# Jim & Jen Hardy Hardy Residence

6 Second Street, Winchendon, MA 01475



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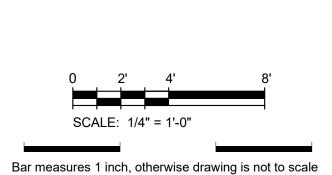
A501 Details

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6/25/2023 8:50:24 PM SETS & REVISIONS Description

Jim & Jen Hardy

Hardy Residence

6 Second Street, Winchendon, MA 01475

**Cover Sheet** 

G001

Drawn by Checked by

### **GENERAL STRUCTURAL NOTES:**

- 1. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH THE SPECIFICATIONS AND OTHER PROJECT DRAWINGS BY OTHER DISCIPLINES. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE CODES LISTED BELOW. 2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ELEVATIONS RELATING TO
- EXISTING CONDITIONS BY MAKING FIELD SURVEYS AND MEASUREMENTS PRIOR TO COMMENCING FABRICATION OR CONSTRUCTION.
- 3. THE GENERAL CONTRACTOR SHALL ENSURE THAT ALL CONSTRUCTION METHODS USED SHALL NOT CAUSE DAMAGE TO ADJACENT BUILDINGS, UTILITIES, OR OTHER PROPERTY. THIS REQUIREMENT IS PARTICULARLY IMPORTANT DURING FOUNDATION INSTALLATION.
- 4. THE GENERAL CONTRACTOR IS ADVISED TO CONSIDER PERFORMING PHOTOGRAPHIC SURVEYS AND OTHER DOCUMENTATION OF THE CONDITION OF ADJACENT BUILDINGS AND OTHER STRUCTURES BEFORE THE START OF
- 5. THE GENERAL CONTRACTOR SHALL OBTAIN COPIES OF THE LATEST CONTRACT DOCUMENTS, INCLUDING ALL ADDENDA, AND PROVIDE THE RELEVANT PORTIONS TO ALL SUB-CONTRACTORS AND SUPPLIERS PRIOR TO SUBMITTAL OF SHOP DRAWINGS AND FABRICATION AND ERECTION OF STRUCTURAL MEMBERS.
- 6. THE GENERAL CONTRACTOR SHALL COMPARE AND COORDINATE THE DRAWINGS OF ALL DISCIPLINES AND REPORT ANY DISCREPANCIES BETWEEN THE DRAWINGS TO THE ARCHITECT AND ENGINEER.
- 7. DETAILS LABELED "TYPICAL" SHALL APPLY TO ALL SITUATIONS THAT ARE THE SAME OR SIMILAR TO THOSE SPECIFICALLY DETAILED. SEE DETAIL TITLES FOR APPLICABILITY OF A PARTICULAR DETAIL. TYPICAL DETAILS SHALL APPLY WHETHER OR NOT THEY ARE SPECIFICALLY KEYED AT EACH LOCATION. THE ENGINEER SHALL HAVE FINAL AUTHORITY TO DETERMINE APPLICABILITY OF TYPICAL DETAILS.
- 8. WHERE CONFLICTS EXIST BETWEEN STRUCTURAL DOCUMENTS THE STRICTEST REQUIREMENTS, AS INDICATED BY THE STRUCTURAL ENGINEER SHALL GOVERN. 9. THE GENERAL CONTRACTOR SHALL REVIEW AND DETERMINE THAT DIMENSIONS
- ARE COORDINATED BETWEEN ARCHITECTURAL AND STRUCTURAL DRAWINGS PRIOR TO FABRICATION OR START OF CONSTRUCTION.
- 10. NO STRUCTURAL MEMBER SHALL BE CUT OR NOTCHED OR OTHERWISE REDUCED IN STRENGTH UNLESS APPROVED BY THE STRUCTURAL ENGINEER.
- 11. THE GENERAL CONTRACTOR SHALL COORDINATE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND PLUMBING DRAWINGS FOR ANCHORED, EMBEDDED OR SUPPORTED ITEMS. NOTIFY THE ARCHITECT / ENGINEER OF ANY DISCREPANCIES

### **EXTERIOR DECK AND STAIRS NOTES:**

- 1. ALL LUMBERS SHALL BE IDENTIFIED BY THE GRADE MARKS OF, OR CERTIFICATION OF INSPECTION ISSUED BY, AN APPROVED LUMBER GRADING OR INSPECTION BUREAU AGENCY.
- 2. ALL WOOD FOR SCREENED IN PORCH, UPPER PORCHES AND STAIRS TO BE PRESSURE TREATED WITH APPROVED PROCESS AND PRESERVATION IN ACCORD ANCE WITH AMERICAN WOOD ASSOCIATION STANDARDS.
- 3. ALL NAILS SHALL MEET REQUIREMENTS OF ASTMF1667. WOOD SCREWS SHALL MEET THE REQUIREMENTS OF ANSI/ASME B186.1.
- 4. BOLTS AND LAG SCREWS SHALL MEET THE REQUIREMENTS OF ANSI/ASME B182.1. 5. ALL SCREWS, BOLTS AND NAILS FOR USE WITH TREATED WOOD SHALL BE HOT
- DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZED OR COPPER FASTENERS TO BE HOT-DIPPED GALVANIZED SHALL MEET THE REQUIREMENTS OF ASTM A153, STANDARD.
- 6. SPECIFICATIONS FOR ZINC COATING (HOT-DIP) ON IRON STEEL HARDWARE, CLASS D FOR FASTENERS 3/8" DIAMETER OR SMALLER OR CLASS C FOR FASTENERS WITH
- 7. ALL HARDWARE (JOIST HANGERS, POST ANCHORS, ETC) SHALL BE GALVANIZED OR STAINLESS STEEL. HARDWARE TP BE HOT DIPPED PRIOR TO FABRICATION SHALL MEET ASTM A653
- 8. FLASHING SHALL BE CORROSION-RESISTANT METAL OF MINIMUM NOMINAL .0019-INCH THICKNESS OR APPROVED NON METALLIC MATERIAL. ALUMINUM SHALL NOT BE USED IN DIRECT CONTACT WITH LUMBER TREATED WITH PRESERVATIVES THAT CONTAIN COPPER SUCH AS ACQ, COPPER AZOLE OR ACZA.
- g. ALL LUMBER SHALL BE IDENTIFIED BY THE GRADE MARK OF, OR CERTIFICATE OF INSPECTION BY THE GRADE MARK OF, OR CERTIFICATION OF INSPECTION ISSUED BY, AN APPROVED LUMBER LEDGER LEAD ANCHORS ARE PROHIBITED.
- 10. THRU-BOLTS SHALL HAVE A DIAMETER OF 1/2" PILOT HOLES FOR THRU BOLTS SHALL BE 16/32" IN DIAMETER THRU-BOLTS REQUIRE WASHERS AT THE BOLT HEAD AND

# **DECKING REQUIREMENT:**

ATTACHED DECKING TO EACH JOIST W/(2) 8d TREATED NAILS OR (2)\*8 SCREWS. SPACE DECKING BOARDS APPROXIMATELY 1/8"APART. IF DECKING IS INSTALLED @ 45° TO THE JOISTS EACH SEGMENT OF DECKING MUST BEAR IN A MINIMUM OF (4) JOISTS.

# FOOTINGS:

SOIL BEARING CAPACITY IS ESTIMATED AT 1500 POUNDS PER SQUARE FOOT, IF OTHERWISE FOUND CONSULT DESIGNER FOR FOOTING RE-SIZING. CONTACT CALL-BEFORE-YOU-DIG BEFORE DIGGING. ALL PRE-MANUFACTURED ANCHORS SHALL BE GALVANIZED.

### **NOTES AND SPECIFICATIONS:**

### CONCRETE:

- 1. CONCRETE WORK SHALL CONFORM TO ALL REQUIREMENTS OF ACI 301-89 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS", ACI 318 (LATEST
- EDITION) BUILDING CODS ENFORCEMENT FOR REINFORCED CONCRETE. 2. CONCRETE SHALL DEVELOP A MINIMUM COMPRESSION STRENGTH OF 3000 PSI AT 28 DAYS, UNLESS NOTED OTHERWISE AND HAVE HIGH CONTENT OF FLY ASH.
- 3. ALL EXPOSED OUTSIDE CORNERS SHALL HAVE A 1/2" x 45 BEVEL, UNLESS NOTED
- 4. WELDED WIRE FABRIC SHALL COMPLY WITH ASTM A165, WITH A MINIMUM LAP OF ONE SPACING OF THE GROSS WIRE PLUS 2 INCHES.
- 5. ALL FOUNDATION AND FOOTINGS SHALL BEAR ON PROPERLY COMPACTED GRANULAR FILL OR VIRGIN SOIL CAP ABLE OF SUSTAINING A BEARING CAPACITY OF 2000 PSF TO A MINIMUM DEPTH OF 2'-0" BELOW FINISHED GRADE. 6. BACK FILL TO BE COMPACTED BY A SUITABLE MECHANICAL MEANS IN 6" LIFTS TO AT

LEAST 95% MAXIMUM DENSITY AT OPTIMUM MOISTURE CONTENT AS DETERMINED

BY MODIFIED PROCTOR DENSITY TEST ASTM D-1557-58T. 7. ALL STRUCTURAL STEEL SHALL BE ENGINEERED AND NOTED ON STRUCTURAL

### DIMENSION NOTES:

- 1. EXTERIOR DIMENSION ARE FROM THE EXTERIOR OF FOUNDATION WALL TO EXTERIOR OF FOUNDATION WALL UNLESS NOTED OTHERWISE
- 2. STUD WALLS ARE DIMENSIONED FROM FACE OF FRAMING TO FACE OF FRAMING.

- 1. CONTRACTOR SHALL ADHERE TO ALL APPLICABLE 2018 KENTUCKY RESIDENTIAL
- A. ADOPTS WITH AMENDMENTS IRC 2018
- B. HTTPS://DHBC.KY.GOV/DOCUMENTS/PROPOSED2018KENTUCKYRESIDENTIALCOD ESECONDEDITION.PDF
- 2. FLOOR JOISTS SHALL BE STRUCTURAL GRADE \*2 OR BETTER (MINIMUM 1,500 PSI) 3. FLOOR JOISTS UNDER CERAMICS TILE ARE DESIGNED FOR THIN SET SYSTEMS ONLY.
- 4. RECOMMENDED ALL JOISTS, RIDGES, BEAMS, COLUMNS, POSTS, & RAFTERS SHALL USE METAL HANGERS, METAL CONNECTORS, AND METAL STRAPS. BASIS OF DESIGN: SIMPSON STRONG-TIE. TOE-NAILING SHALL **ONLY** BE RECOMMENDED FOR TEMPORARY SUPPORT AND STUD FRAMING.
- 5. ALL SUBFLOORS IN BATHROOMS, LAUNDRY ROOMS, UTILITY ROOMS, AND MECHANICAL ROOMS WHERE WATER IS PRESENT SHALL BE P.T. OR MARINE GRADE
- 6. ALL SUBFLOORS UNDER SINK LOCATIONS IN KITCHENS SHALL BE P.T. OR MARINE GRADE PLYWOOD.
- 7. TYPICAL INTERIOR WALLS SHALL BE 2x4 @ 16" O.C. WOOD STUD WALLS UNLESS
- 8. TYPICAL WET WALLS SHALL BE 2x6 @ 16" O.C. WOOD STUD WALLS UNLESS NOTED
- 9. ALL COMPOSITE WOOD BEAMS OF THREE OR MORE MEMBERS SHALL BE THRU
- BOLTED WITH 1/2" BOLTS @ 16" O.C. STAGGERED. 10. PROVIDE APPROVED METAL LET-IN BRACING AT ALL CORNERS EXTENDING TO FOUNDATION WALL TO TOP OF PLATE AT AN ANGLE OF NOT GRATER THAN 60°,

FASTEN AT EACH STUD WITH (2) 8d NAILS OR PROVIDE A MINIMUM 4'-0" WIDE

- 1. FOR OPENINGS UP TO 6'-0" IN LENGTH, USE TWO (2) 2x10's WITH 1/2" PLYWOOD PLATE BETWEEN, FASTEN WITH STAGGERED 8d NAILS EACH SIDE. MINIMUM END BEARING FOR BEAM SHALL BE (2) TWO JACK STUD WIDTHS UNLESS NOTED
- 2. FOR 2x4 WALL OPENINGS 6'-0" UP TO 10'-0" IN LENGTH, USE (2) TWO 2x12's WITH 1/2" PLYWOOD PLATE BETWEEN 2X MEMBERS, THRU BOLTED WITH 1/2" BOLT @ 16" O.C. STAGGERED. DO NOT USE HEADERS ON INTERIOR NON-LOAD BEARING WALLS UNLESS NOTED OTHERWISE. MINIMUM END BEARING FOR BEAM SHALL BE (3) THREE JACK STUD WIDTHS UNLESS NOTED OTHERWISE.
- 3. FOR 2x6 WALL OPENINGS 6'-o" UP TO 10'-o" IN LENGTH, USE (3) THREE 2x10'S WITH 1/2" PLYWOOD PLATE BETWEEN 2X MEMBERS, THRU BOLTED WITH 1/2" BOLT @ 16" O.C. STAGGERED. DO NOT USE HEADERS ON INTERIOR NON-LOAD BEARING WALLS UNLESS NOTED OTHERWISE. MINIMUM END BEARING FOR BEAM SHALL BE (3) THREE JACK STUD WIDTHS UNLESS NOTED OTHERWISE.

