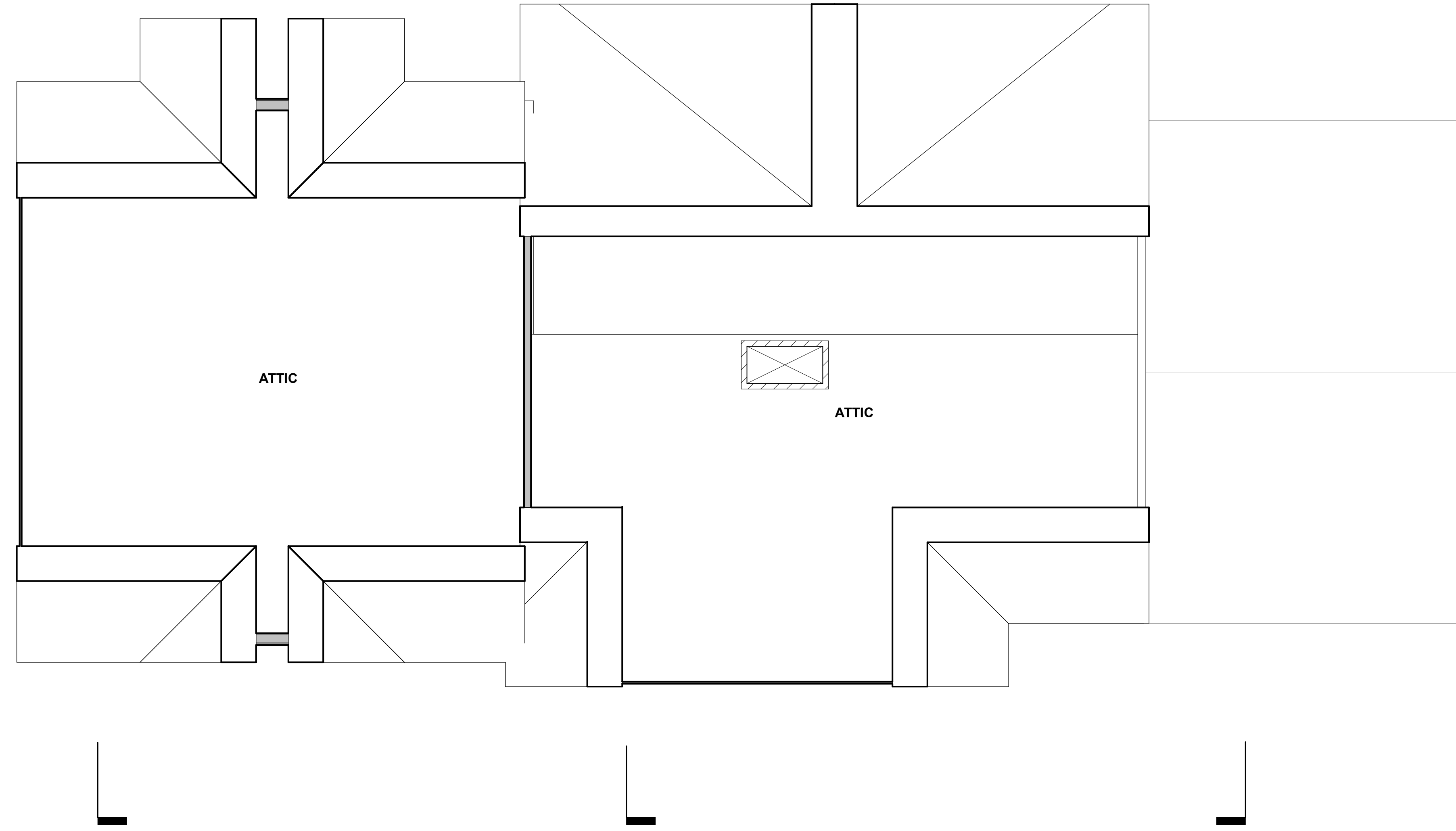
A107

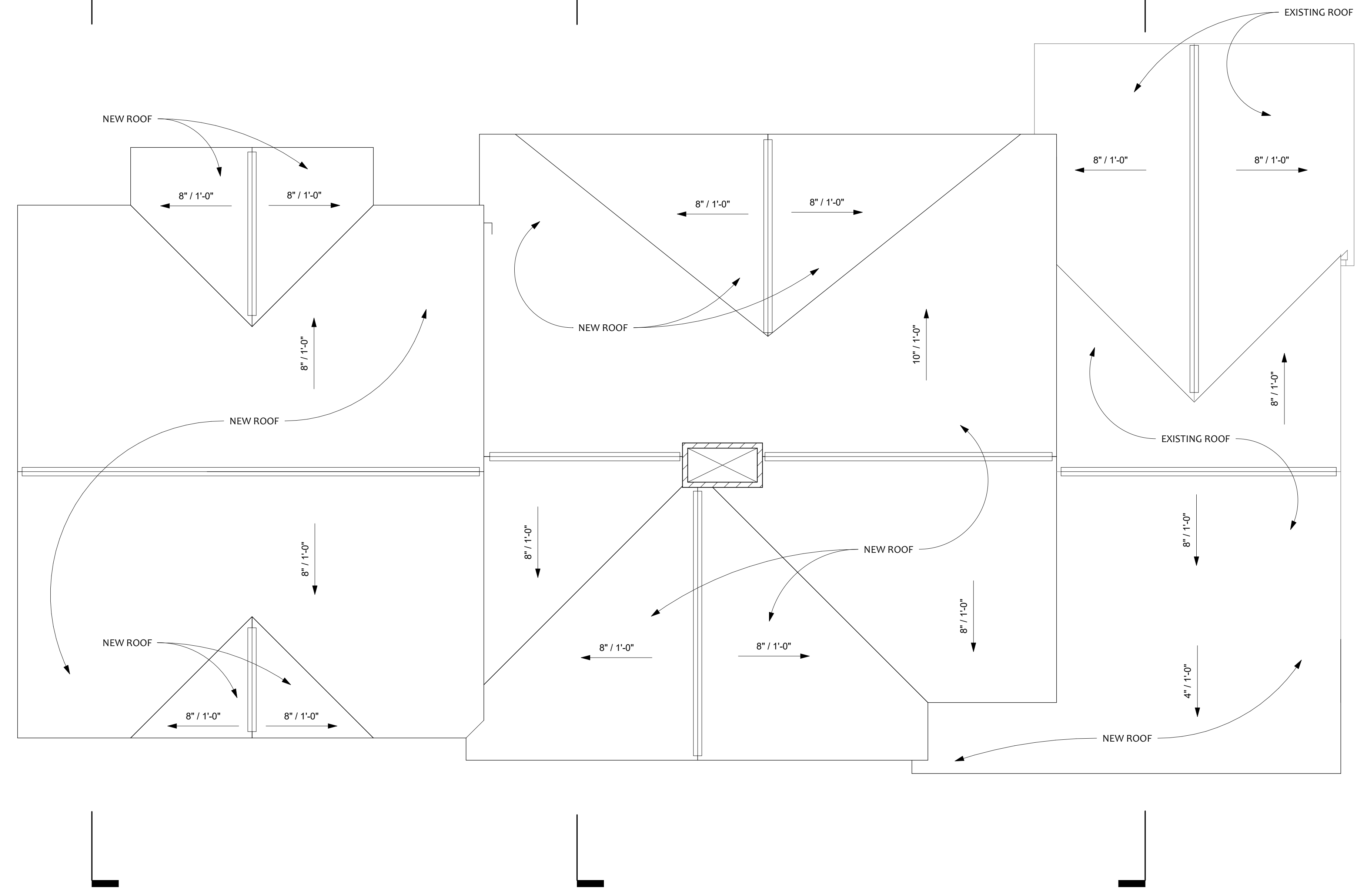
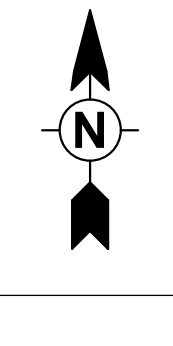
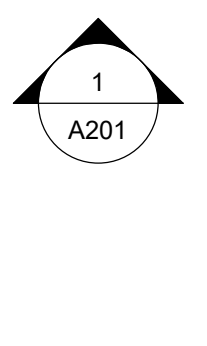
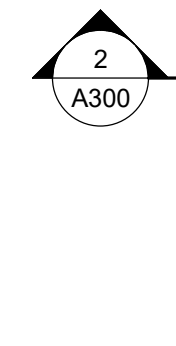
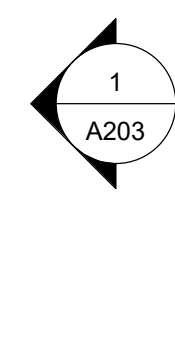
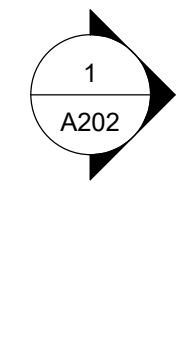
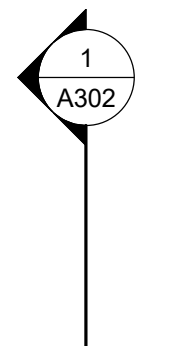
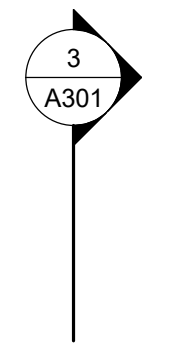
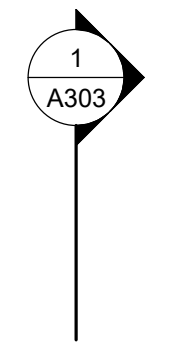
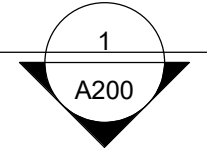
Scale 1/4" = 1'-0"

Drawn by _____ Author _____

Checked by _____ Checker _____

① PROPOSED ATTIC PLAN
1/4" = 1'-0"





1 PROPOSED ROOF PLAN
1/4" = 1'-0"

Project Phase

Project Status

DESIGN SET ONLY	<input checked="" type="checkbox"/>
NOT FOR CONSTRUCTION	<input checked="" type="checkbox"/>
RELEASED FOR CONSTRUCTION	<input type="checkbox"/>
RECORD DRAWING	<input type="checkbox"/>

Sheet Scales

SCALE: 1/4" = 1'-0"
Bar measures 1 inch, otherwise drawing is not to scale

Project number	Project Number
Project Date	Issue Date
PRINT DATE	6/25/2023 8:50:15 PM

SETS & REVISIONS

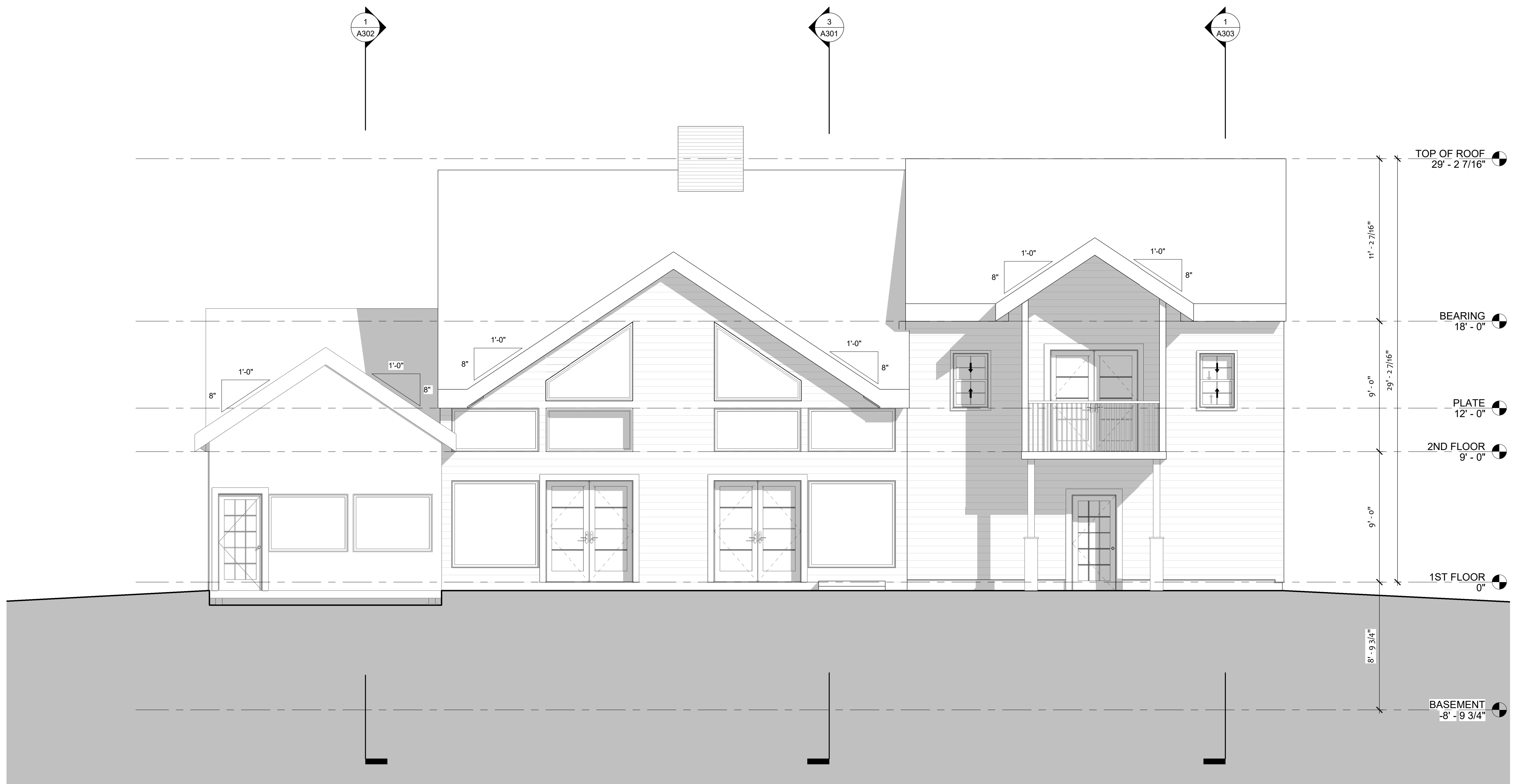
No.	Description	Date

Jim & Jen Hardy
Hardy Residence
6 Second Street, Winchendon,
MA 01475

Proposed Roof Plan

A108

Scale	1/4" = 1'-0"
Drawn by	Author
Checked by	Checker



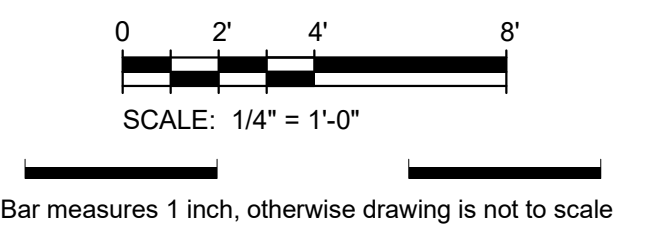
1 NORTH ELEVATION
1/4" = 1'-0"