# **CASEWORK:**

SEE WINDOW AND DOOR DETAILS FOR CASEWORK

SHEET OF PLYWOOD AT EACH CORNER FACE.

# **SMOKE DETECTORS:**

INSTALLATION AND LOCATION PER NFPA 14. VERIFY LOCATION AND REQUIREMENT WITH LOCAL AUTHORITIES HAVING JURISDICTION.

# **WINDOWS**:

- 1. FENESTRATION U-FACTOR MINIMUM 0.40
- 2. ALL WINDOWS SHALL HAVE SCREENS.
- 3. WINDOWS BASIS FOR DESIGN ARE PELLA LIFESTYLE STANDARD SIZES. 4. CONTRACTOR FURNISHED AND INSTALLED WITH OWNER'S WRITTEN APPROVAL

INSTALLED WITH WRITTEN OWNER'S APPROVAL.

# DOORS:

1. DOOR SHALL BE RAISED PANEL PAINT GRADE, CONTRACTOR FURNISHED AND

### **NOTES AND SPECIFICATIONS: \*CONTINUED\***

### **GYPSUM BOARD:**

- 1. ALL GYPSUM BOARD SHALL BE A MINIMUM OF 1/2".
- 2. ALL BATHROOMS WALLS AND CEILINGS, AND NEAR WATER SUPPLIES SHALL BE MOLD RESISTANT GWB.
- 3. DROPPED CEILINGS OR SOFFITS IF NEEDED AT BATHROOMS AND ABOVE KITCHEN CABINETS AT 8'-o" A.F.F. FOR MECHANICALS.

A.D.

A.F.F.

ALUM

ANOD

BSMT

BYND

B.O.

C.I.P.

CHNL

C.J.

CLG

CLR

 $\mathsf{CMU}$ 

COL

COMP

CONC

CONT

CPT

C.T.

CTYD

DEMO

DIA

DIMS

ELEC

ELEV

EPDM

EXT

FD

FEC

FIXT

FLR

FND

GΑ

GALV

EXIST Existing

EXP JT Expansion Joint

Exterior

Fixture

Face Of

Gauge

Filled Metal

Foundation

Galvanized

Hollow Core

Hollow Metal

Floor

Floor Drain or Fire Department

Finished Face or Finished Floor

HVAC Heating, Ventilating, And Air Conditioning

Fire Extinguisher Cabinet

Finished Floor Level

Gypsum Wall Board

- 4. LOWER LEVEL TO BE PRE-ROCKED BEFORE SOFFIT IS DROPPED AND JOIST CAVITIES WHERE MECHANICALS RUN.
- 5. CONTRACTOR TO COORDINATE WITH HVAC & PLUMING CONTRACTOR.

- 1. COOLING EQUIPMENT MUST BE SIZED ACCORDING TO LATEST EDITION OF AIR CONDITIONING CONTRACTORS OF AMERICA (ACCA) MANUALS J AND S, ASHRAE 2001 HANDBOOK OF FUNDAMENTALS OR AN EQUIVALENT COMPUTATION PROCEDURE. MAXIMUM OVER SIZING LIMIT FOR AC AND HEAT PUMPS IS 15%.
- 2. OUTDOOR TEMPERATURE SHALL BE THE 99% DESIGN TEMPERATURE AS PUBLISHED IN THE ASHRAE HANDBOOK OF FUNDAMENTALS FOR THE HOME'S LOCATION.
- 3. INDOOR TEMPERATURE SHALL BE 15" F FOR COOLING. 4. INFILTRATION RATE SHALL BE SELECTED AS TIGHT OR EQUIVALENT.
- 5. AT DUCTWORK TO BE RUN ON INTERIOR SPACES AND SEALED WITH UNDERWRITERS LABORATORY (UL)181 APPROVED TAPS. (METAL BACKED TAPES.)
- 6. ALL THROUGH PENETRATIONS OF DUCTWORK OR WRING TO BE SEALED WITH EXPANDING FOAM.

- 1. PLUMBERS SHALL **NOT** NOTCH , BEAMS, HEADERS, JOISTS, RAFTERS, OR STUDS IN BEARING WALLS. IF INSTALLATION OF PLUMBING SUPPLY, WASTE, OR VENTING IS UNAVOIDABLE, PLUMBER **SHALL** COORDINATE WITH GENERAL CONTRACTOR FOR CARPENTER TO PROVIDE ADEQUATE OPENINGS.
- 2. TOILET TO BE DUAL FLUSH, ALL FAUCETS TO BE LOW FLOW.
- 3. WASTE LINES TO BE CONCEALED IN JOIST CAVITIES AND NOTED PLUMBING WALLS. 4. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE KENTUCKY PLUMBING CODE AND OTHER STATE AND LOCAL CODES AS THEY APPLY.

- 1. INSULATION MATERIAL INSTALLED TO MEET GRADE 1 AS DEFINED BY APPENDIX A 2006 MORTGAGE INDUSTRY NATIONAL HOME ENERGY RATING SYSTEM STANDARDS: ON SITE INSPECTION PROCEDURES FOR MINIMUM RATED FEATURES.(WWW.NATRESENT.ORG)
- 2. SEAL FLU SHAFTS AND ALL EXTERIOR WALL PENETRATION W/EXPANDING FOAM. 3. ZONE 4 - MINIMUM PERFORMANCE UNLESS OTHERWISE NOTED ON SECTIONS:
- A. ROOF / ATTIC: R-49
- B. EXTERIOR WALLS: R-13 (2x4 STUD CAVITY), R-19 (2x6 STUD CAVITY)
- C. FLOOR: R-30
- D. CRAWLS SPACE WALL: R-25

# E. BASEMENT WALL: R-11

ELECTRICAL:

- 1. ALL APPLIANCES AND EQUIPMENT TO BE ENERGY STAR RATED.
- 2. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITION OF THE N.E.C.

# STATE AND LOCAL CODES AS THEY APPLY.

### **TYPICAL ABBREVIATIONS: TYPICAL PROJECT SYMBOLS:**

T.O.

T.O.C.

T.O.S.

TPD

T/D

TYP

U/S

V.I.F.

VP

WD

U.N.O.

Top Of

Top Of Steel

Underside

With

Vision Panel

Top Of Concrete

Telephone/Data

Verify In Field

Toilet Paper Dispenser

Unless Noted Otherwise

	And	IRGWB	Impact Resistant Gypsum Wall Board		
	At	ILO	In Lieu Of		
	Diameter	INSUL	Insulated or Insulation	<u>'</u>	EXTERIOR ELEVATION CALLOUT
	Pound OR Number	INT	Interior	A101	
,	Acoustic Ceiling Tile	LO	Low		
	Area Drain	MAX	Maximum	•	
	Above Finished Floor	МО	Masonry Opening		
1	Aluminum	MECH	Mechanical	1 Ref	
)	Anodized	MEMBR	Membrane $\begin{tabular}{c} \begin{tabular}{c} \be$	Ref	
-	Basement	MIN	Minimum 1	▲ A101 ▶ 1	INTERIOR ELEVATION CALLOUT
)	Beyond	MRGWB	Moisture-Resistant Gypsum Wall Board		
	Bottom of	MTL	Metal	1 Ref	
	Bottom	NIC	Not In Contract	1 1/61	
	Cast In Place	NO	Number		
	Channel	NOM	Nominal		
	Control Joint	O.C.	On Center	SIM	
	Center Line	O.H.	Overhang or Opposite Hand	1	SECTION CALLOUT
	Ceiling	OPP	Opposite or Opposite Hand	A101	
	Clear	OZ	Ounce		
	Concrete Masonry Unit	PCC	Pre-Cast Concrete		
	Column	PLUMB	Plumbing		
PR	Compressible	PLYD	Plywood		
	Concrete	P.T.	Pressure Treated	SIM	
•	Continuous	PNT	Paint or Painted		DETAIL SECTION CALLOUT
	Carpet	PVC	Polyvinyl Chloride	A101	
	Ceramic Tile	RBR	Rubber		
	Courtyard	R.C.P.	Reflected Ceiling Plan		
	Double	R.D.	Roof Drain	SIM	
)	Demolish or Demolition	REQD	Required	$\left(\begin{array}{c}1\\1\end{array}\right)$	
	Diameter	RM	Room	A101	
	Dimension	SIM	Similar		
	Dimensions	S.D.	Smoke Detector		DETAIL SECTION CALLOUT
	Down	SPEC	Specified OR Specification		
	Door	SPK	Sprinkler or Speaker	1	
	Drawing	S.STL	Stainless Steel	1	
	Each	S.T.C.	Sound Transmission Coefficient		
	Expansion Joint	STL	Steel		
	Elevation	STRUCT	Structure or Structural		
	Electrical	T&G	Tongue And Groove		
	Elevator or Elevation	TELE	Telephone	101	DOOR TAG
1	Ethylene Propylene Diene M-Class (Roofing)	TLT	Toilet	_	
	Equal	T.M.E.	To Match Existing		

Project Phase Project Status NOT FOR CONSTRUCTION RELEASED FOR CONSTRUCTION RECORD DRAWING Sheet Scales

AMES MATTONI t: 502.513.4342

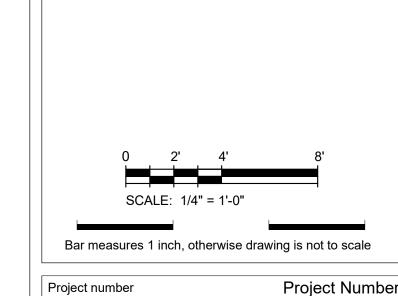
james@JMDesign.biz services@JMDesign.biz

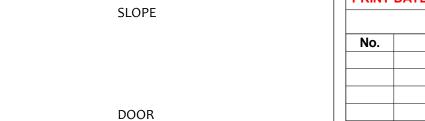
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**DESIGN | CABINET SALES** 

KITCHENS | BATHROOMS CLOSETS | PHOTOGRAPHY

REVIT | BIM MODELING





WALL TAG

WINDOW TAG

ROOM TAG

LEVEL CALLOUT



SPOT ELEVATION

**CASEMENT WINDOW** 

# **WALL TYPES:**

Room name

NEW 2x4 WALL

EXISTING 2x4 WALL

EXISTING 2x6 WALL

10" FOUNDATION WAL w/ WATERPROOFING

**Project Date** Issue Date **PRINT DATE** 6/25/2023 8:50:25 PM SETS & REVISIONS Description Date

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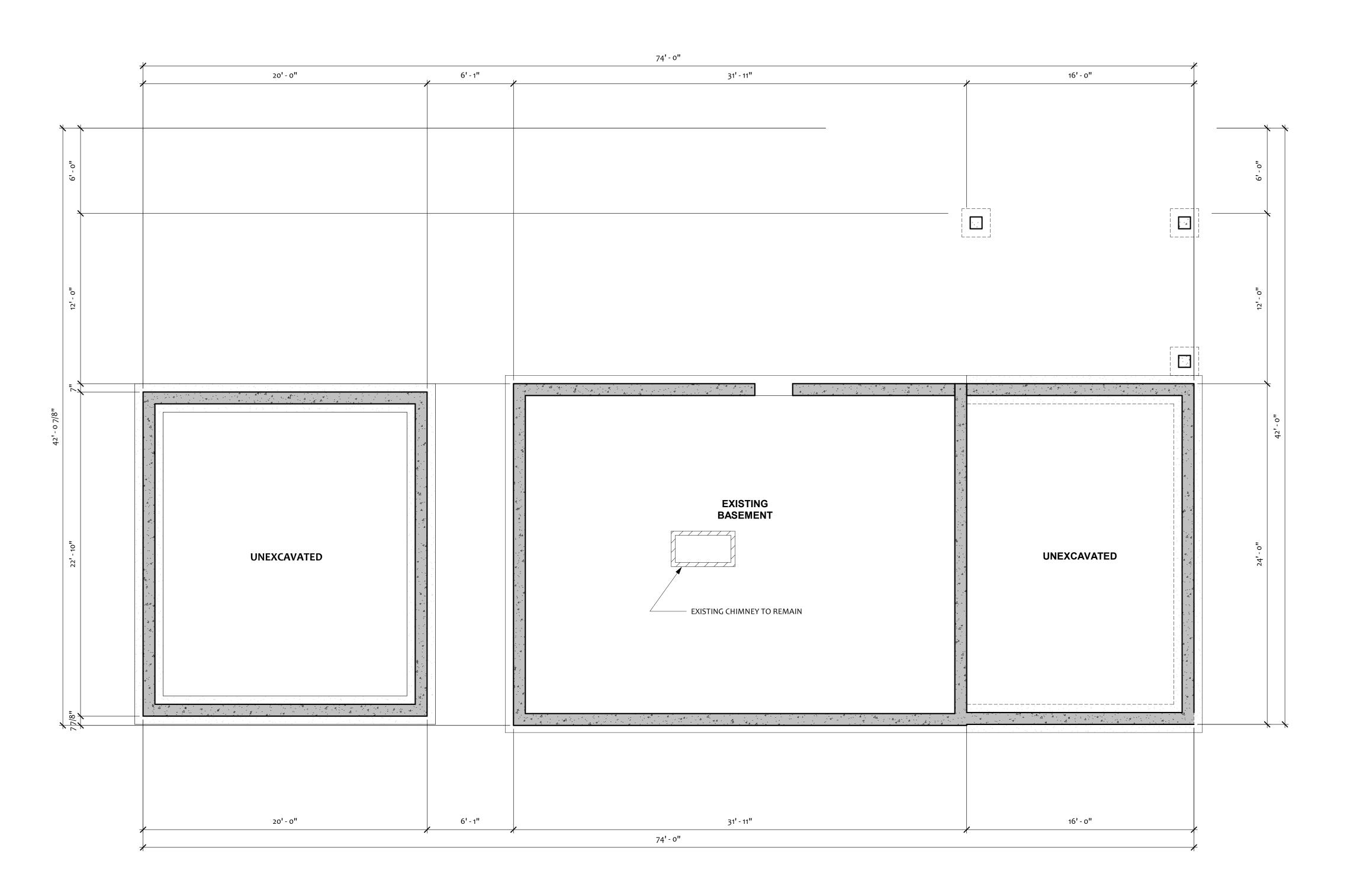
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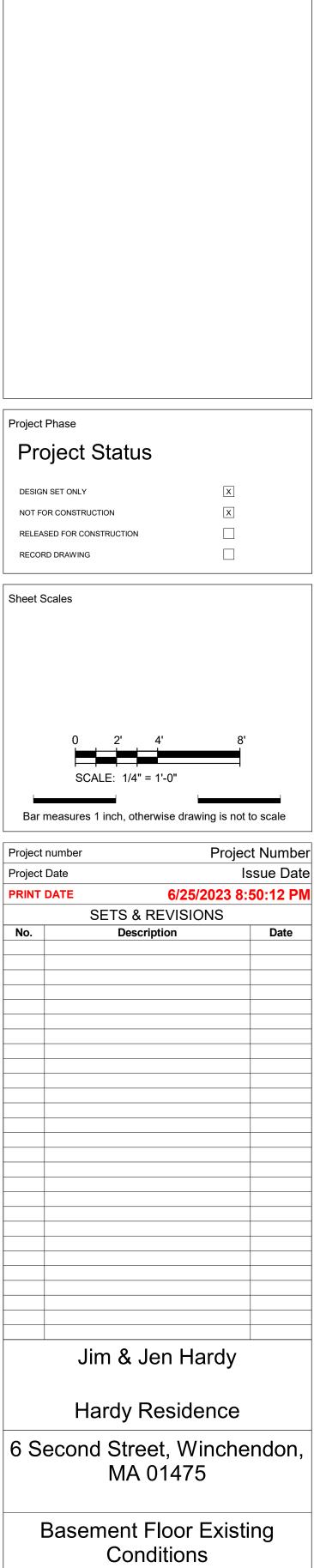
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1 EXISTING BASEMENT 1/4" = 1'-0"

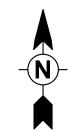


A100

1/4" = 1'-0"

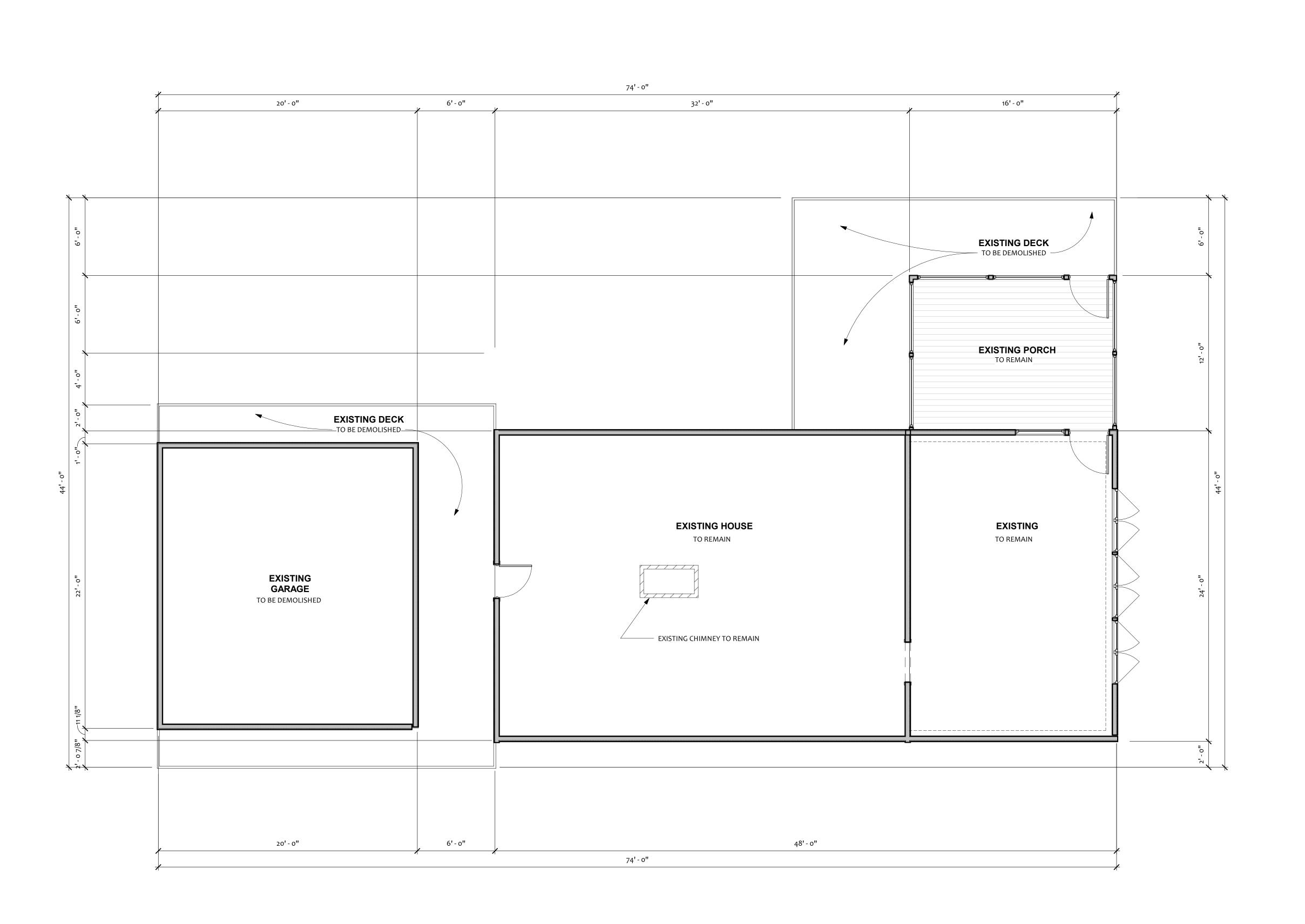
Author

Checker



Drawn by

Checked by



1 EXISTING 1ST FLOOR 1/4" = 1'-0"

**EXISTING SQUARE FOOTAGE**UNFINISHED

GARAGE 440 SF
BASEMENT 768 SF
COVERED PORCH 160 SF

SUB TOTAL 1,368 SF FINISHED

1ST FLOOR 768 SF

NET TOTAL: 2,136 SF

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Project Phase

Project Status

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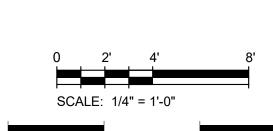
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Project Number

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No. Description Date

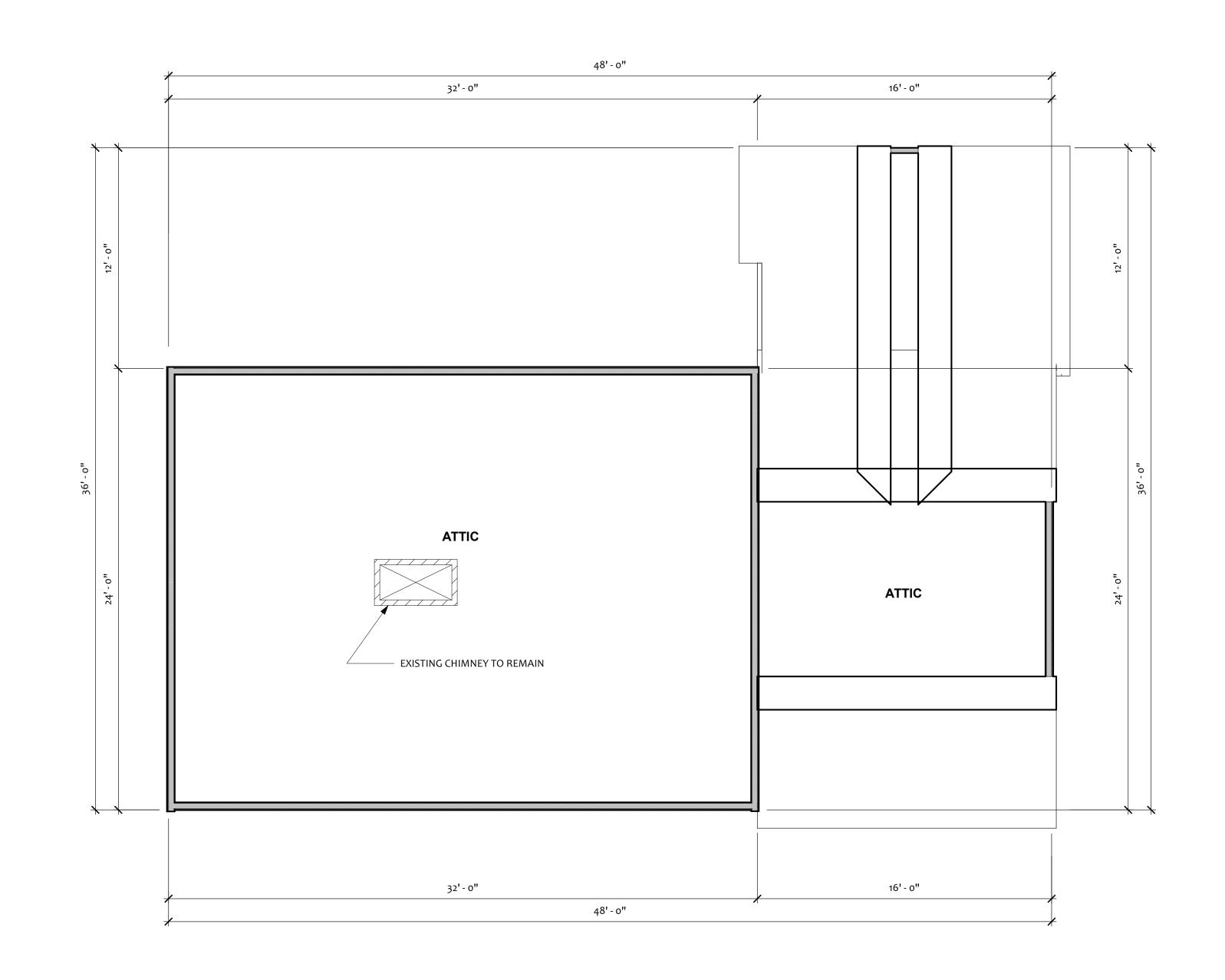
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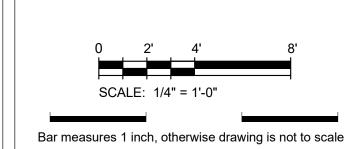
First Floor Existing Conditions