Project Phase

Project Status

- DESIGN SET ONLY
- NOT FOR CONSTRUCTION
- RELEASED FOR CONSTRUCTION
- RECORD DRAWING

Sheet Scales



Project number _____ Project Number _____

Project Date _____ Issue Date _____

PRINT DATE 6/25/2023 8:50:16 PM

SETS & REVISIONS		
No.	Description	Date

Jim & Jen Hardy
Hardy Residence
6 Second Street, Winchendon,
MA 01475

Elevations

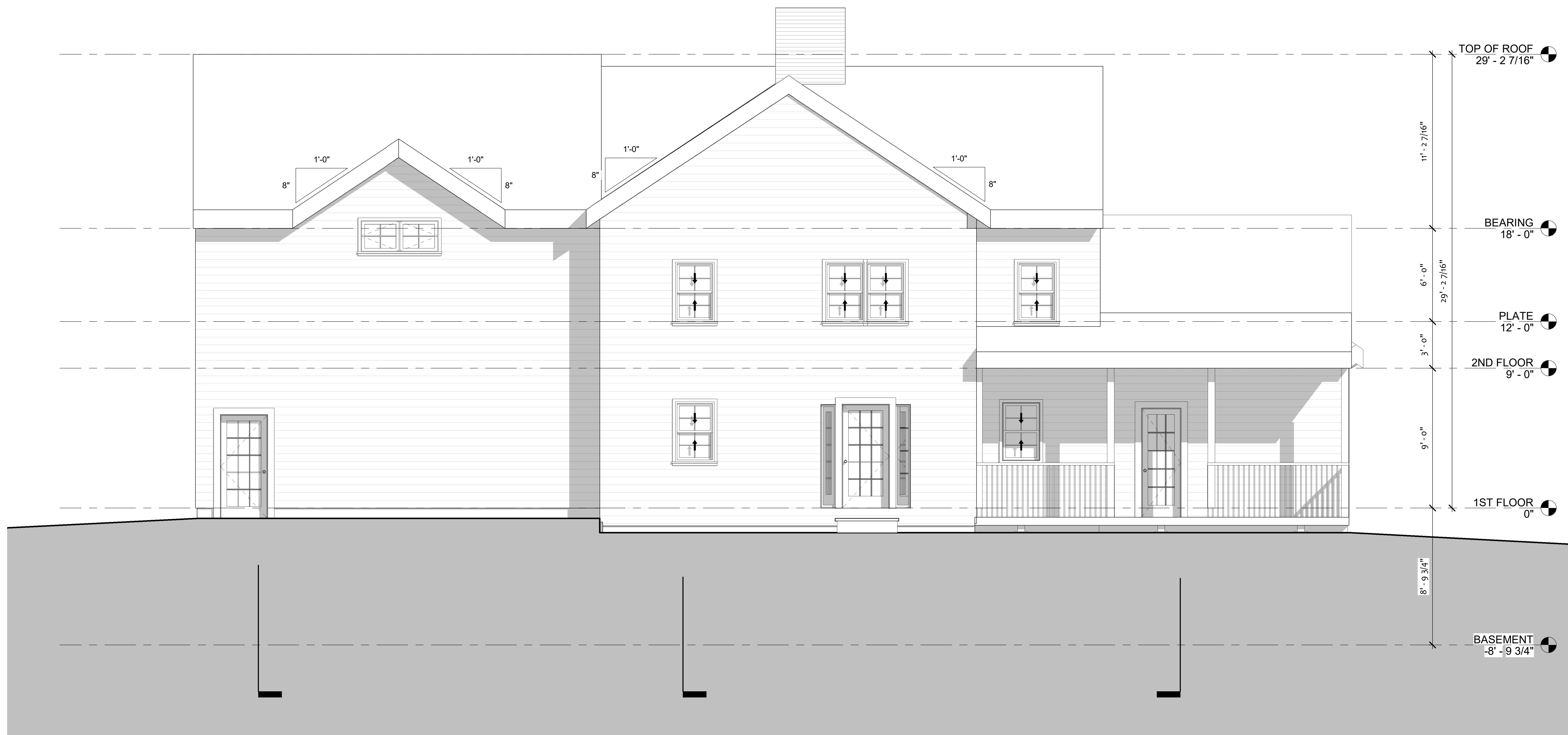
A200

Scale 1/4" = 1'-0"
Drawn by _____ Author _____
Checked by _____ Checker _____

1
A303

3
A301

1
A302



1 SOUTH ELEVATION
1/4" = 1'-0"

Project Phase

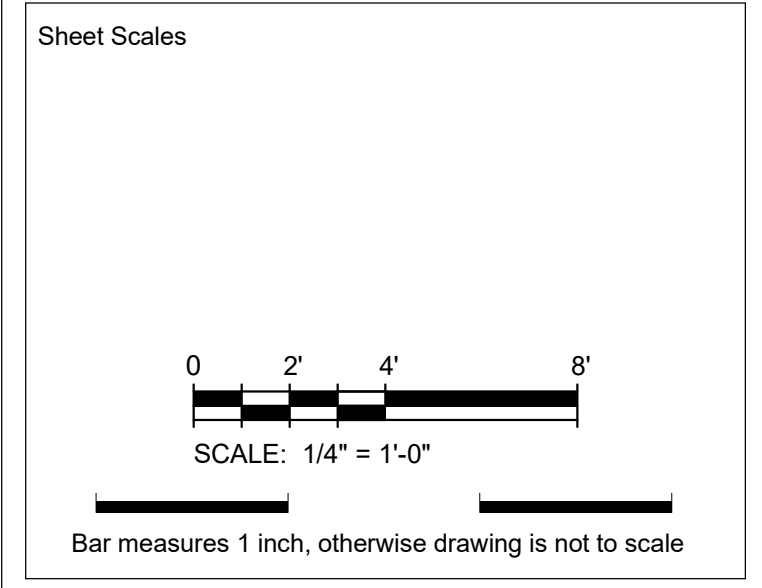
Project Status

DESIGN SET ONLY

NOT FOR CONSTRUCTION

RELEASED FOR CONSTRUCTION

RECORD DRAWING



Project number	Project Number
Project Date	Issue Date
PRINT DATE	6/25/2023 8:50:18 PM

SETS & REVISIONS

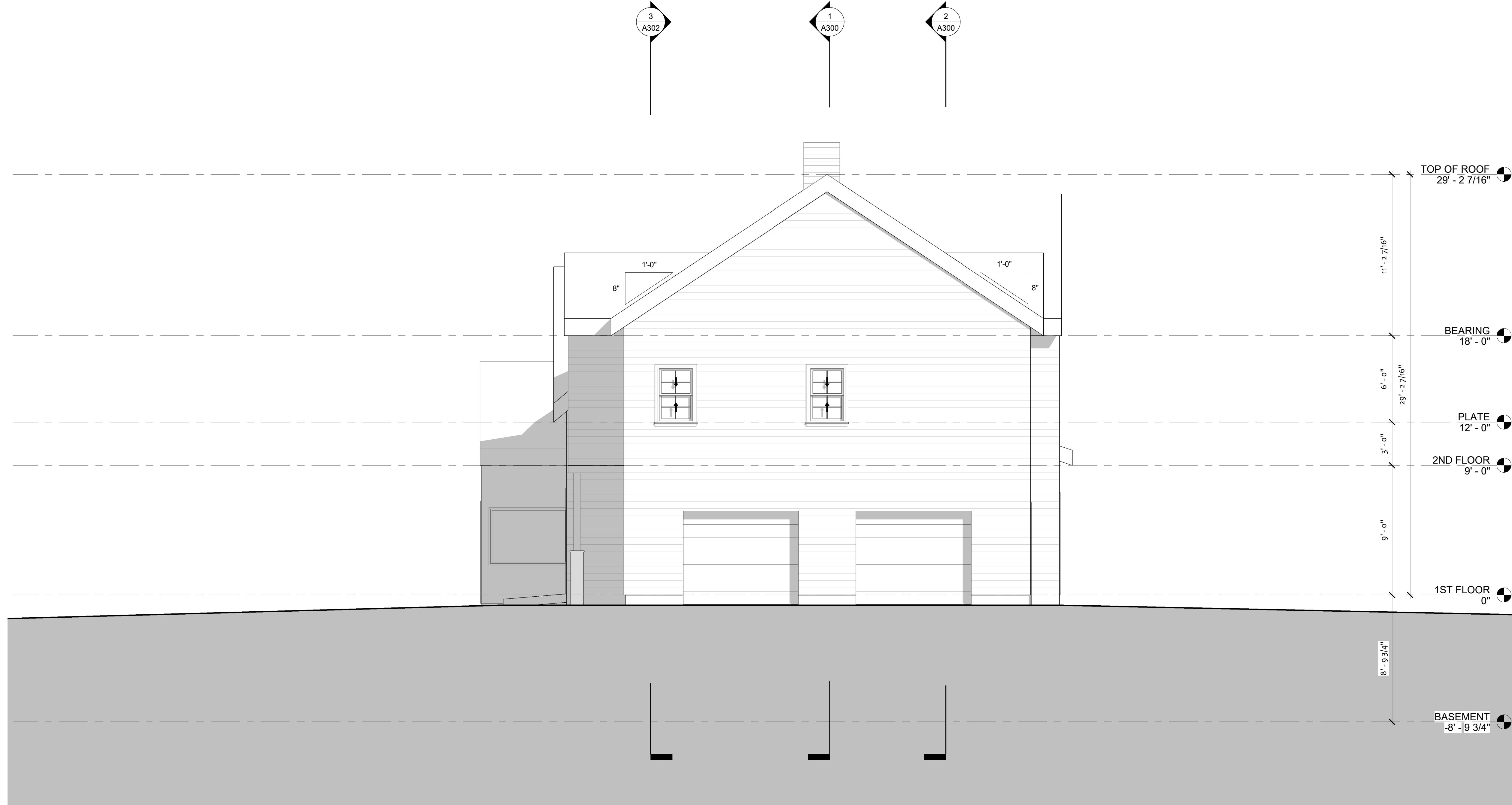
No.	Description	Date

Jim & Jen Hardy
Hardy Residence
6 Second Street, Winchendon,
MA 01475

Elevations

A201

Scale	1/4" = 1'-0"
Drawn by	Author
Checked by	Checker



1 WEST ELEVATION
1/4" = 1'-0"

Project Phase

Project Status

DESIGN SET ONLY

NOT FOR CONSTRUCTION

RELEASED FOR CONSTRUCTION

RECORD DRAWING

Sheet Scales

SCALE: 1/4" = 1'-0"

Bar measures 1 inch, otherwise drawing is not to scale

Project number	Project Number
Project Date	Issue Date
PRINT DATE	6/25/2023 8:50:19 PM

SETS & REVISIONS

No.	Description	Date

Jim & Jen Hardy

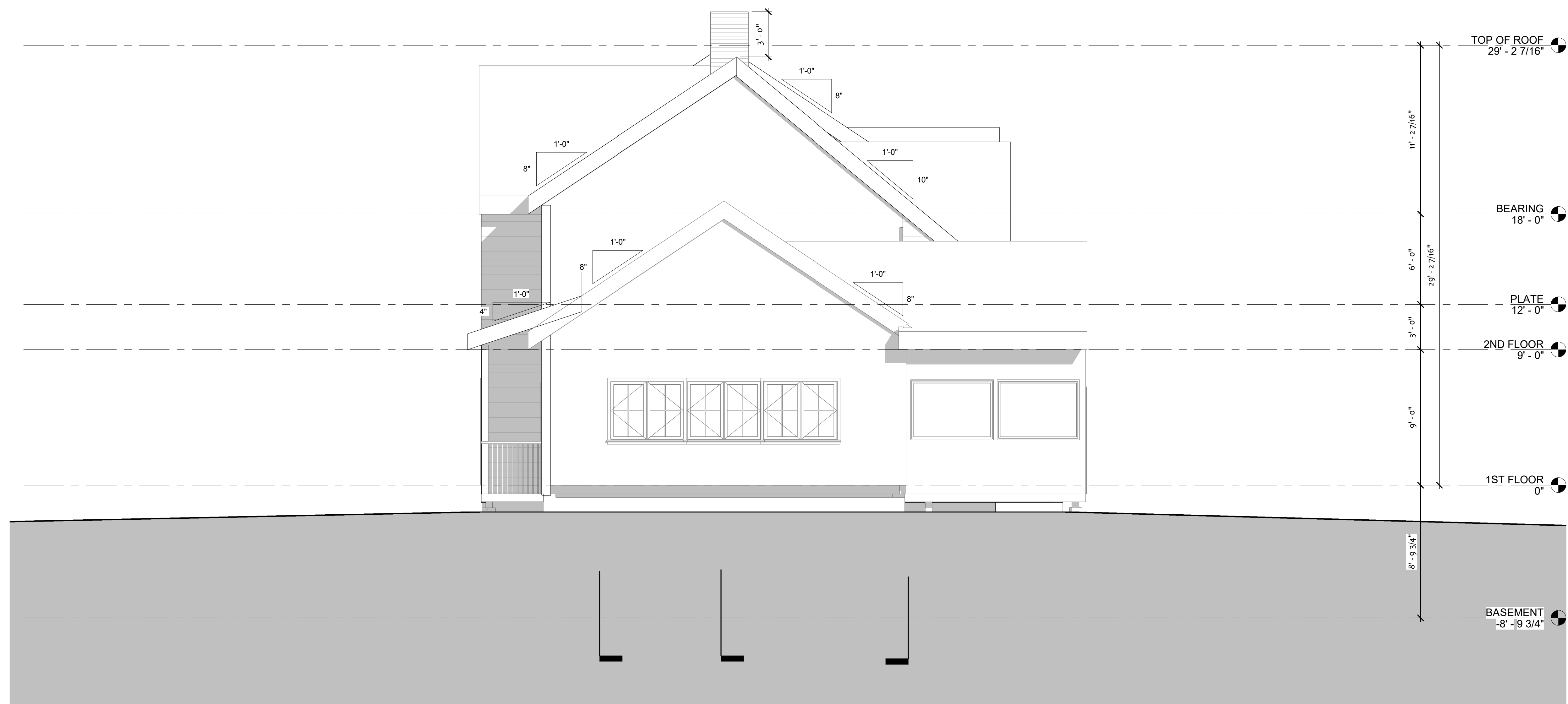
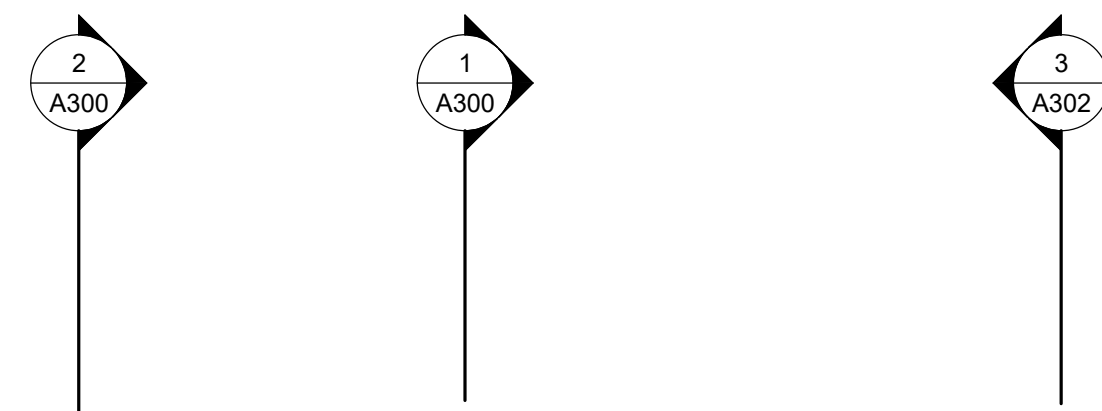
Hardy Residence

6 Second Street, Winchendon,
MA 01475

Elevations

A202

Scale	1/4" = 1'-0"
Drawn by	Author
Checked by	Checker



① EAST ELEVATION
1/4" = 1'-0"

Project Phase

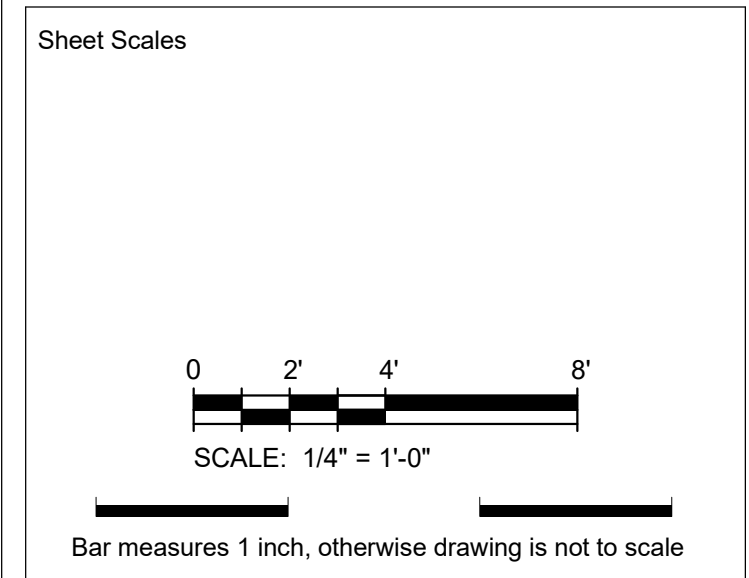
Project Status

DESIGN SET ONLY

NOT FOR CONSTRUCTION

RELEASED FOR CONSTRUCTION

RECORD DRAWING



Project number	Project Number
Project Date	Issue Date
PRINT DATE	6/25/2023 8:50:21 PM