A101





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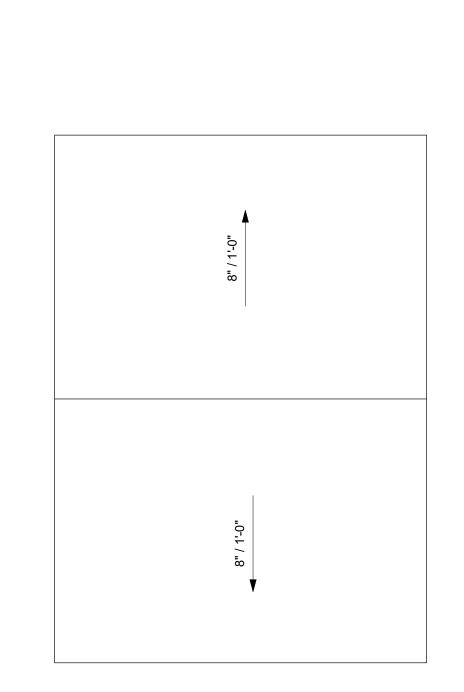
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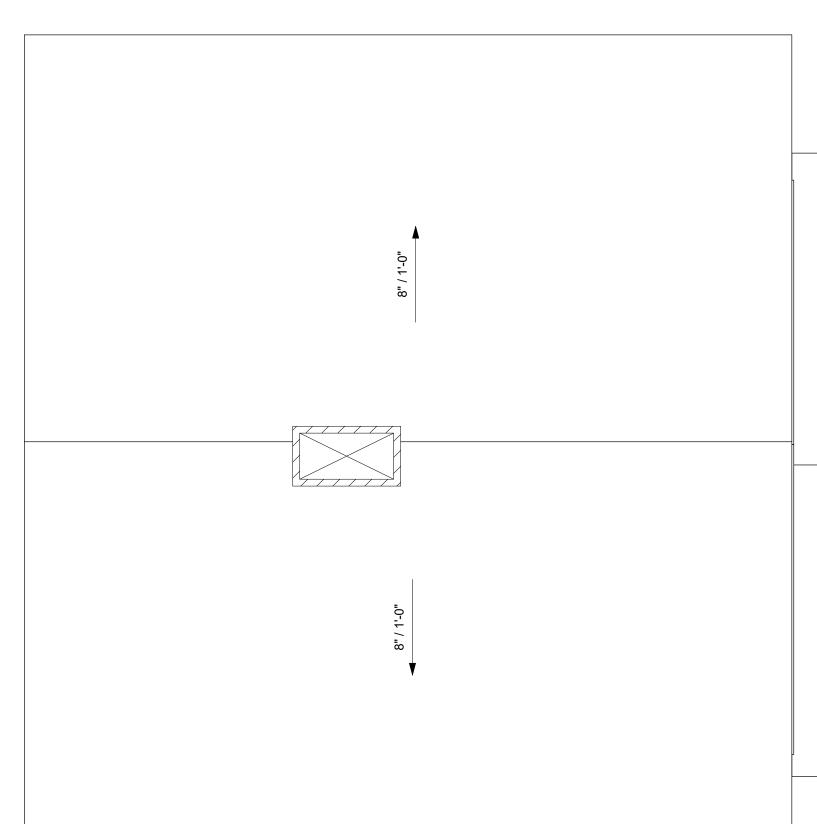
Second Floor Existing Conditions

A102

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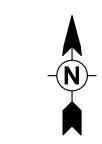
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8"/1-0"

1 EXISTING ROOF 1/4" = 1'-0"



Project Phase

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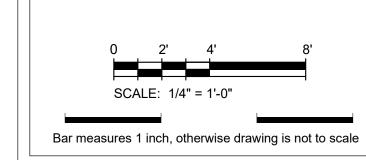
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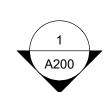
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Roof Plan Existing Conditions

A103



# PROPOSED SQUARE FOOTAGE

UNFINISHED GARAGE BASEMENT 890 SF COVERED PORCH 160 SF SUB-TOTAL: 1,778 SF

FINISHED 1<sup>ST</sup> FLOOR 2<sup>ND</sup> FLOOR SUB-TOTAL: 1,416 SF 1,376 SF

**NET TOTAL:** 

2,792 SF

# **WALL TYPES:**

EXISTING 2x4 WALL

NEW 2x6 WALL

EXISTING 2x6 WALL

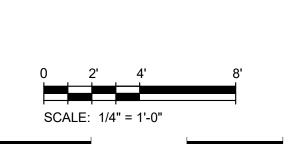
10" FOUNDATION WALL w/ WATERPROOFING

Project Phase Project Status

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Sheet Scales

RECORD DRAWING



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No.	Description	Date

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Proposed Basement Floor

A104

-N-

1/4" = 1'-0" Drawn by Author Checked by Checker

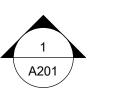
74' - 0" 8' - 8" 8' - 8" 2'-0"8" 3'-3" 8" 25' - 5" 8' - 8" 16' - 0" NEW BASEMENT A302 **EXISTING** - UNEXCAVATED SLAB ON GRADE ABOVE -SLAB ON GRADE ABOVE — EXISTING CHIMNEY **CRAWL SPACE** 

24' - 0"

74' - 0"



A202

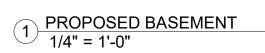


3' - 0"

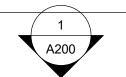
9' - 0"

9' - 0"

3' - 0"



26' - 0"



# PROPOSED SQUARE FOOTAGE

UNFINISHED GARAGE 890 SF BASEMENT COVERED PORCH 160 SF

SUB-TOTAL: FINISHED

1<sup>ST</sup> FLOOR 2<sup>ND</sup> FLOOR SUB-TOTAL: 1,416 SF 1,376 SF 2,792 SF

# **WALL TYPES:**

A NEW 2x4 WALL

EXISTING 2x4 WALL

NEW 2x6 WALL

EXISTING 2x6 WALL

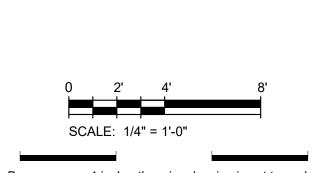
10" FOUNDATION WALL

w/ WATERPROOFING

Project Phase Project Status

DESIGN SET ONLY NOT FOR CONSTRUCTION RELEASED FOR CONSTRUCTION RECORD DRAWING

Sheet Scales



Bar measures 1 inch, otherwise drawing is not to scale

Project numb	er	Project Numbe
Project Date		Issue Date
PRINT DATE	6/25/2	2023 8:50:14 PN
	SETS & REVISIO	NS
No.	Description	Date

Jim & Jen Hardy

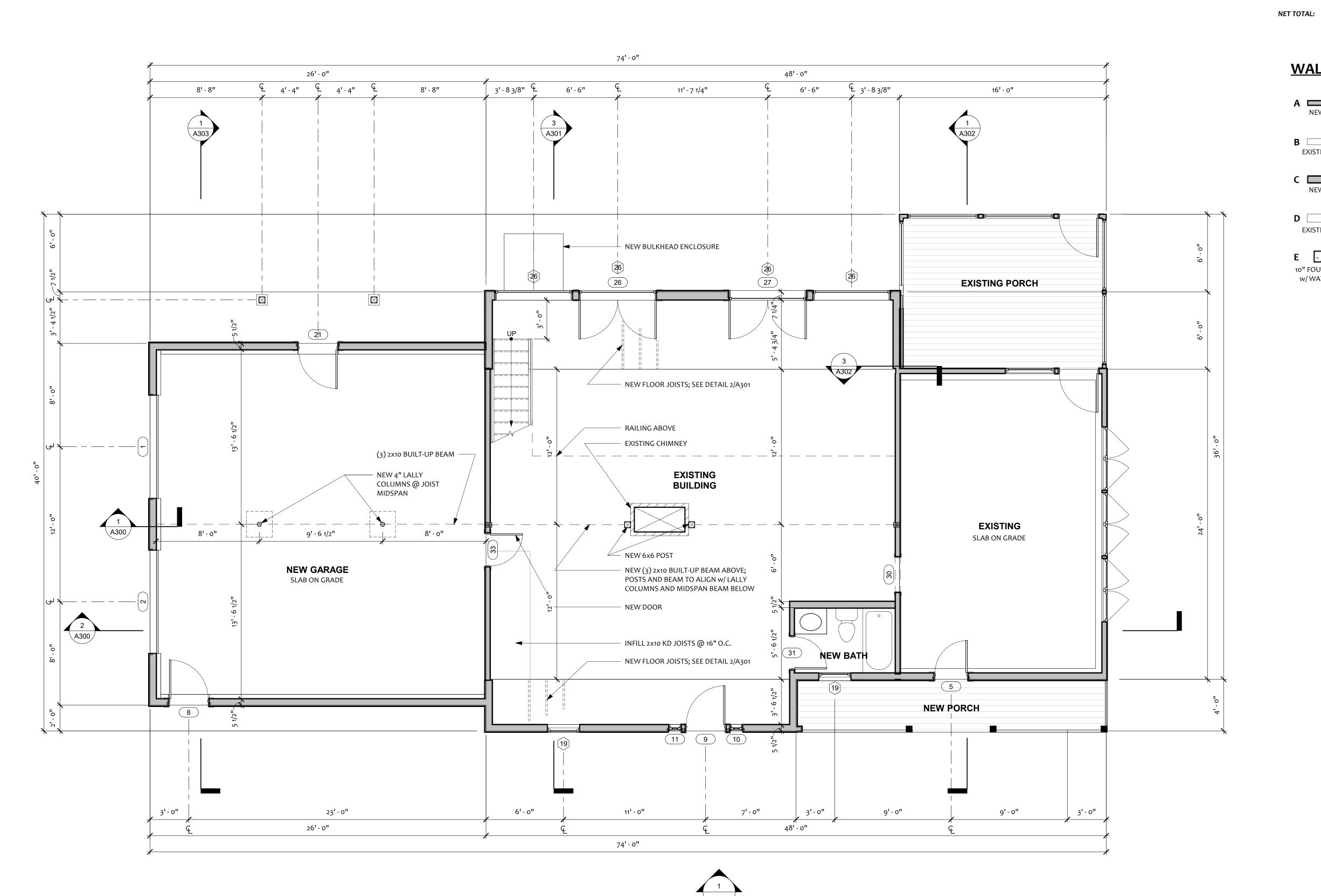
Hardy Residence

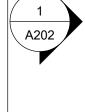
6 Second Street, Winchendon, MA 01475

Proposed First Floor

A105

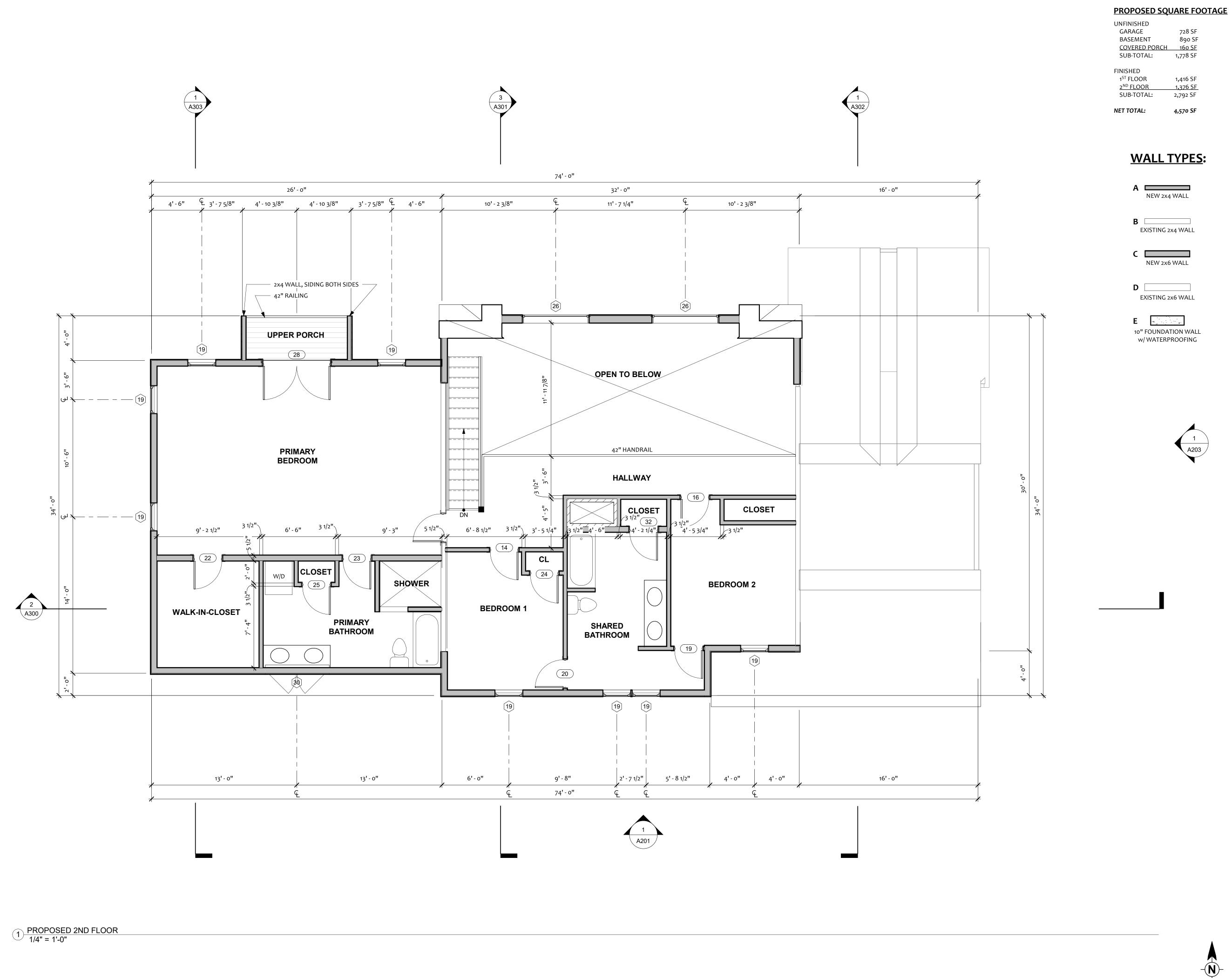
1/4" = 1'-0" Drawn by Author Checked by Checker