SETS & REVISIONS		
No.	Description	Date

Jim & Jen Hardy

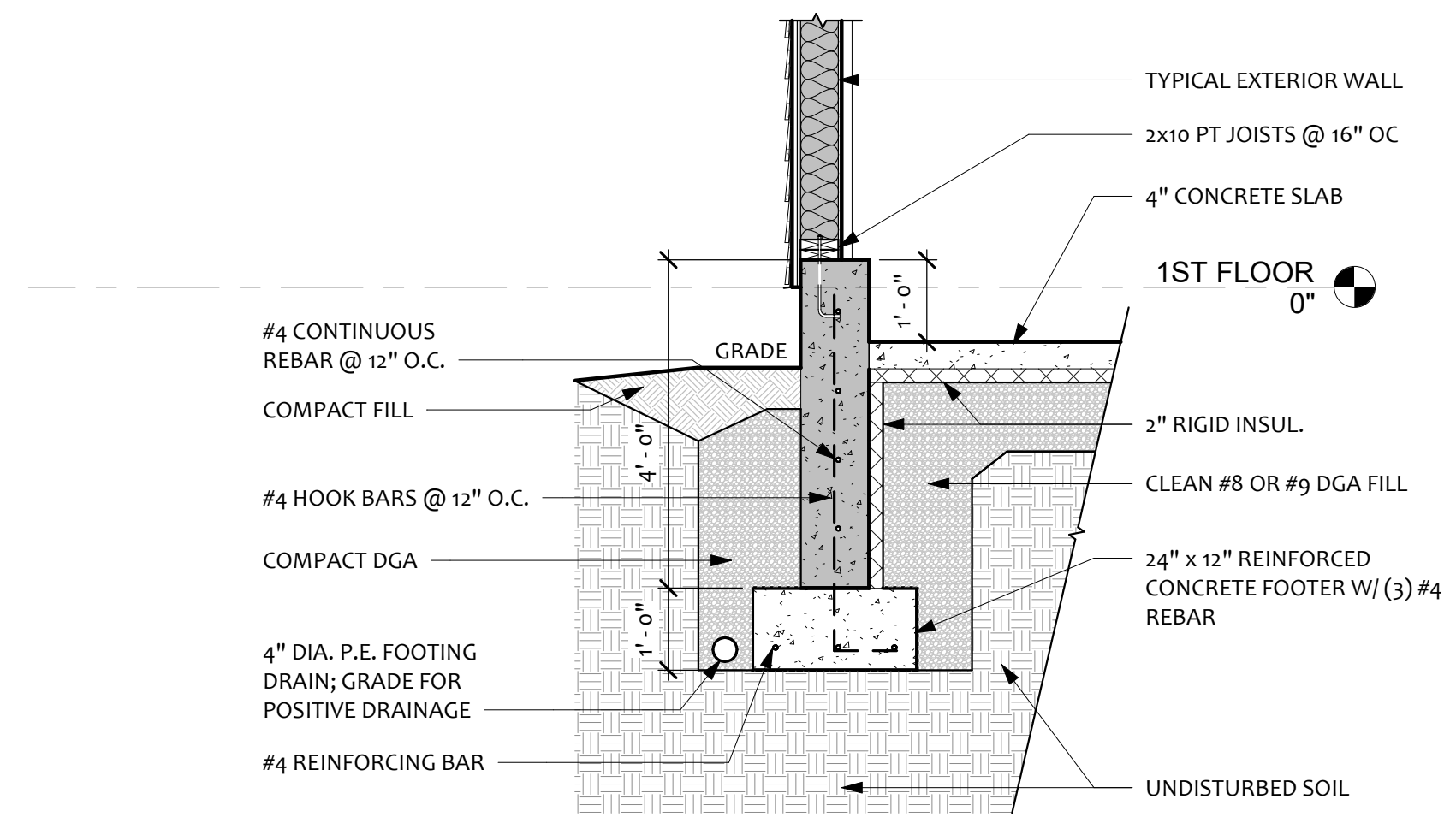
Hardy Residence

6 Second Street, Winchendon,
MA 01475

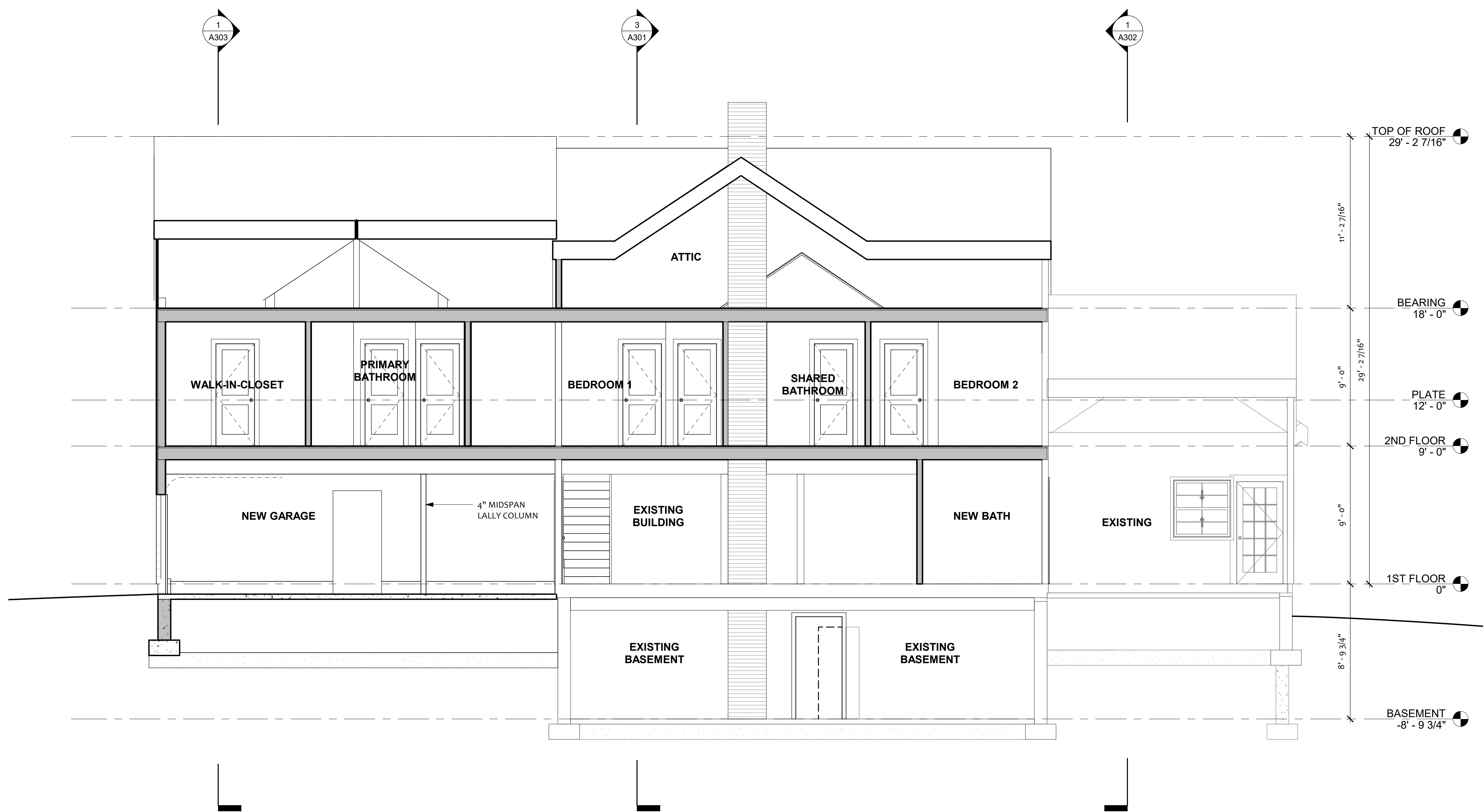
Elevations

A203

Scale	1/4" = 1'-0"
Drawn by	Author
Checked by	Checker



① TYPICAL STEM WALL @ SLAB
1/2" = 1'-0"



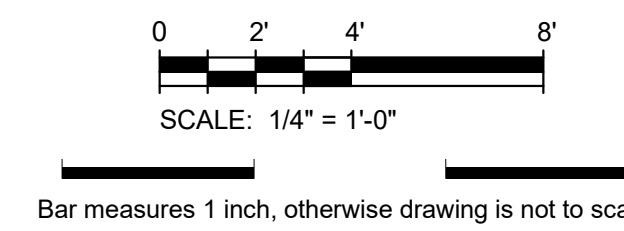
② BUILDING CROSS-SECTION
1/4" = 1'-0"

Project Phase

Project Status

DESIGN SET ONLY	<input checked="" type="checkbox"/>
NOT FOR CONSTRUCTION	<input checked="" type="checkbox"/>
RELEASED FOR CONSTRUCTION	<input type="checkbox"/>
RECORD DRAWING	<input type="checkbox"/>

Sheet Scales



Project number	Project Number
Project Date	Issue Date

PRINT DATE 6/25/2023 8:50:21 PM

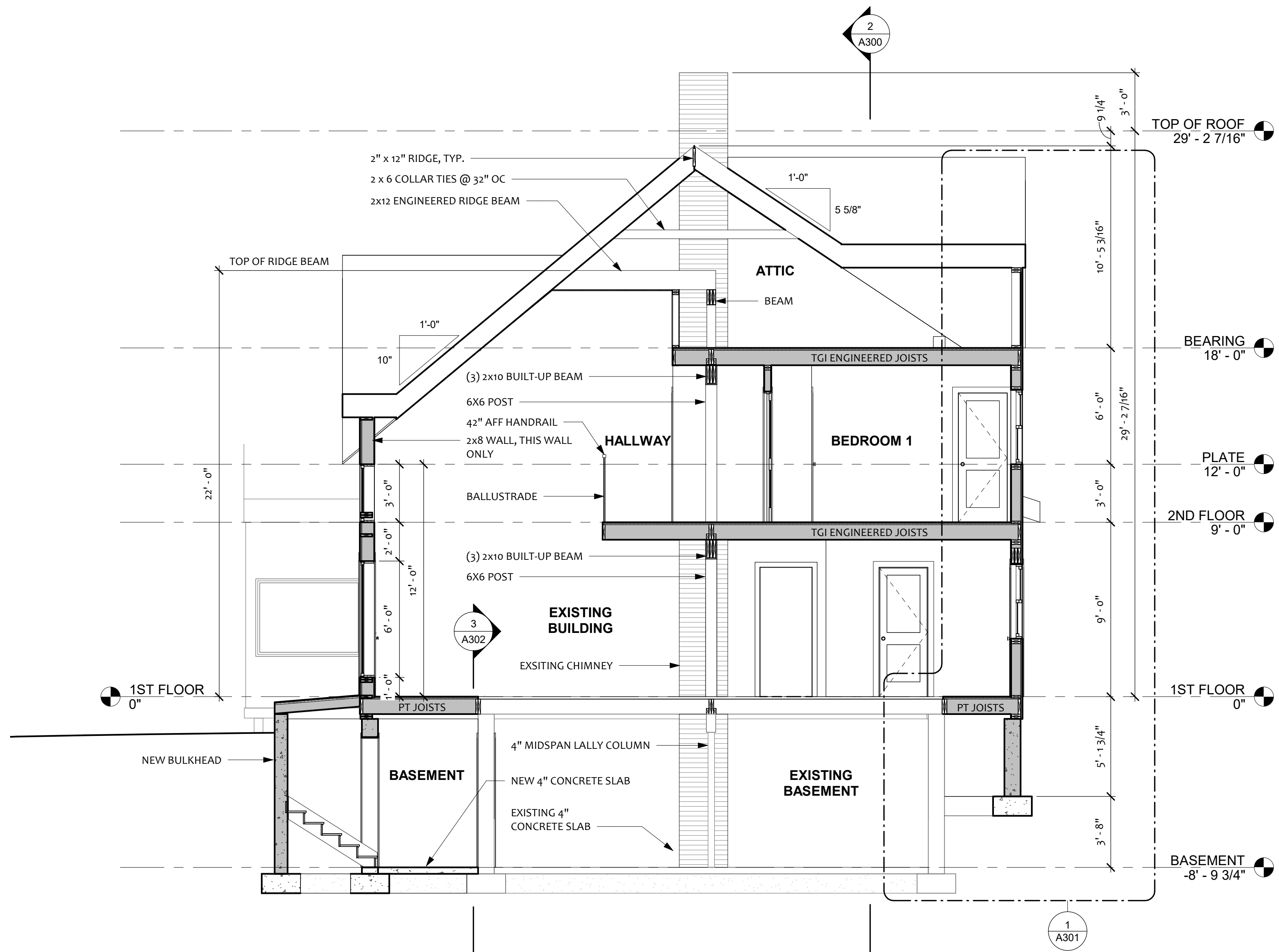
SETS & REVISIONS		
No.	Description	Date

Jim & Jen Hardy
Hardy Residence
6 Second Street, Winchendon,
MA 01475

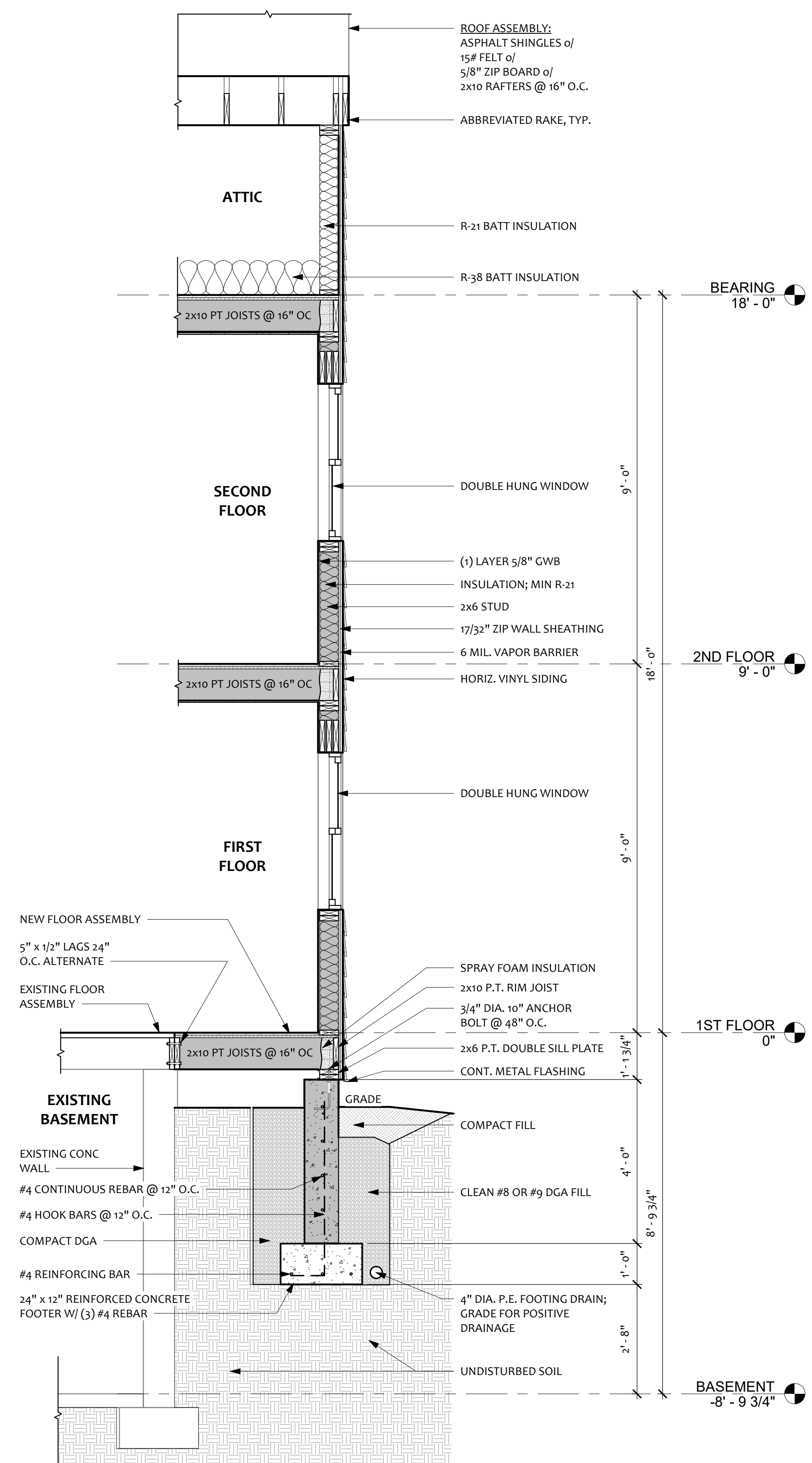
Building Sections

A300

Scale	As indicated
Drawn by	Author
Checked by	Checker



③ BUILDING SECTION @ NEW CONSTRUCTION
1/4" = 1'-0"