1) PROPOSED 1ST FLOOR 1/4" = 1'-0"





A200

RECORD DRAWING

Sheet Scales

Project Status

Project Phase

DESIGN SET ONLY

Project number

NOT FOR CONSTRUCTION

RELEASED FOR CONSTRUCTION

0 2' 4' 8'

Bar measures 1 inch, otherwise drawing is not to scale

Project Number

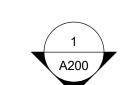
Jim & Jen Hardy

Hardy Residence

6 Second Street, Winchendon, MA 01475

Proposed Second Floor

A106



# PROPOSED SQUARE FOOTAGE

UNFINISHED
GARAGE 728 SF
BASEMENT 890 SF
COVERED PORCH 160 SF
SUB-TOTAL: 1,778 SF

FINISHED

1<sup>ST</sup> FLOOR 1,416 SF

2<sup>ND</sup> FLOOR 1,376 SF

SUB-TOTAL: 2,792 SF

NET TOTAL: 4,570 SF

# **WALL TYPES:**

A NEW 2x4 WALL

**B** EXISTING 2x4 WALL

NEW 2x6 WALL

D EXISTING 2x6 WALL

E 10" FOUNDATION WALL w/ WATERPROOFING

Project Phase

Project Status

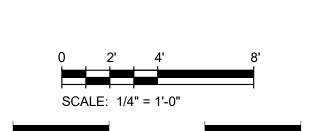
DESIGN SET ONLY

NOT FOR CONSTRUCTION

RELEASED FOR CONSTRUCTION

Sheet Scales

RECORD DRAWING



Bar measures 1 inch, otherwise drawing is not to scale

Project	number	Projec	t Numbe
Project	Date	ls	sue Dat
PRINT	DATE	6/25/2023 8:	50:15 PI
		SETS & REVISIONS	
No.		Description	Date

Jim & Jen Hardy

Hardy Residence

6 Second Street, Winchendon, MA 01475

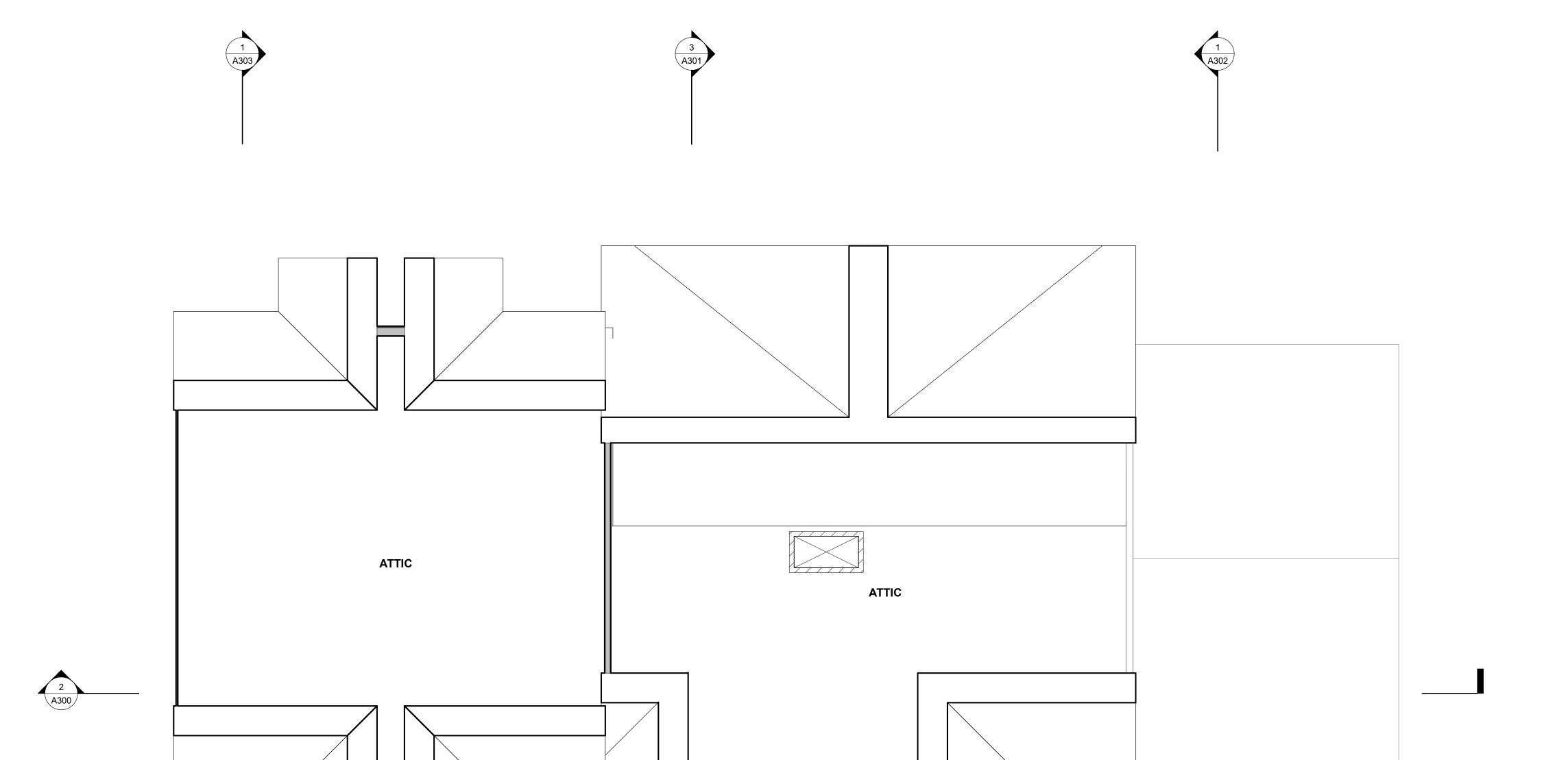
Proposed Attic Plan

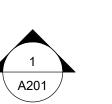
A107

Scale 1/4" = 1'-0"

Drawn by Author

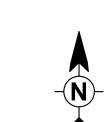
Checked by Checker

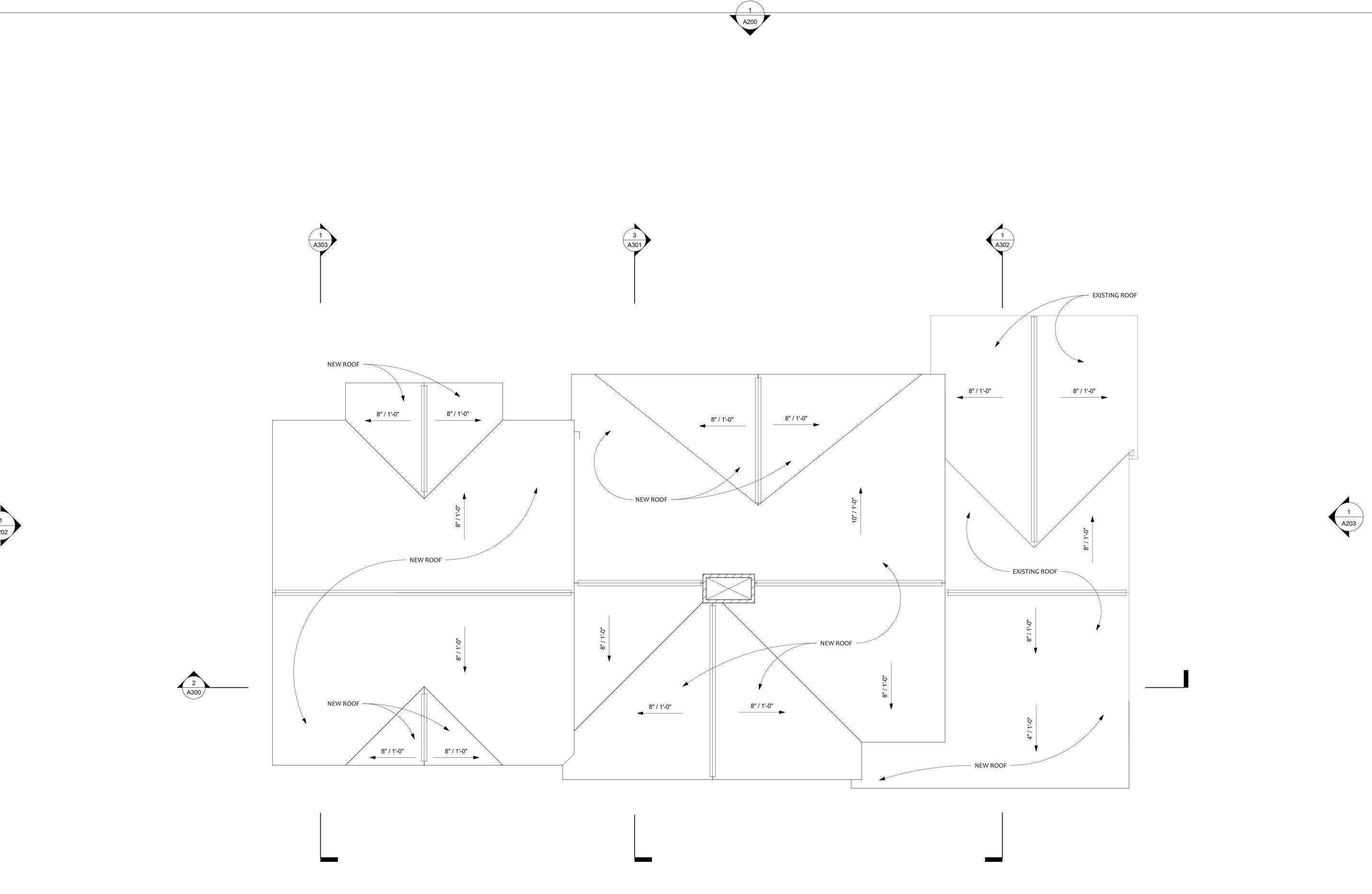




PROPOSED ATTIC PLAN
1/4" = 1'-0"

1 A202





RELEASED FOR CONSTRUCTION RECORD DRAWING Sheet Scales

Project Status

NOT FOR CONSTRUCTION

Bar measures 1 inch, otherwise drawing is not to scale

Project number Project Number Issue Date 6/25/2023 8:50:15 PM SETS & REVISIONS

Description

Jim & Jen Hardy

Hardy Residence

6 Second Street, Winchendon, MA 01475

Proposed Roof Plan

A108

1/4" = 1'-0" Author Drawn by Checked by Checker

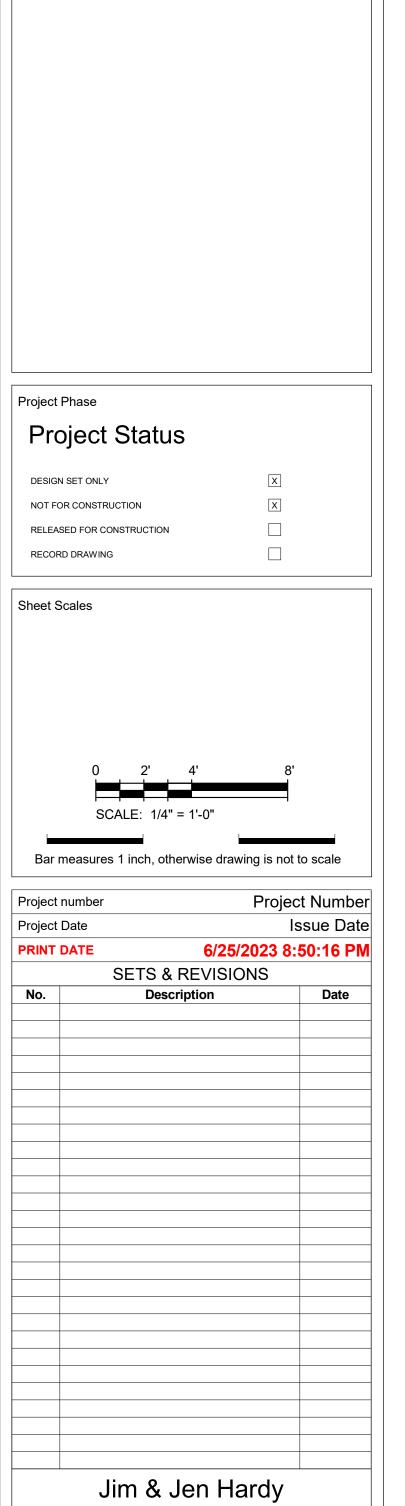
1) PROPOSED ROOF PLAN 1/4" = 1'-0"