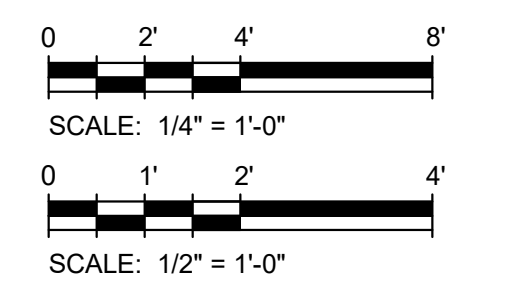


① WALL SECTION @ NEW CONSTRUCTION
1/2" = 1'-0"

Project Phase
Project Status

DESIGN SET ONLY	<input checked="" type="checkbox"/>
NOT FOR CONSTRUCTION	<input checked="" type="checkbox"/>
RELEASED FOR CONSTRUCTION	<input type="checkbox"/>
RECORD DRAWING	<input type="checkbox"/>

Sheet Scales



Bar measures 1 inch, otherwise drawing is not to scale

Project number
Project Number

Project Date
Issue Date

PRINT DATE
6/25/2023 8:50:22 PM

SETS & REVISIONS

No.	Description	Date

Jim & Jen Hardy
Hardy Residence
6 Second Street, Winchendon,
MA 01475

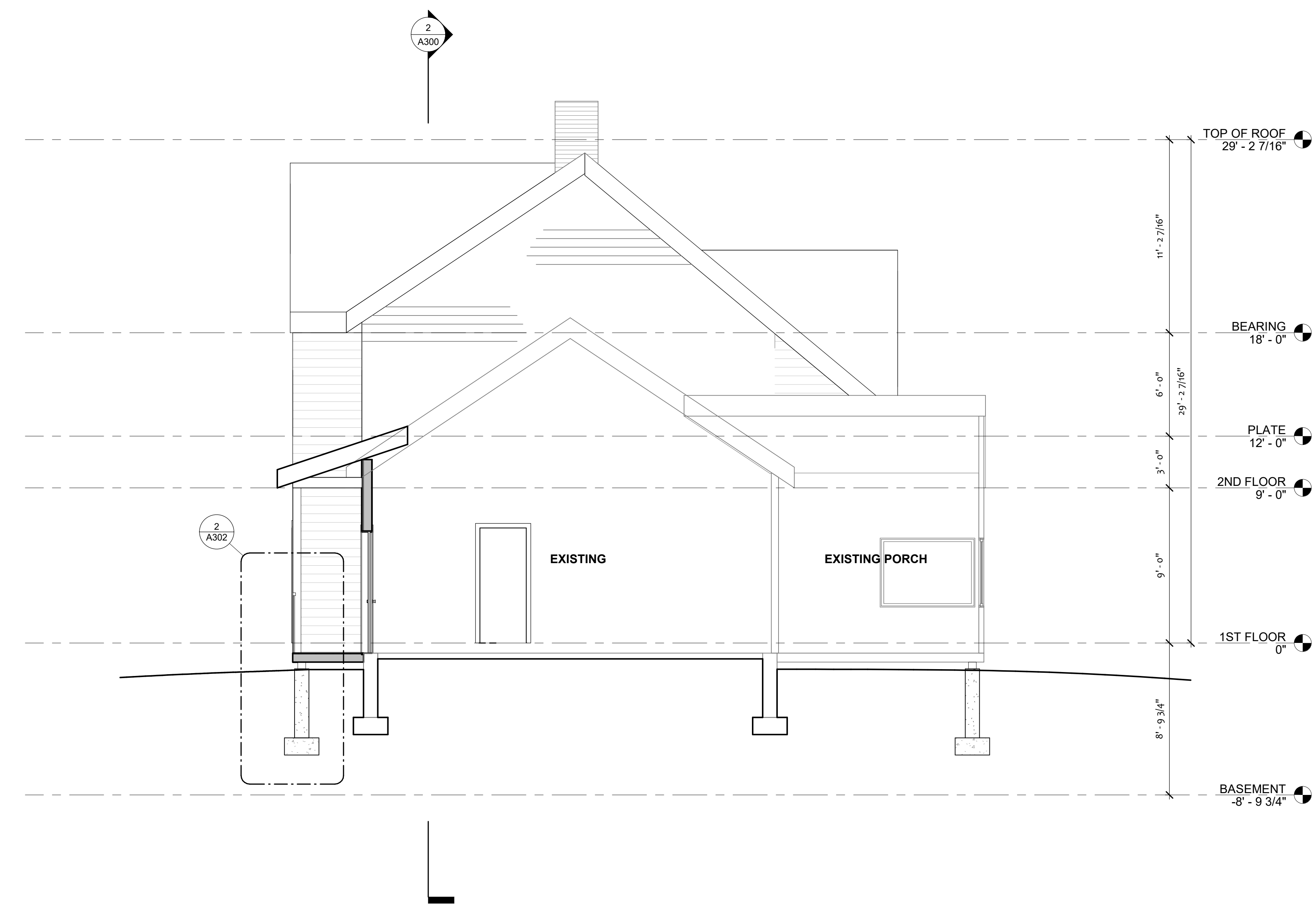
Building Sections

A301

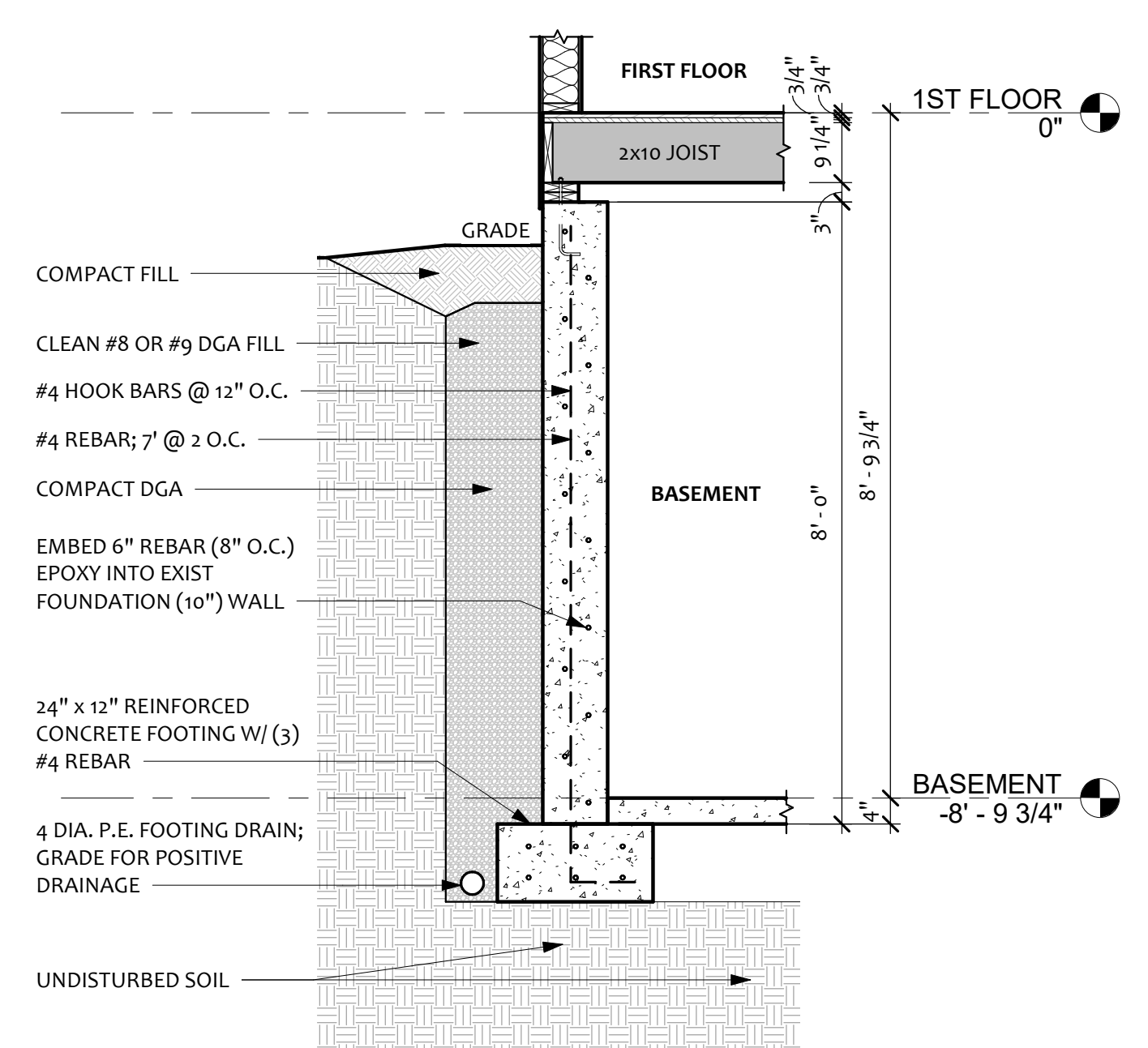
Scale
As indicated

Drawn by
Author

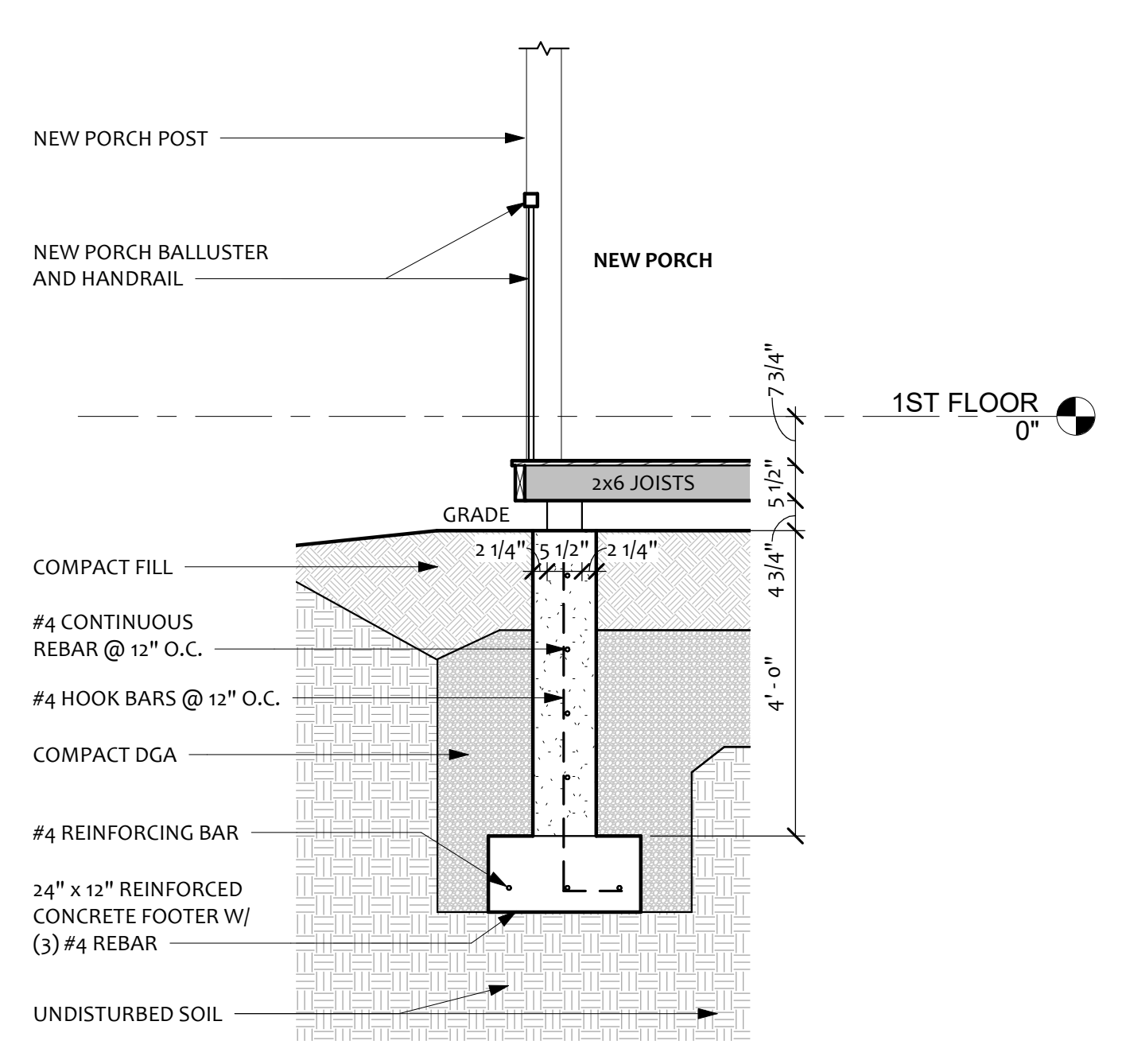
Checked by
Checker



1 BUILDING SECTION @ NEW PORCH
1/4" = 1'-0"



3 TYPICAL NEW FOUNDATION WALL
1/2" = 1'-0"

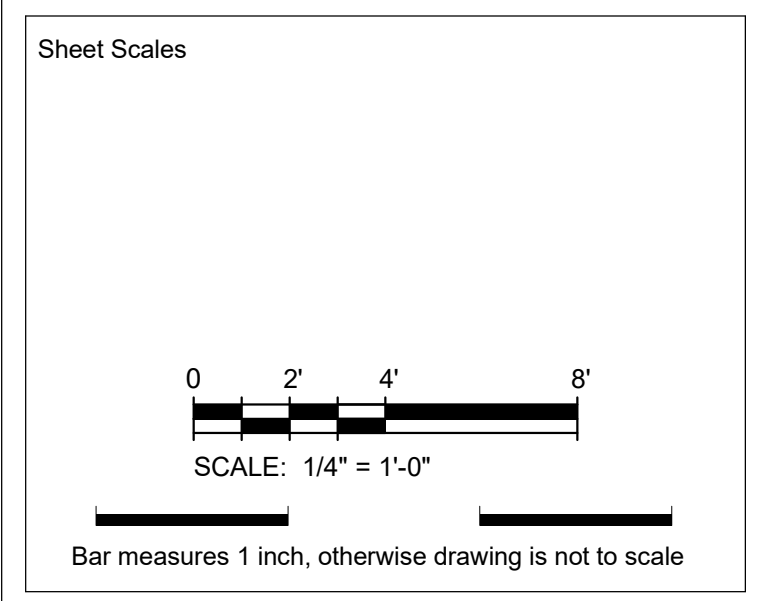


2 TYPICAL PIER
1/2" = 1'-0"

Project Phase

Project Status

DESIGN SET ONLY	<input checked="" type="checkbox"/>
NOT FOR CONSTRUCTION	<input checked="" type="checkbox"/>
RELEASED FOR CONSTRUCTION	<input type="checkbox"/>
RECORD DRAWING	<input type="checkbox"/>



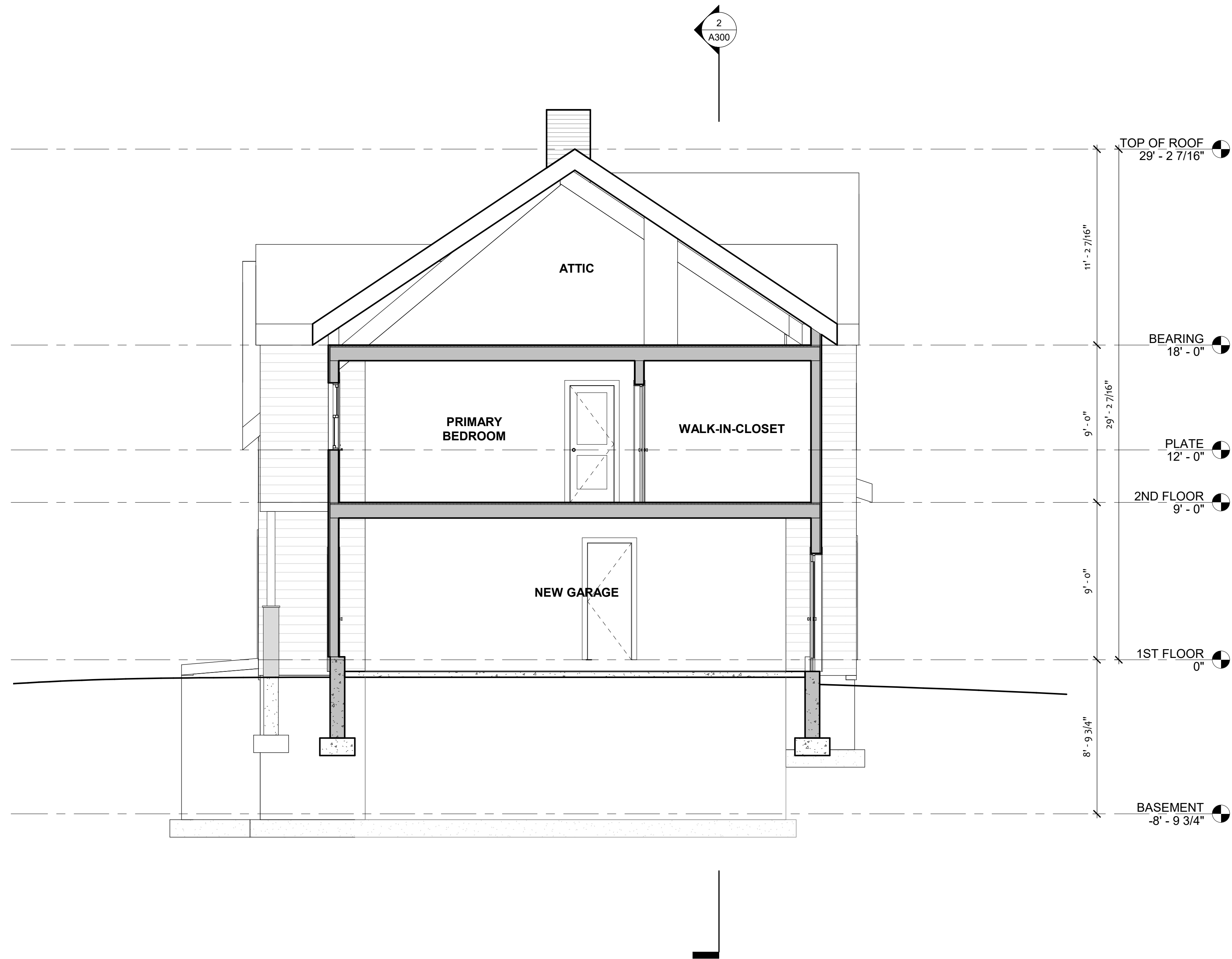
Project number	Project Number	
Project Date	Issue Date	
PRINT DATE	6/25/2023 8:50:23 PM	
SETS & REVISIONS		
No.	Description	Date

Jim & Jen Hardy
Hardy Residence
6 Second Street, Winchendon,
MA 01475

Building Sections

A302

Scale As indicated
Drawn by Author
Checked by Checker



① Section 4
1/4" = 1'-0"

Project Status	
DESIGN SET ONLY	<input checked="" type="checkbox"/>
NOT FOR CONSTRUCTION	<input checked="" type="checkbox"/>
RELEASED FOR CONSTRUCTION	<input type="checkbox"/>
RECORD DRAWING	<input type="checkbox"/>

Sheet Scales

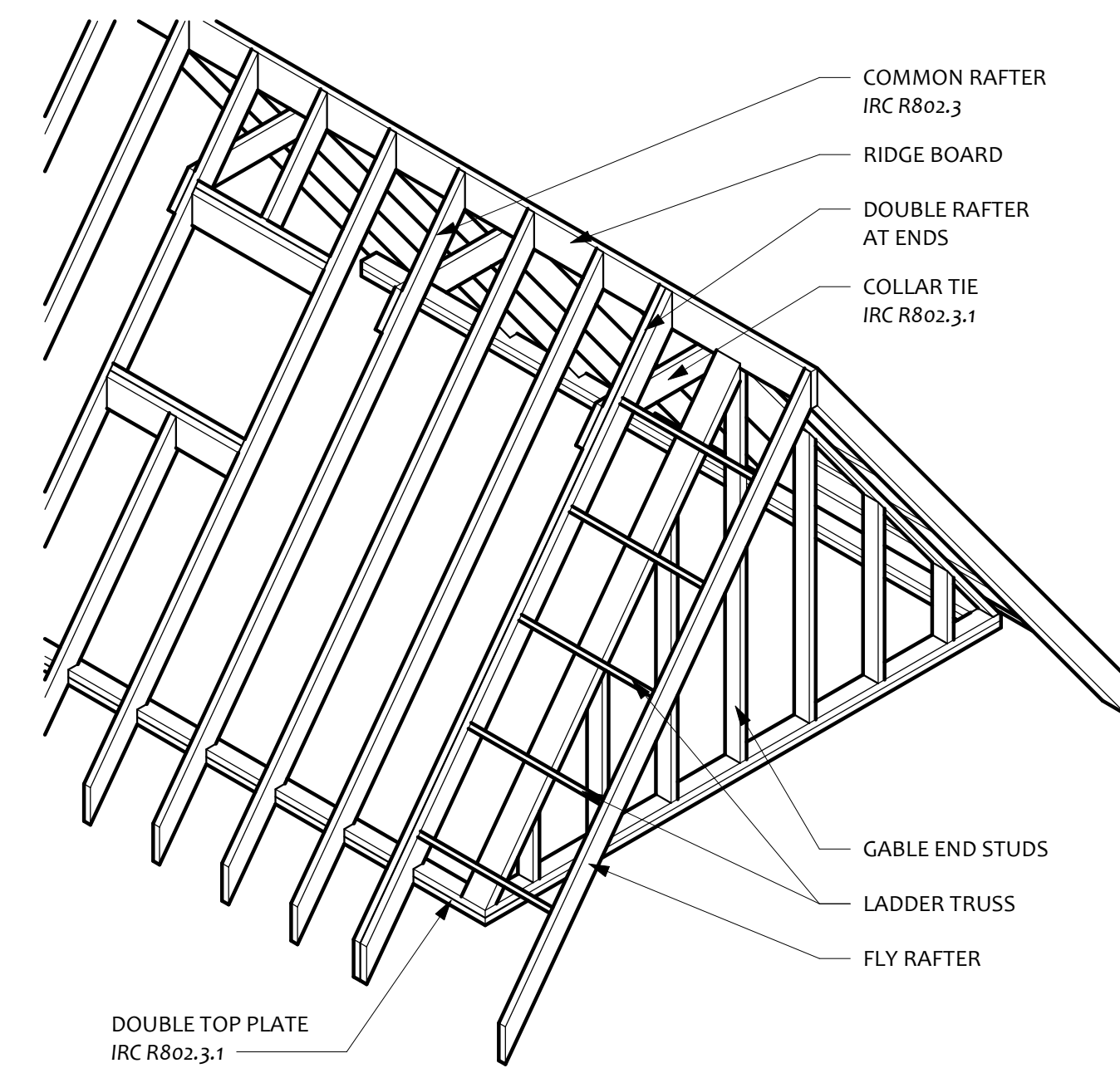
Project number	Project Number	
Project Date	Issue Date	
PRINT DATE	6/25/2023 8:50:23 PM	
SETS & REVISIONS		
No.	Description	Date

Jim & Jen Hardy
Hardy Residence
6 Second Street, Winchendon,
MA 01475

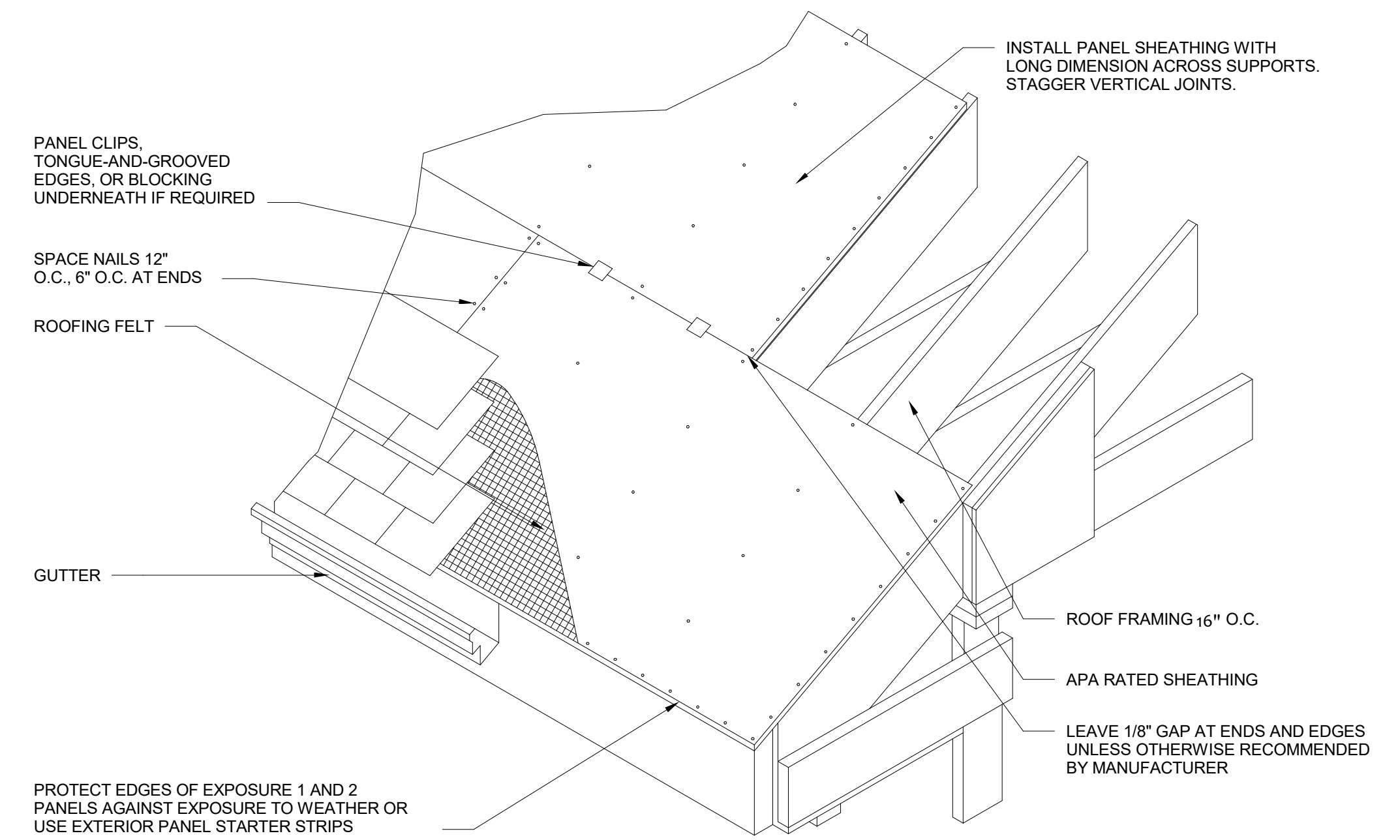
Building Sections

A303

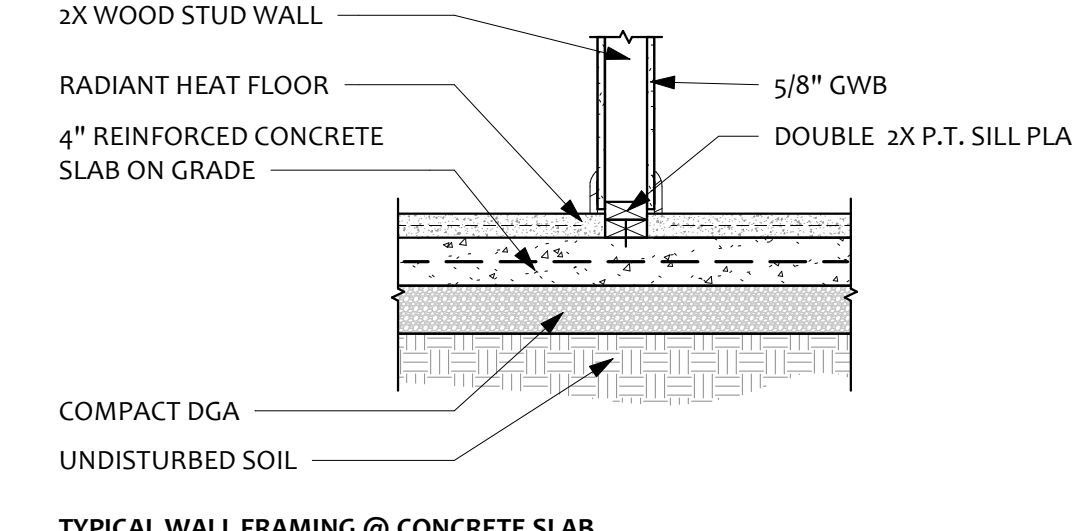
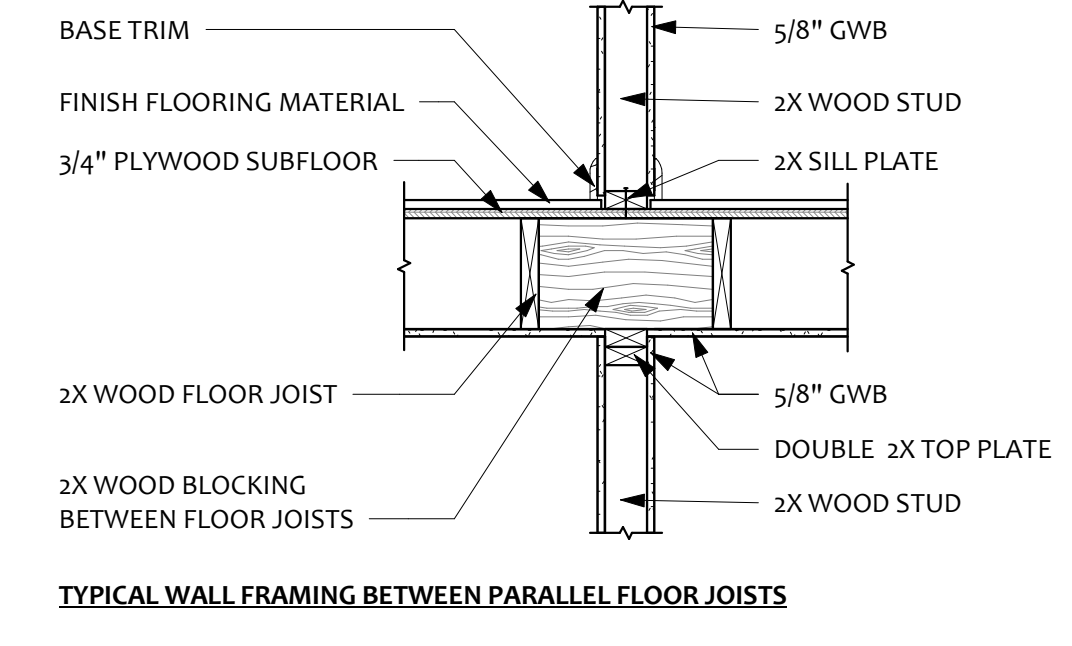
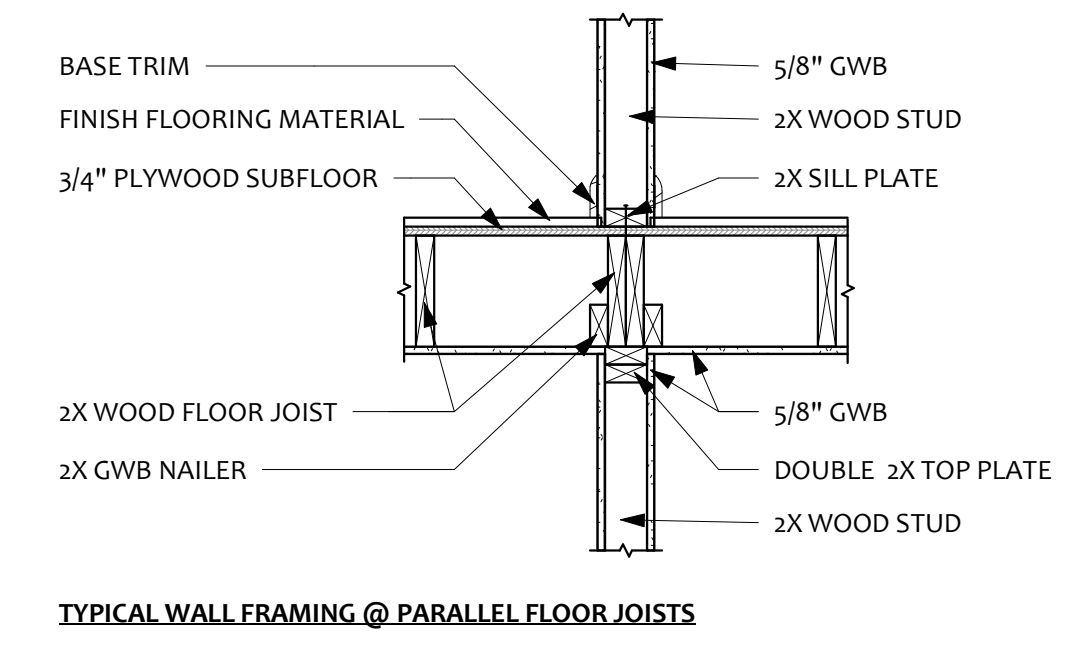
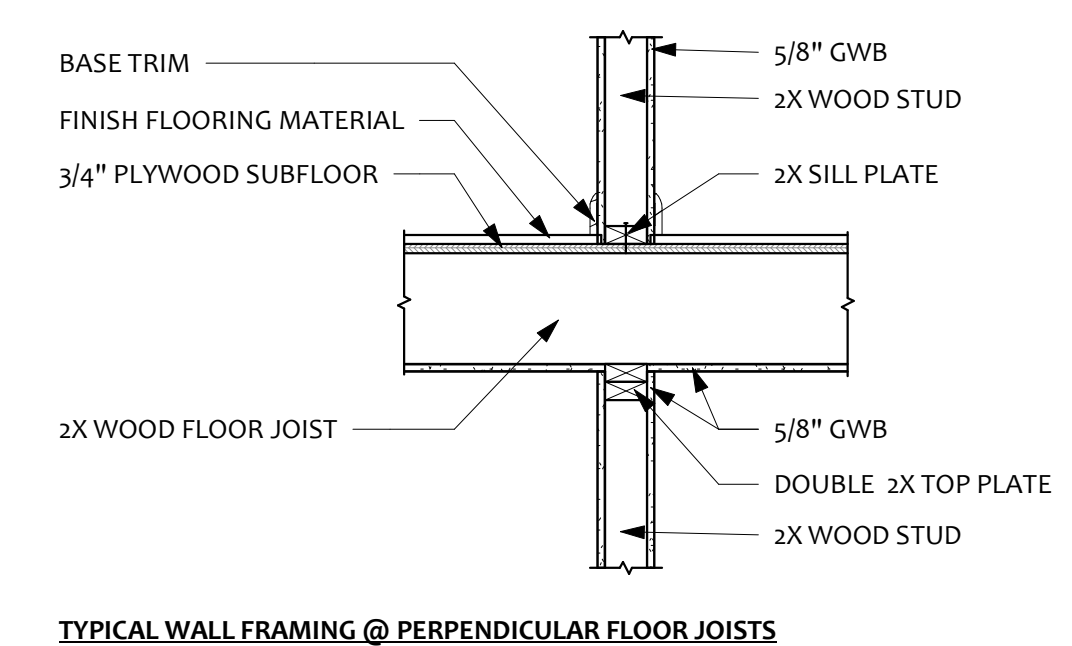
Scale	1/4" = 1'-0"
Drawn by	Author
Checked by	Checker