-N-



1) NORTH ELEVATION 1/4" = 1'-0"



Hardy Residence

6 Second Street, Winchendon,

MA 01475

Elevations

A200

Drawn by

Checked by

1/4" = 1'-0"

Author

Checker



1 SOUTH ELEVATION 1/4" = 1'-0"

Project Phase

Project Status

DESIGN SET ONLY

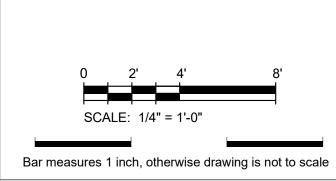
NOT FOR CONSTRUCTION

RELEASED FOR CONSTRUCTION

RECORD DRAWING

Sheet Scales

Project number



Project Date

PRINT DATE

6/25/2023 8:50:18 PM

SETS & REVISIONS

No. Description Date

Project Number

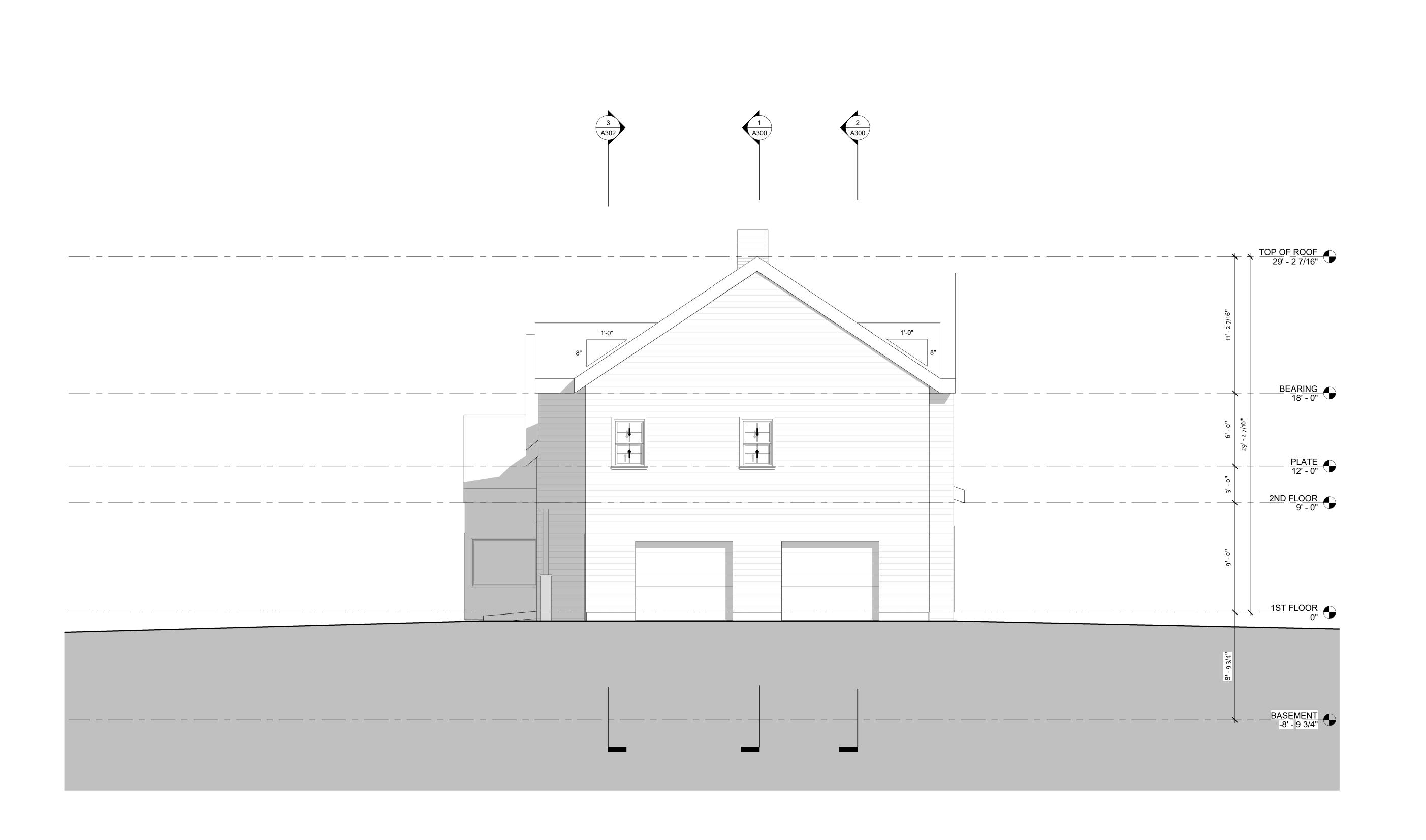
Jim & Jen Hardy

Hardy Residence

6 Second Street, Winchendon, MA 01475

Elevations

A201



1 WEST ELEVATION 1/4" = 1'-0"



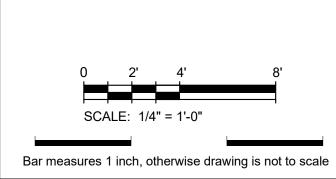
DESIGN SET ONLY

NOT FOR CONSTRUCTION

RELEASED FOR CONSTRUCTION

RECORD DRAWING

Sheet Scales



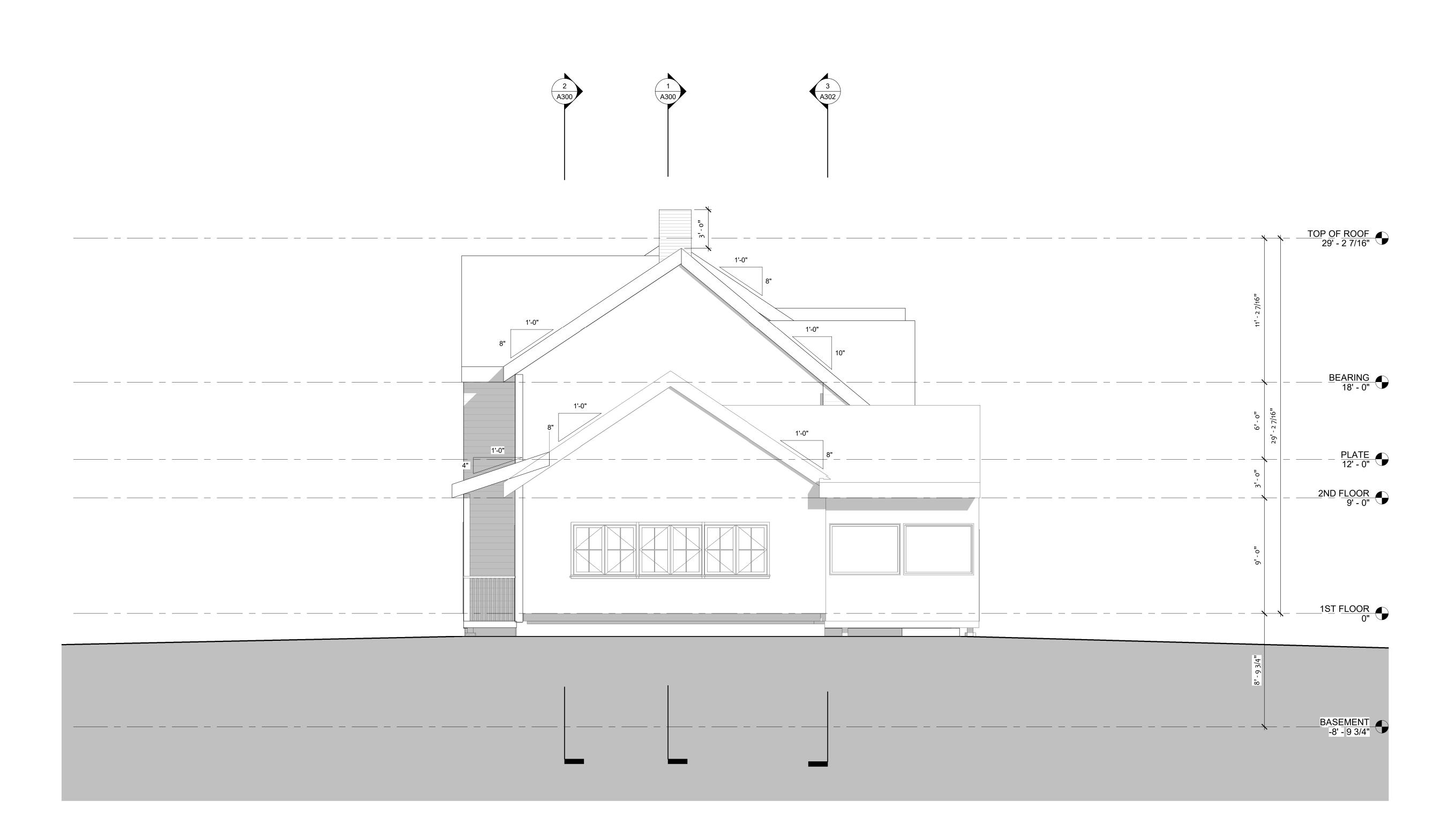
Jim & Jen Hardy

Hardy Residence

6 Second Street, Winchendon, MA 01475

Elevations

A202



1 EAST ELEVATION 1/4" = 1'-0"

Project Status NOT FOR CONSTRUCTION RELEASED FOR CONSTRUCTION RECORD DRAWING Bar measures 1 inch, otherwise drawing is not to scale Project number Project Number Issue Date 6/25/2023 8:50:21 PM SETS & REVISIONS