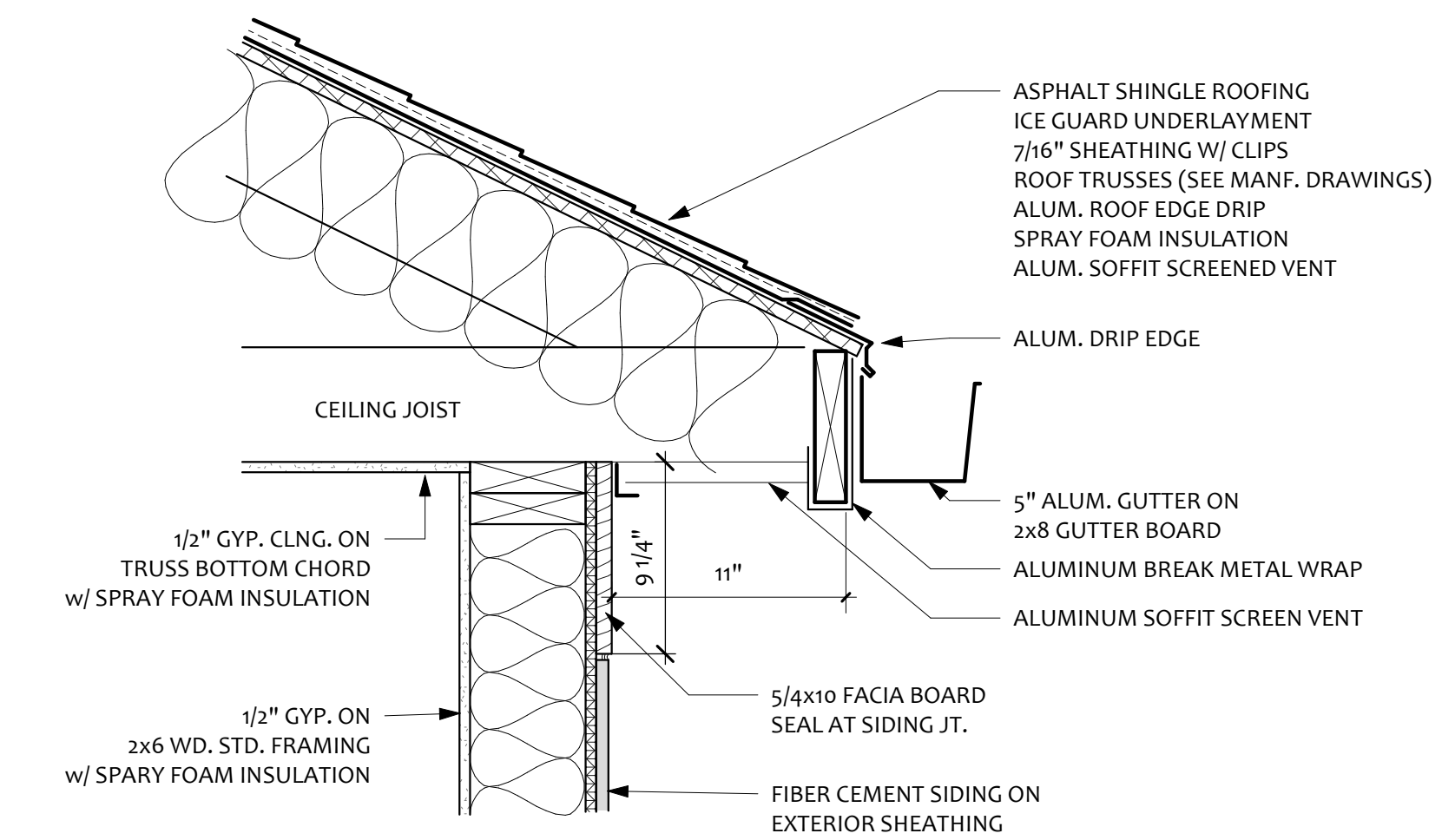
1 GABLE ROOF OVERHANG FRAMING
N.T.S.



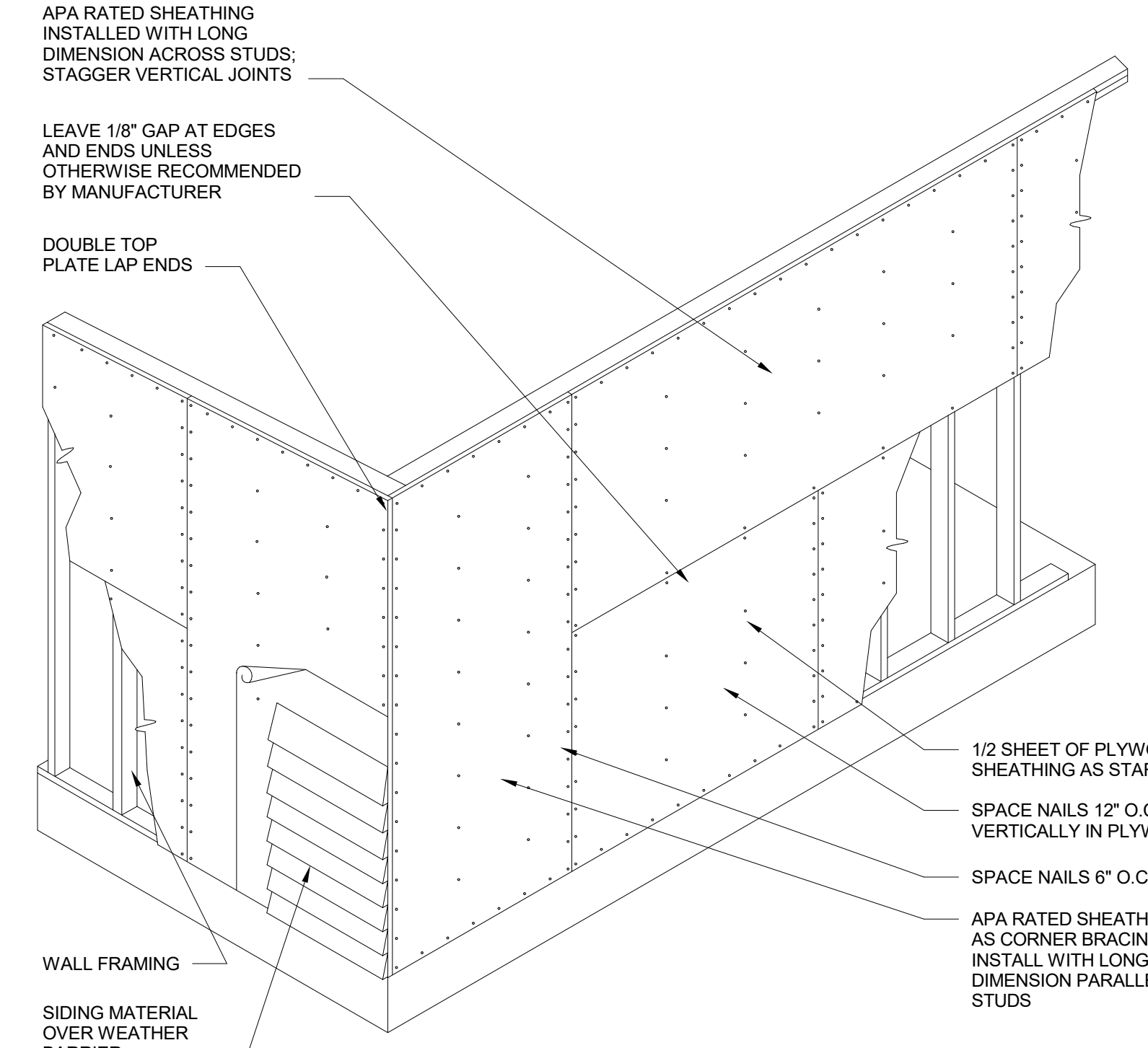
2 STRUCTURAL ROOF SHEATHING
N.T.S.



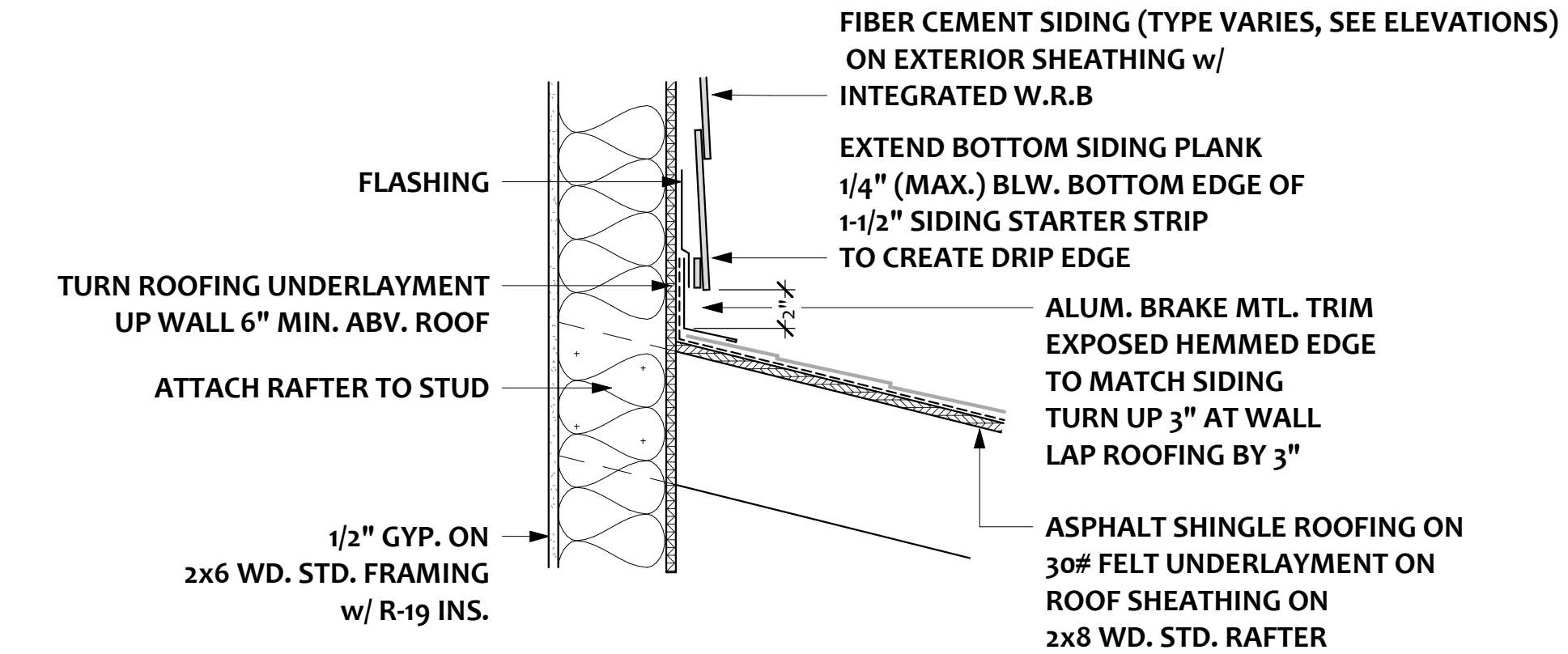
6 WALL TO FLOOR TYPICAL FRAMING DETAILS
3/4" = 1'-0"