Description Date

Jim & Jen Hardy

Hardy Residence

6 Second Street, Winchendon,

MA 01475

Elevations

A203

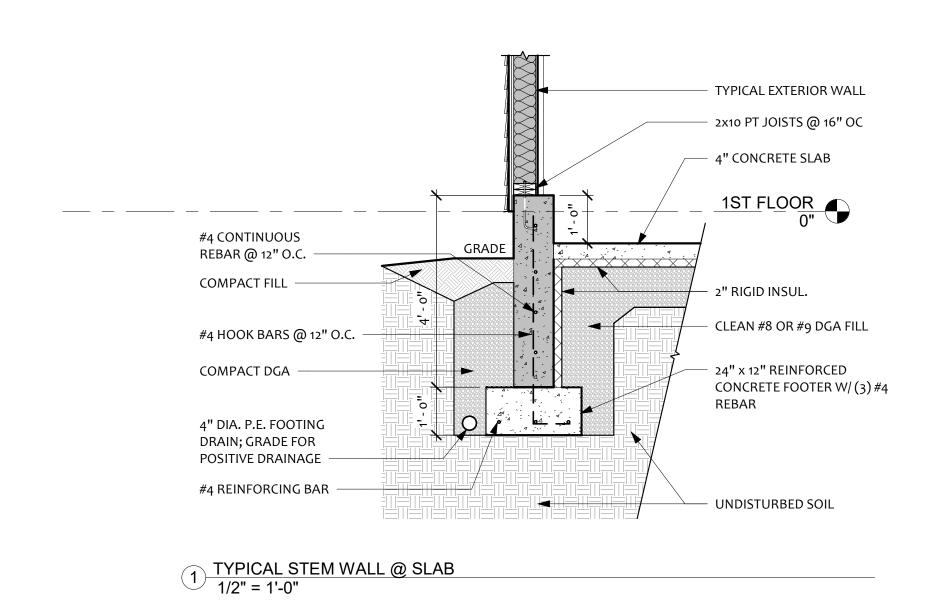
Drawn by

Checked by

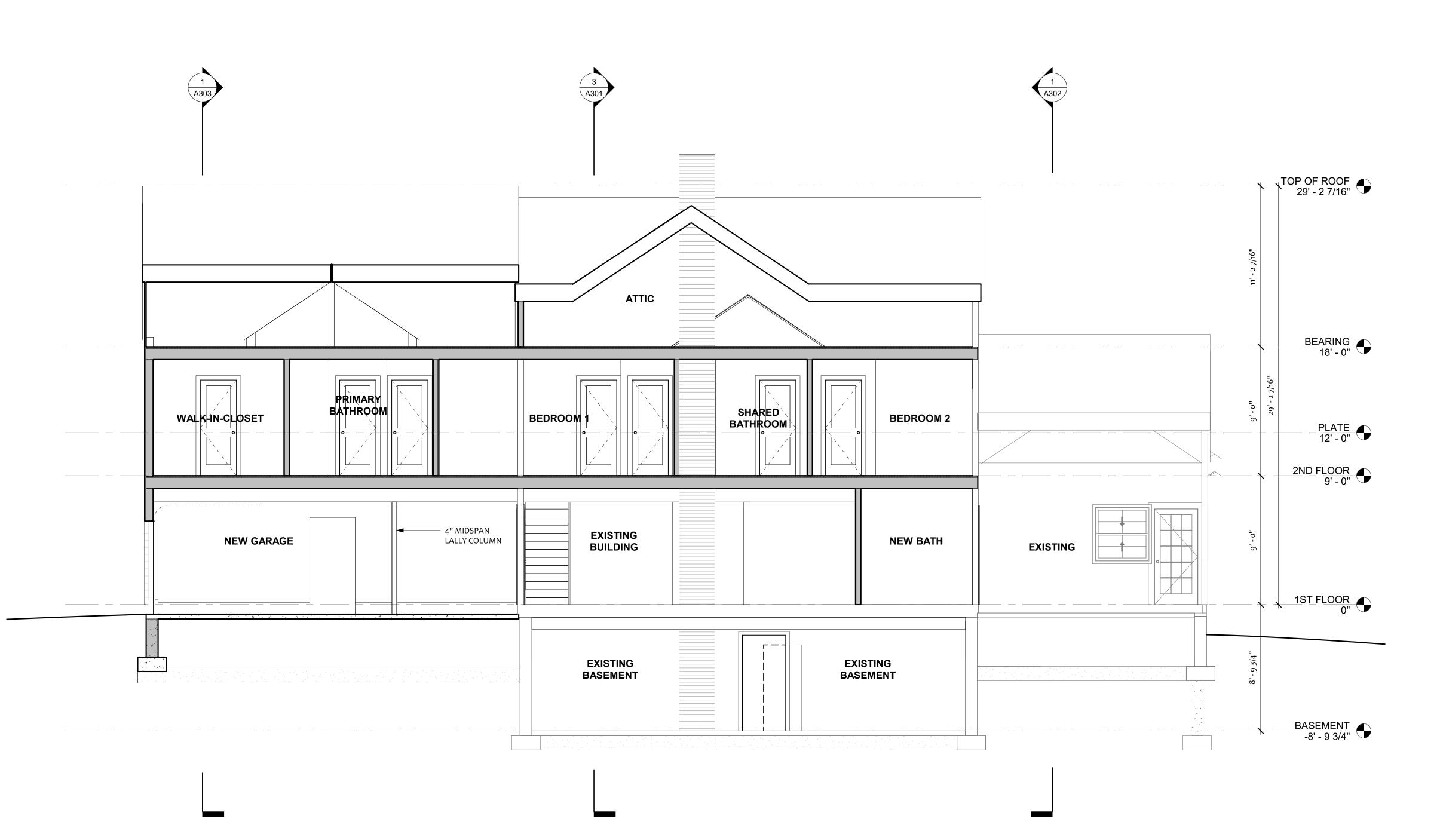
1/4" = 1'-0"

Author

Checker



2 BUILDING CROSS-SECTION 1/4" = 1'-0"



Project Phase Project Status

NOT FOR CONSTRUCTION RELEASED FOR CONSTRUCTION RECORD DRAWING

Sheet Scales

Project number

Bar measures 1 inch, otherwise drawing is not to scale

Project Number Issue Date 6/25/2023 8:50:21 PM SETS & REVISIONS

Description

Jim & Jen Hardy

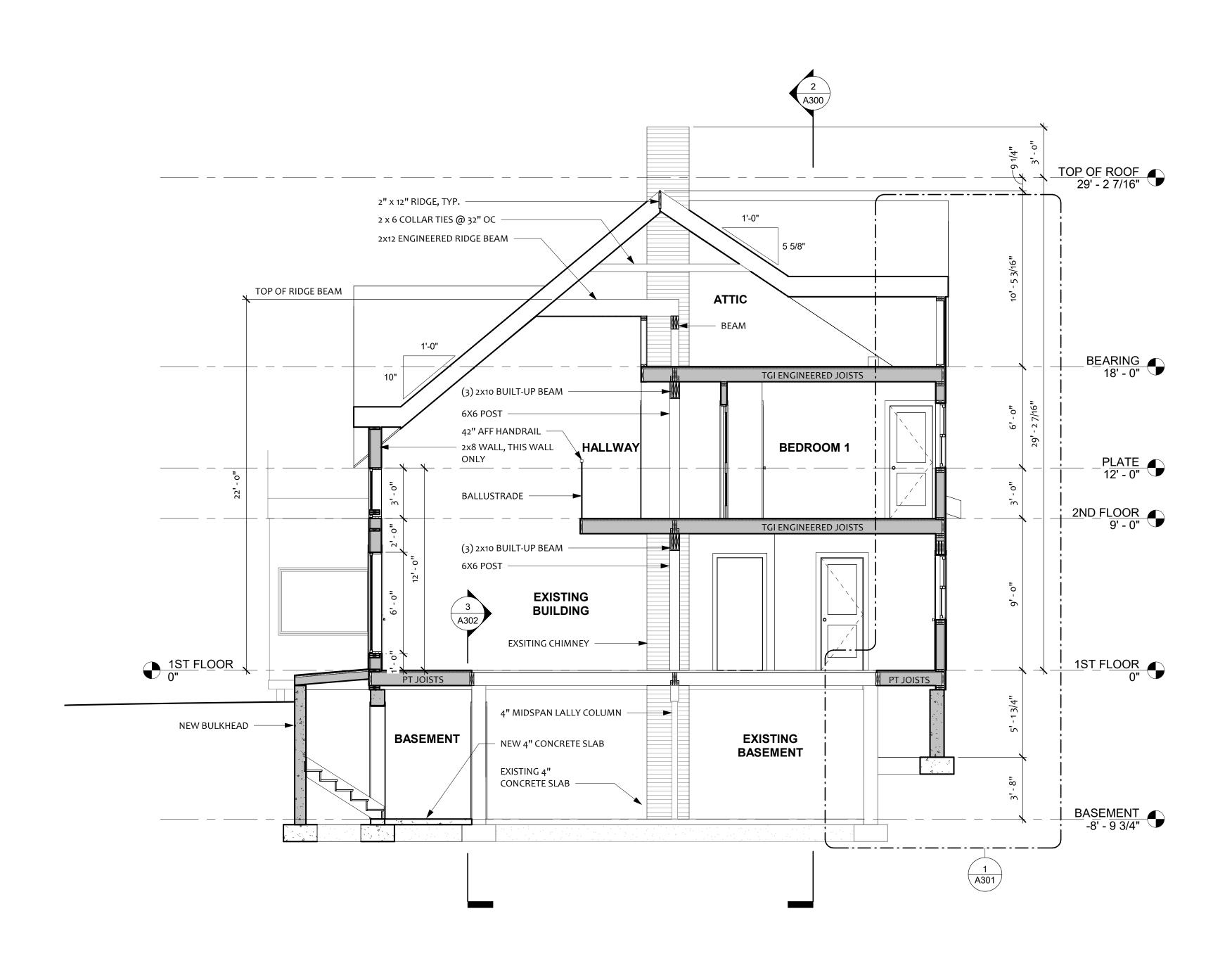
Hardy Residence

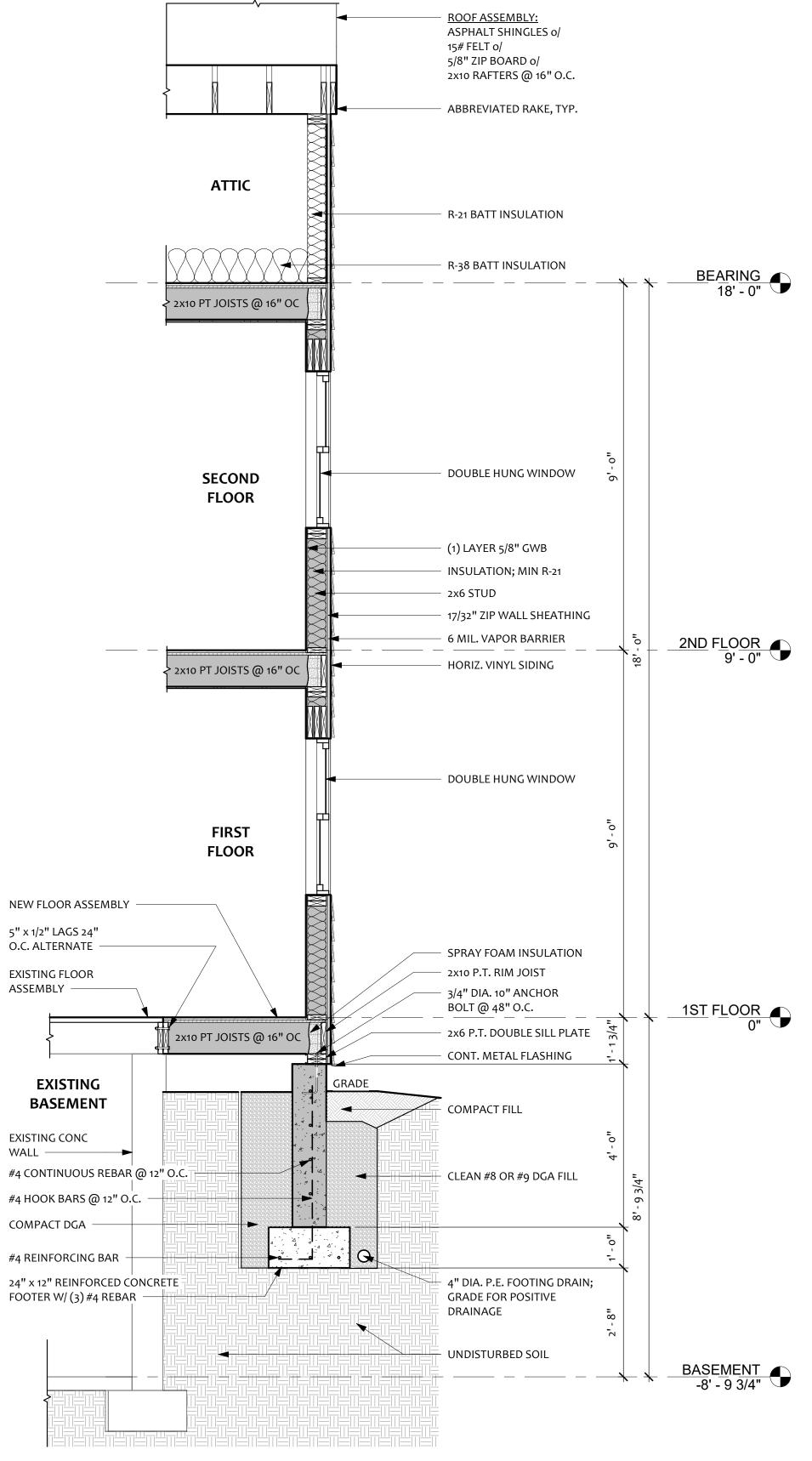
6 Second Street, Winchendon, MA 01475

**Building Sections** 

A300

Scale As indicated Author Drawn by Checker Checked by





1 WALL SECTION @ NEW CONSTRUCTION 1/2" = 1'-0"

**Building Sections** 

3 BUILDING SECTION @ NEW CONSTRUCTION 1/4" = 1'-0"

A301 As indicated Scale Drawn by

Checked by

Project Phase

DESIGN SET ONLY

RECORD DRAWING

Sheet Scales

Project number

Project Date

PRINT DATE

NOT FOR CONSTRUCTION

RELEASED FOR CONSTRUCTION

SCALE: 1/4" = 1'-0"