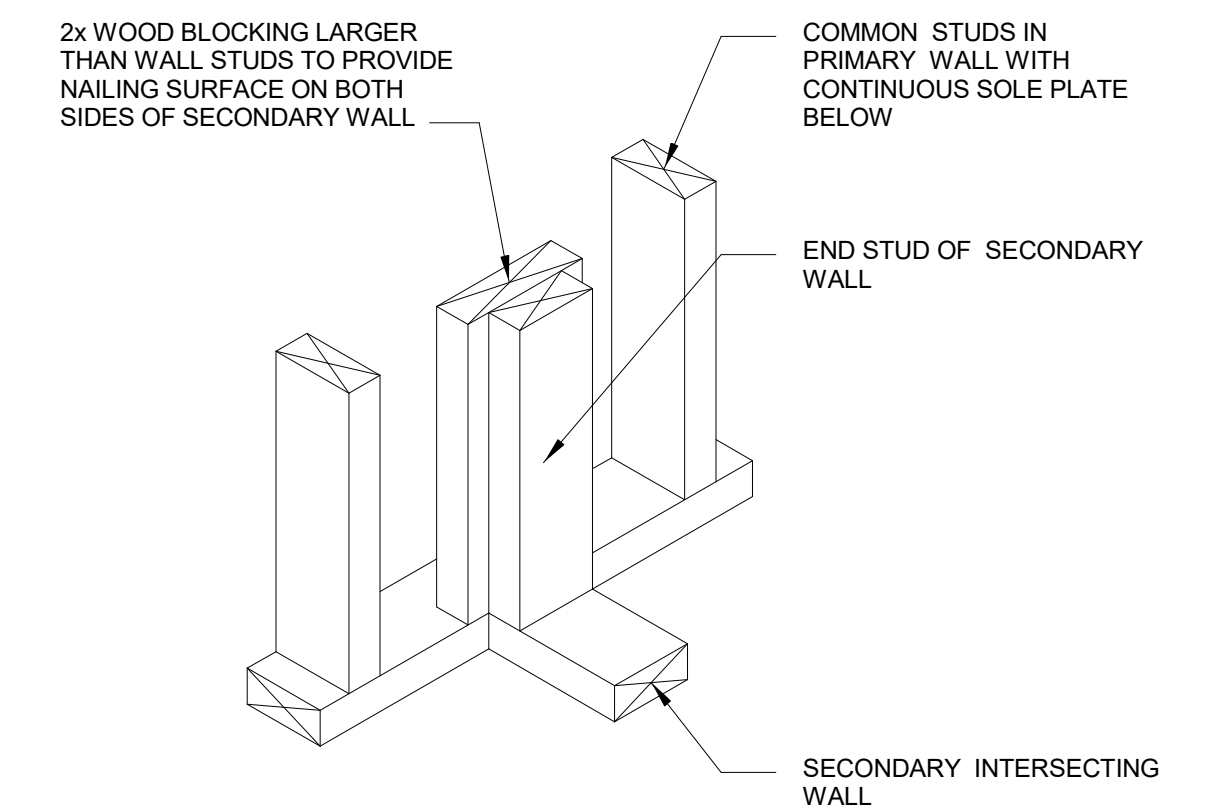
3 TRUSS EAVE
1 1/2" = 1'-0"



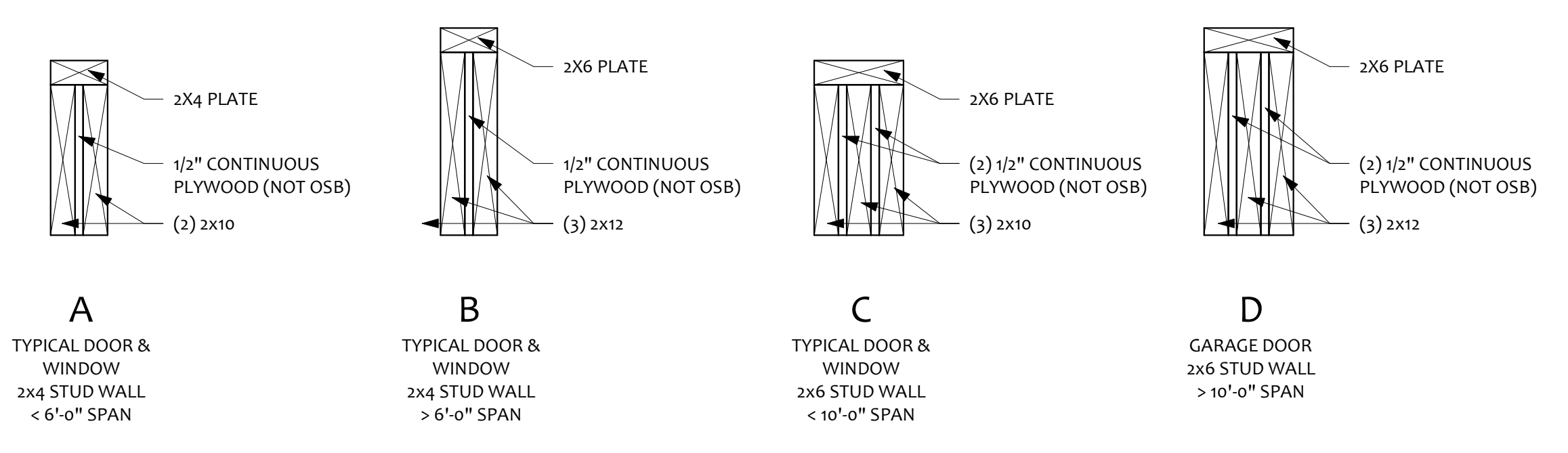
4 STRUCTURAL WALL SHEATHING
N.T.S.



6 ROOF TO WALL DETAIL
1 1/2" = 1'-0"



7 INTERSECTING WALLS WITH BLOCKING
N.T.S.

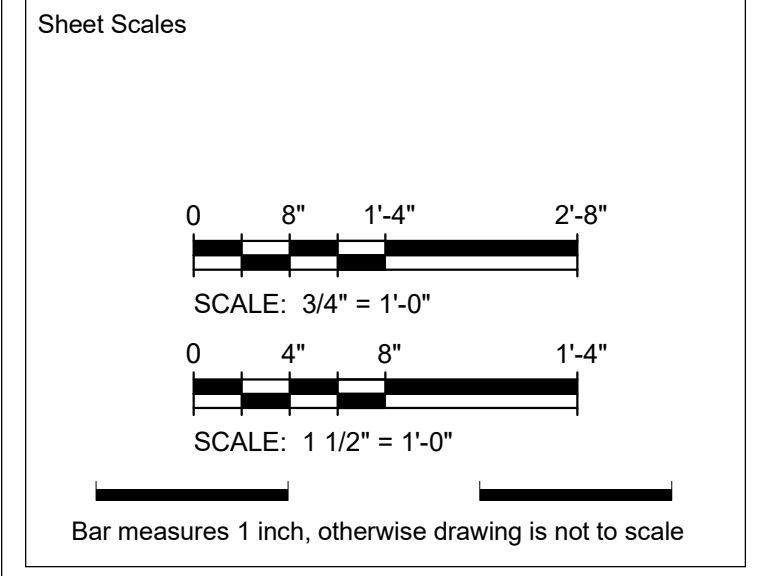


8 TYPICAL HEADER
1 1/2" = 1'-0"

Project Phase

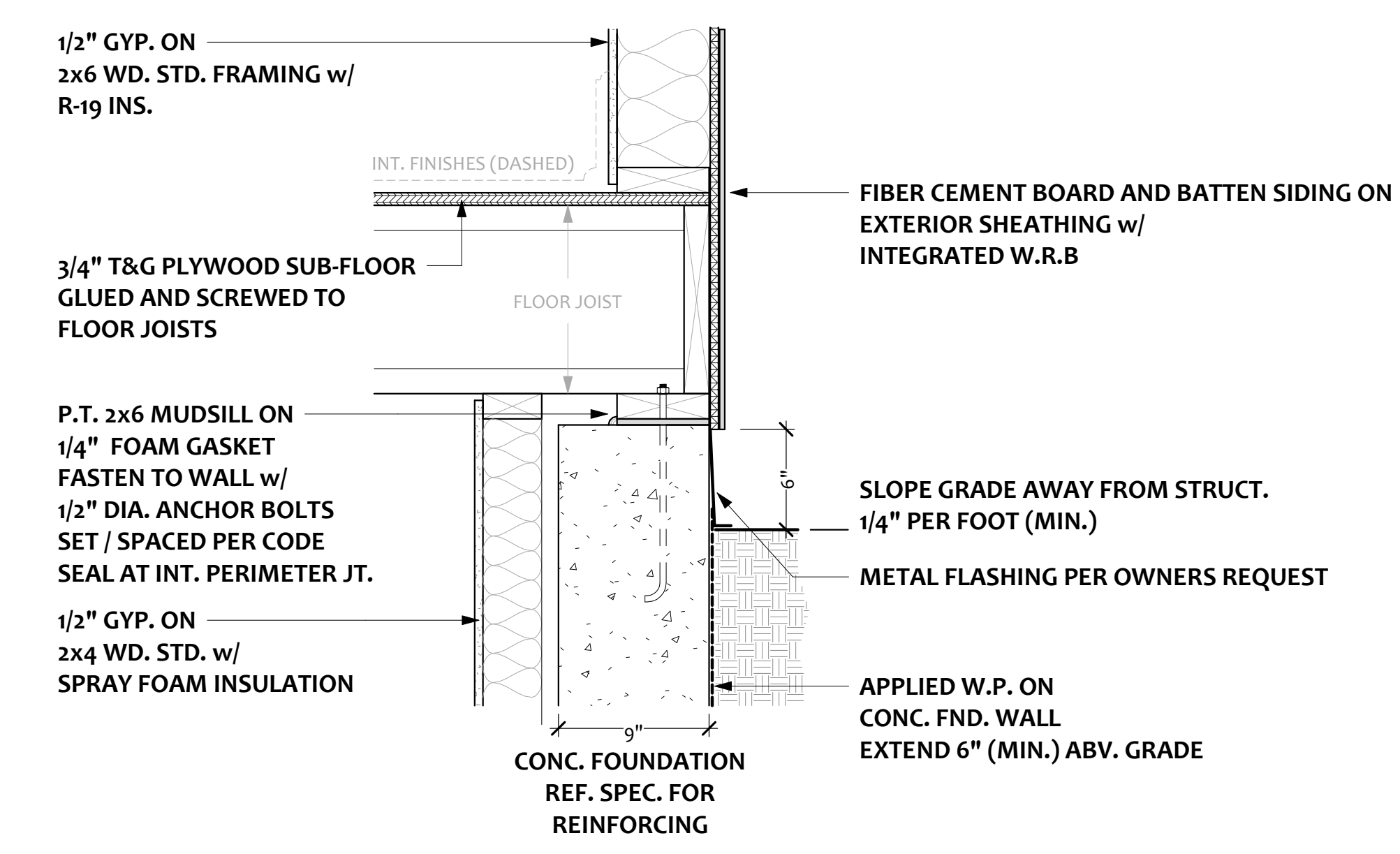
Project Status

DESIGN SET ONLY	<input type="checkbox"/>
NOT FOR CONSTRUCTION	<input checked="" type="checkbox"/>
RELEASED FOR CONSTRUCTION	<input type="checkbox"/>
RECORD DRAWING	<input type="checkbox"/>

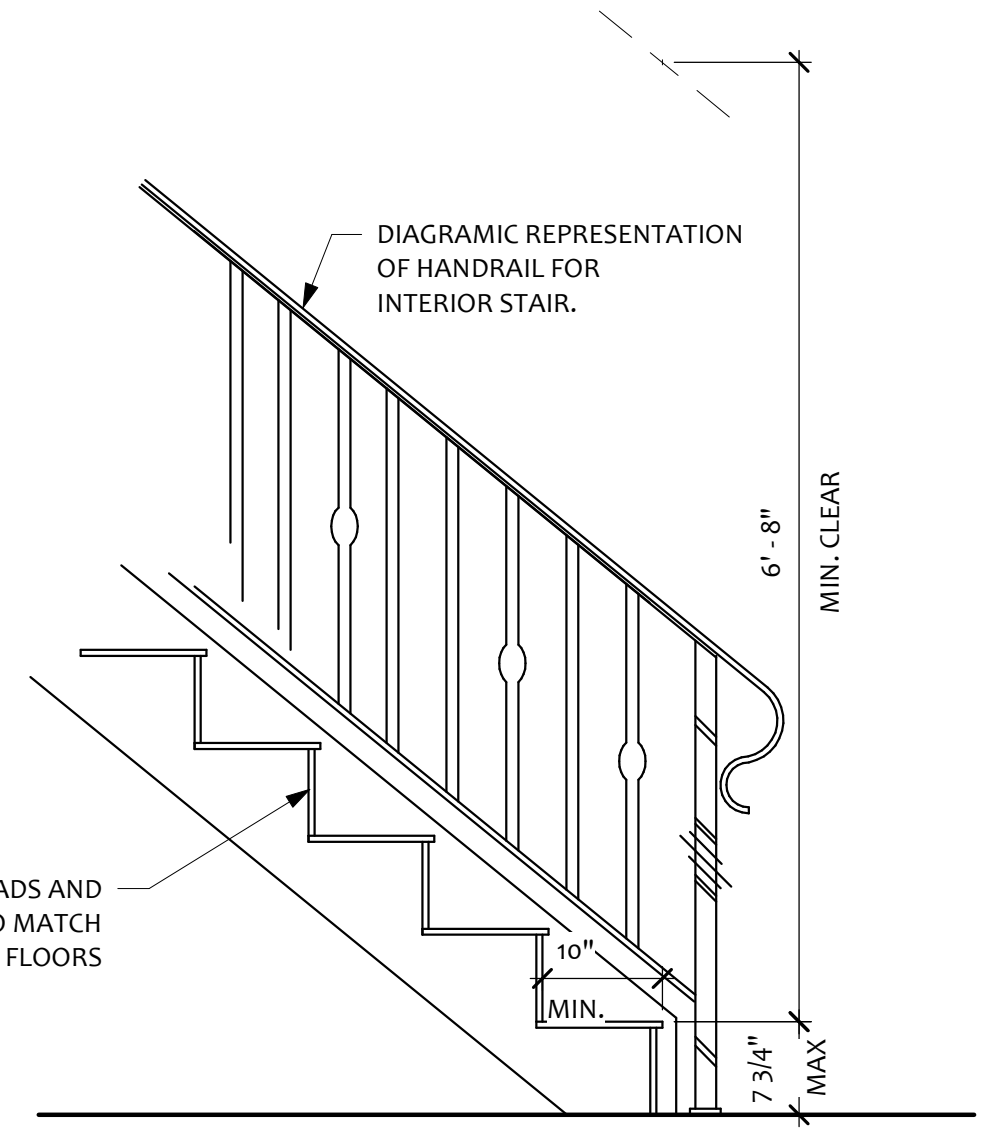


Project number	Project Number	
Project Date	Issue Date	
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SETS & REVISIONS		
No.	Description	Date

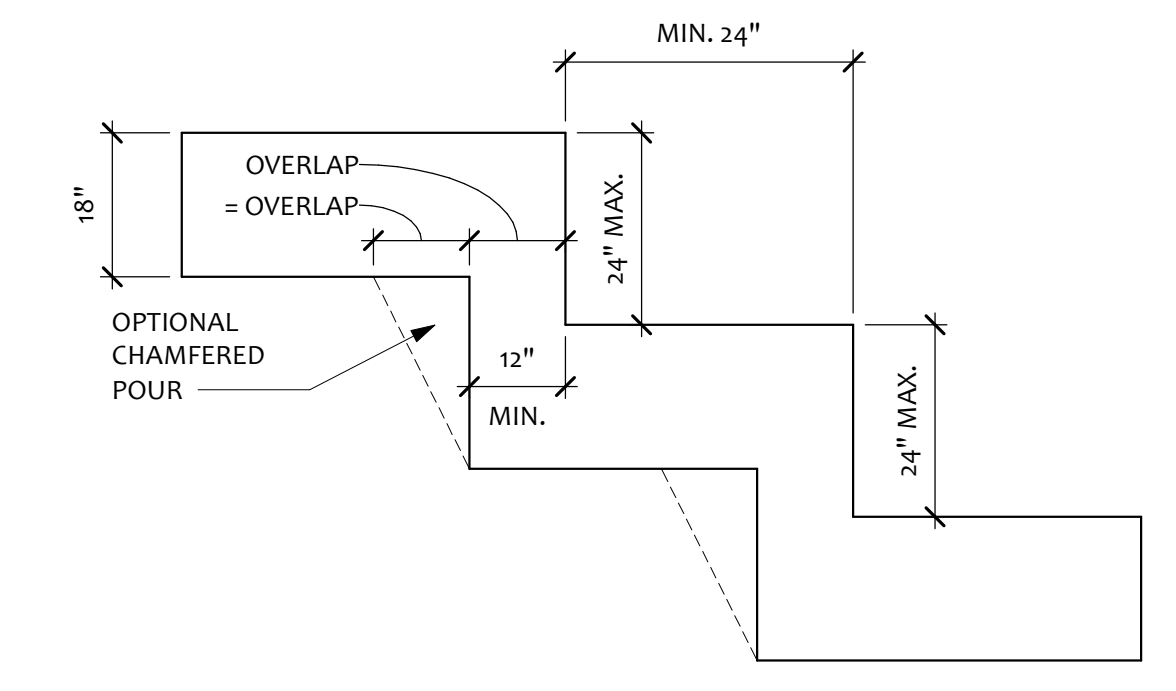
Jim & Jen Hardy
 Hardy Residence
 6 Second Street, Winchendon,
 MA 01475
 Details
A501
 Scale As indicated
 Drawn by JPM
 Checked by JPM



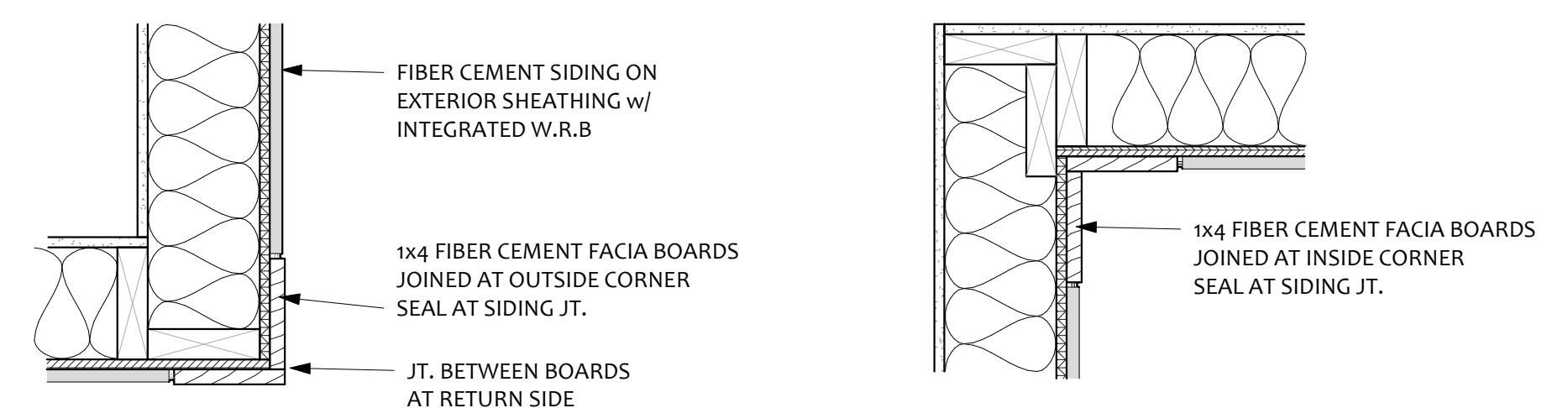
④ EXT. WALL AT GRADE
 1 1/2" = 1'-0"



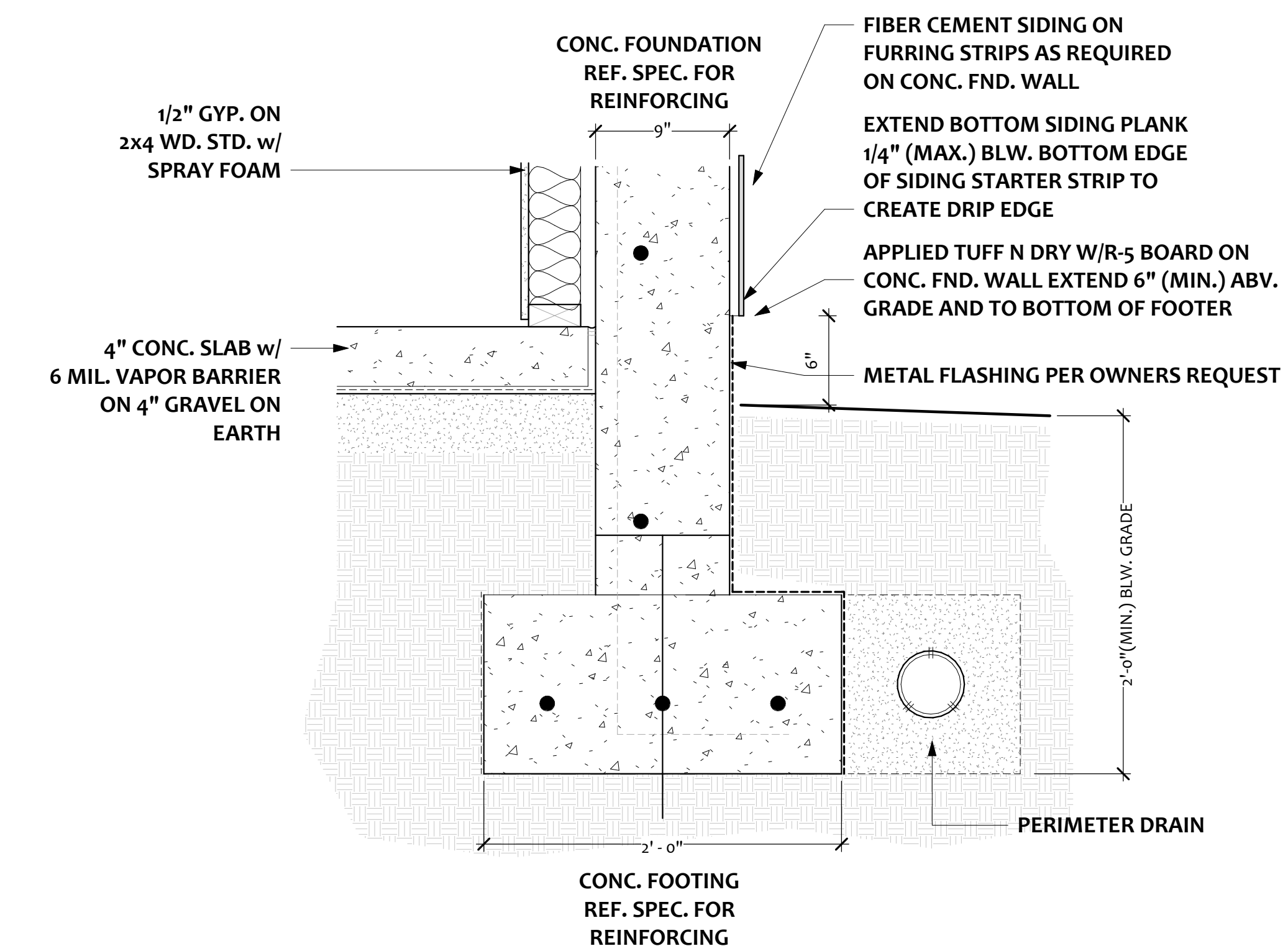
⑤ STAIR DETAIL
 3/4" = 1'-0"



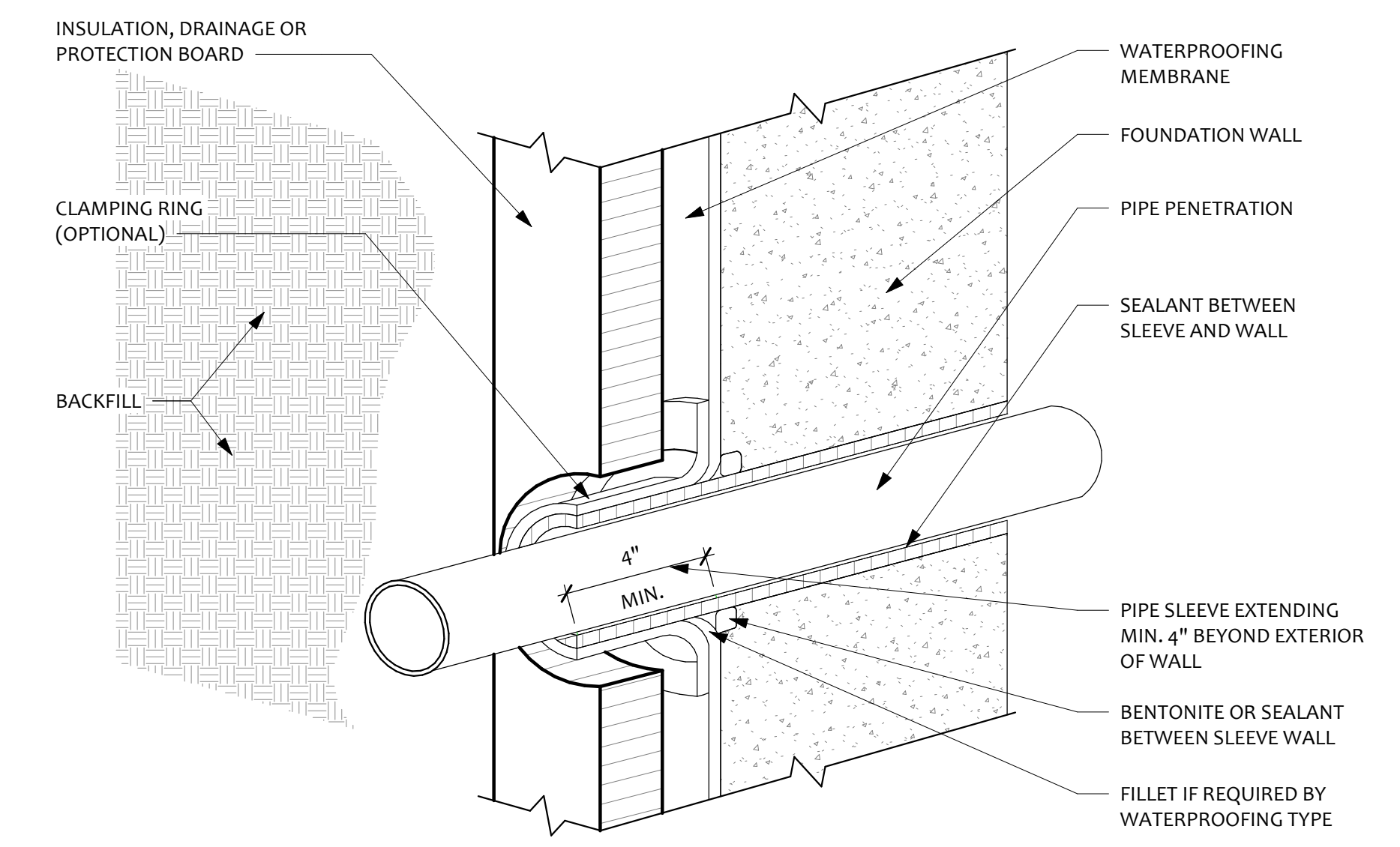
⑦ TYPICAL FOUNDATION STEP DETAIL
 1/2" = 1'-0"



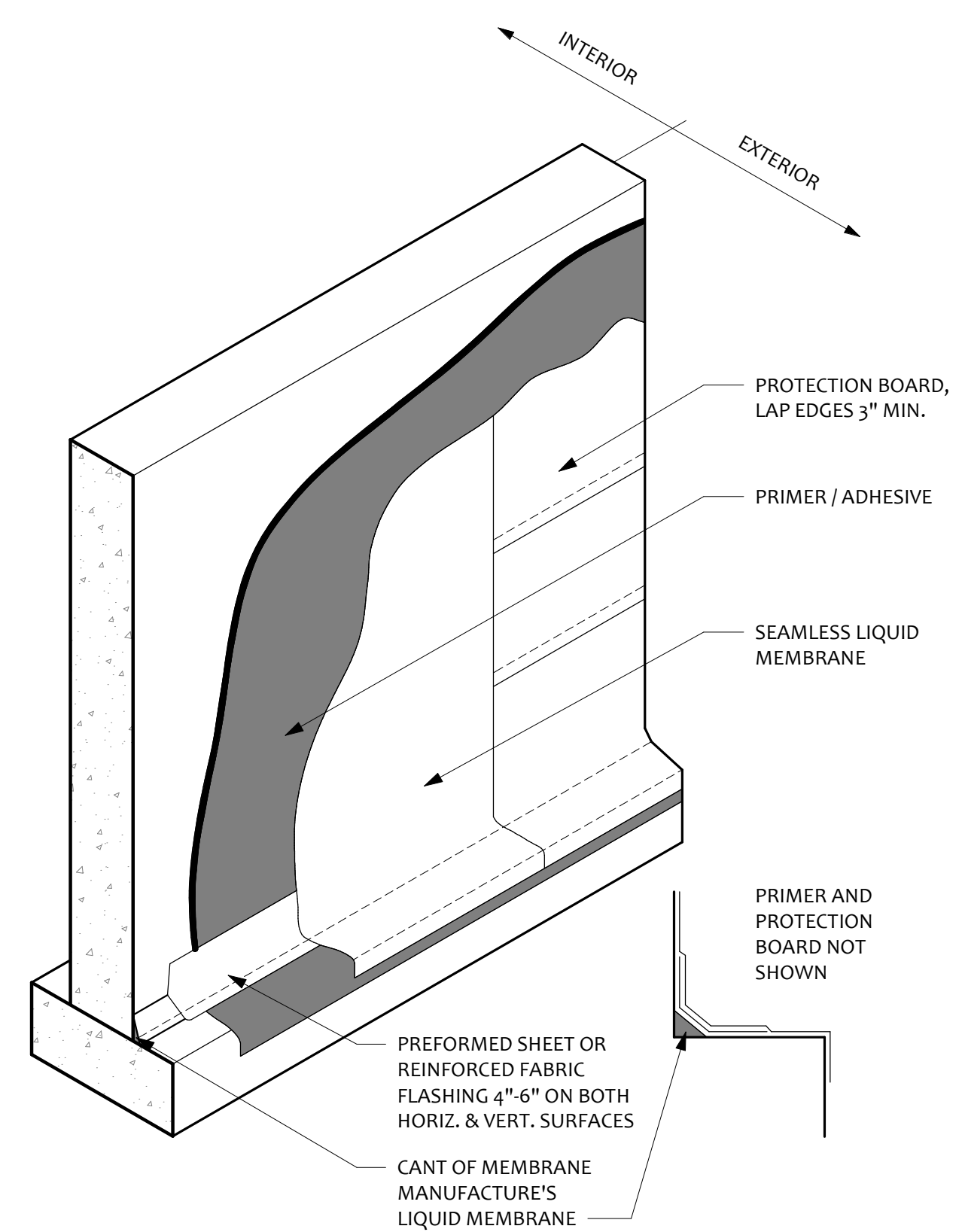
⑥ TYP. CORNERS
 1 1/2" = 1'-0"



① FOUNDATION FOOTER
 1 1/2" = 1'-0"



② FOUNDATION PENETRATION DETAIL
 N.T.S.

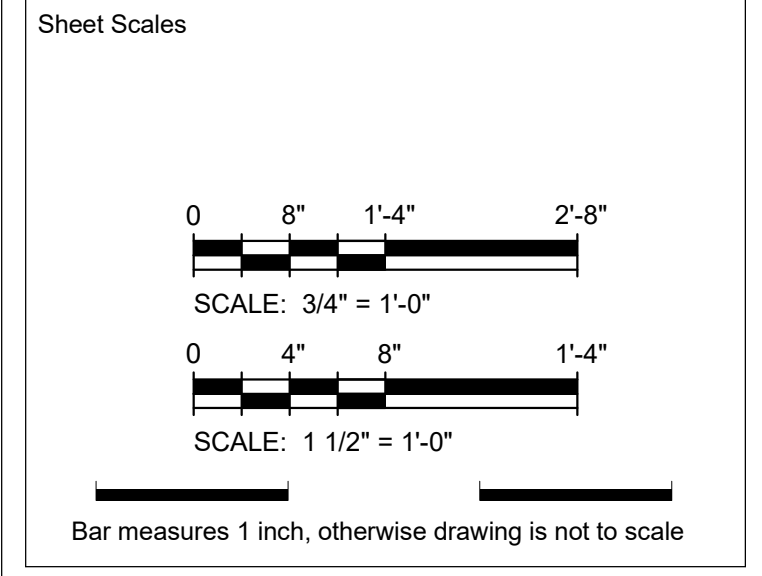


③ LIQUID APPLIED WATERPROOFING
 3/4" = 1'-0"

Project Phase

Project Status

DESIGN SET ONLY	<input checked="" type="checkbox"/>
NOT FOR CONSTRUCTION	<input checked="" type="checkbox"/>
RELEASED FOR CONSTRUCTION	<input type="checkbox"/>
RECORD DRAWING	<input type="checkbox"/>



Project number	Project Number	
Project Date	Issue Date	
PRINT DATE	6/25/2023 8:50:24 PM	
SETS & REVISIONS		
No.	Description	Date

Jim & Jen Hardy
 Hardy Residence
 6 Second Street, Winchendon,
 MA 01475

Details

A502

Scale	As indicated
Drawn by	JPM
Checked by	JPM