Bar measures 1 inch, otherwise drawing is not to scale

SETS & REVISIONS

Jim & Jen Hardy

Hardy Residence

6 Second Street, Winchendon,

MA 01475

Description

Project Number

6/25/2023 8:50:22 PM

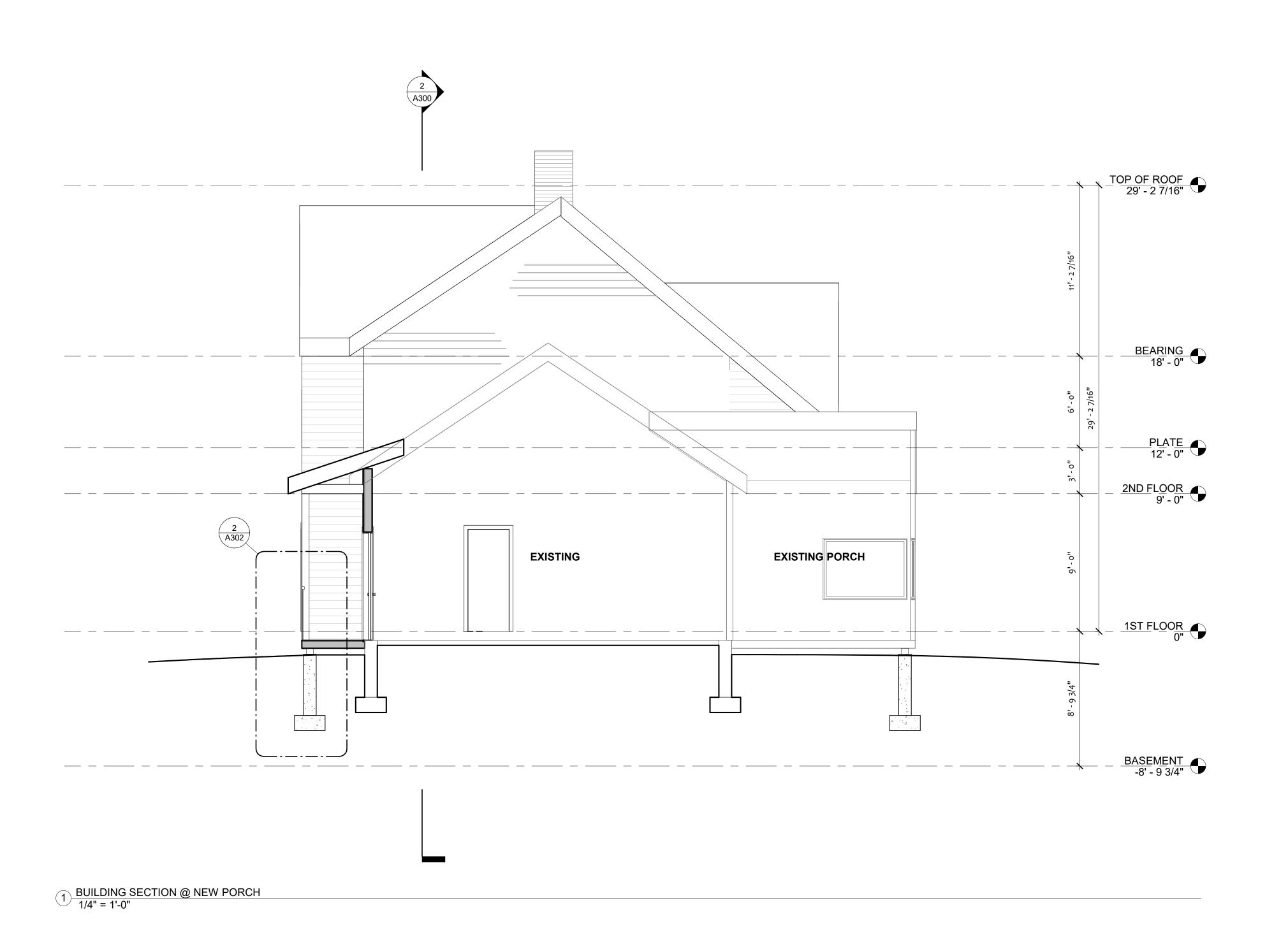
Issue Date

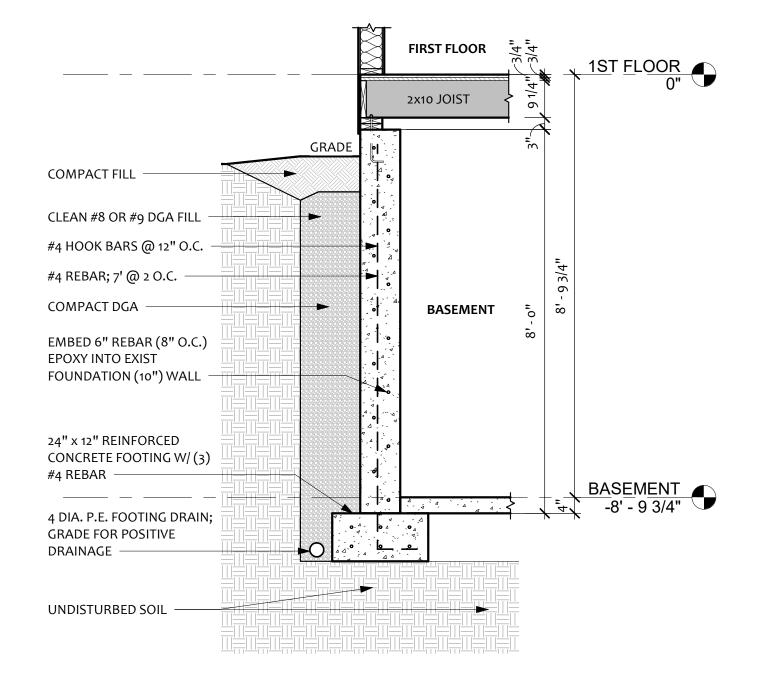
Date

Author

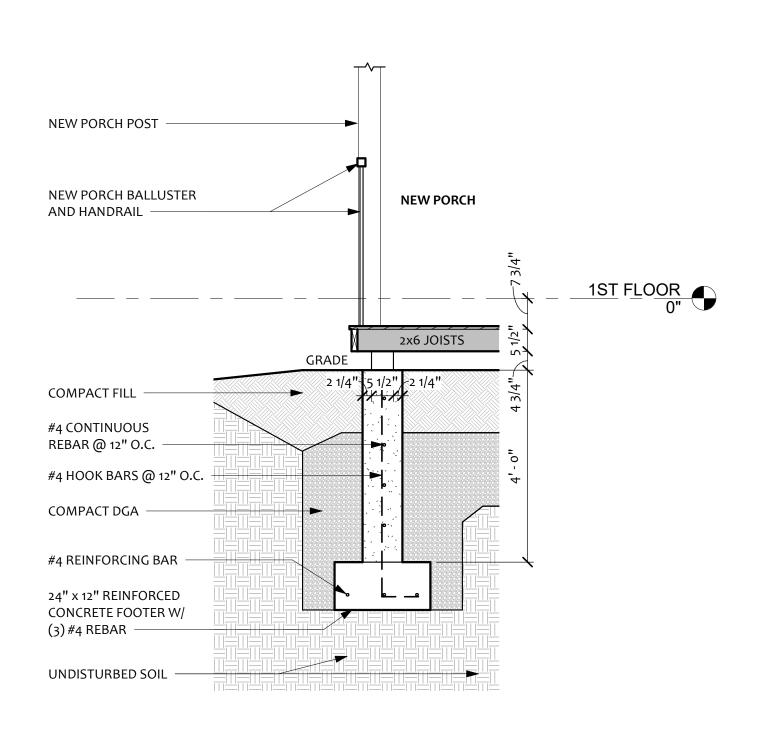
Checker

Project Status

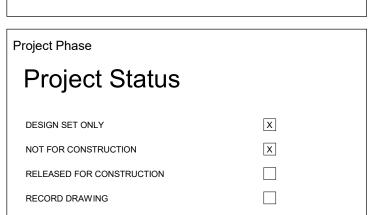




3 TYPICAL NEW FOUNDATION WALL 1/2" = 1'-0"



2 TYPICAL PIER 1/2" = 1'-0"



Sheet Scales

0 2' 4' 8'

SCALE: 1/4" = 1'-0"

Bar measures 1 inch, otherwise drawing is not to scale

Project num	ber P	roject Numbe
Project Date	:	Issue Dat
PRINT DAT	E 6/25/202	23 8:50:23 P
	SETS & REVISIONS	5
No.	Description	Date
<b>-</b>	Jim & Jen Hard	dy
	Hardy Residen	ce
6 Sec	ond Street, Wind	chendon

A302

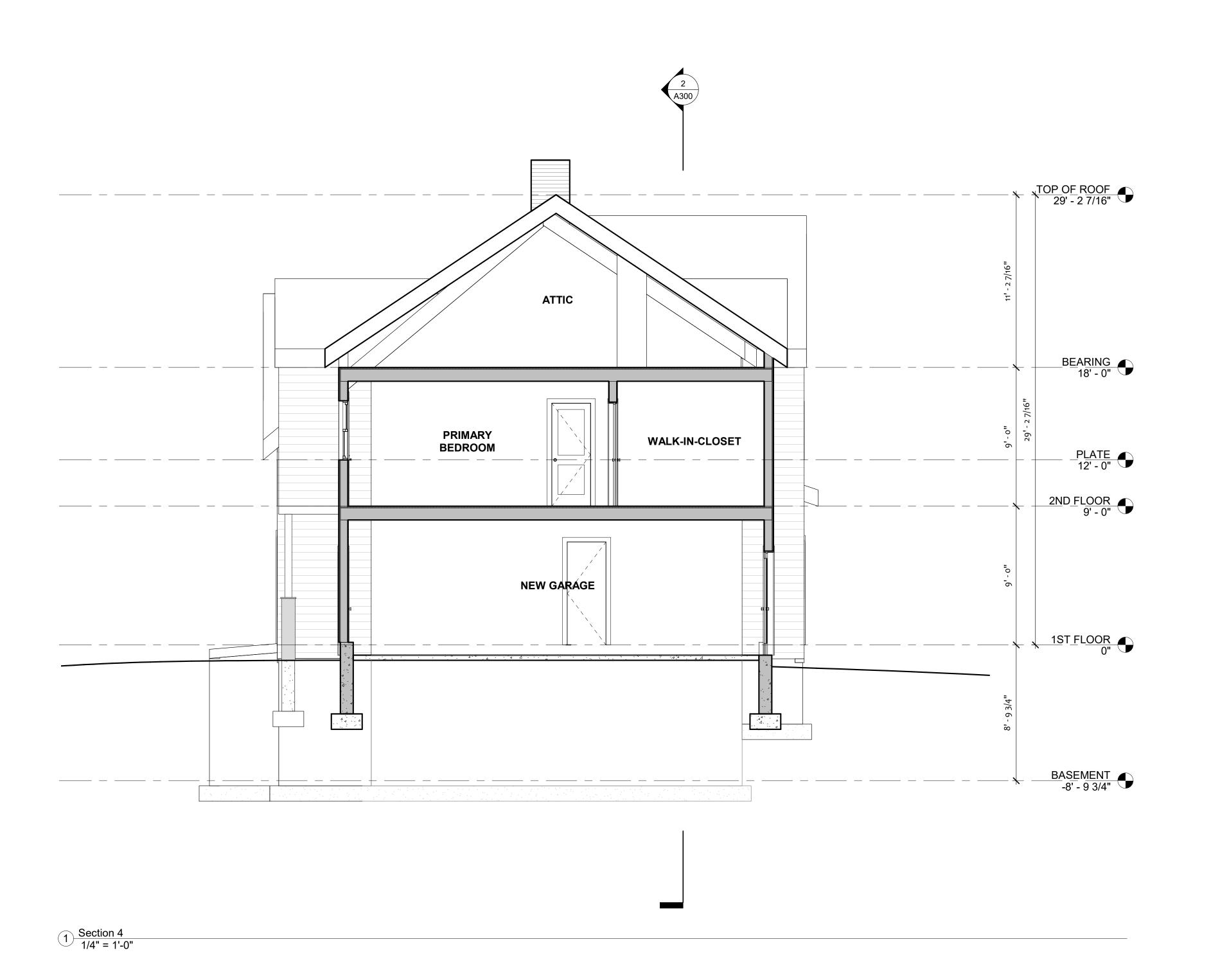
MA 01475

**Building Sections** 

Scale As indicated

Drawn by Author

Checked by Checker





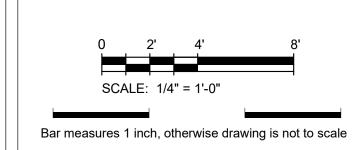
DESIGN SET ONLY

NOT FOR CONSTRUCTION

RELEASED FOR CONSTRUCTION

RECORD DRAWING

Sheet Scales



Project number			Project	Numb
Project D	Date	Issue Da		
PRINT DATE		6/25/2023 8:50:23 P		
	SETS	ETS & REVISIONS		
No.	D	escription		Date

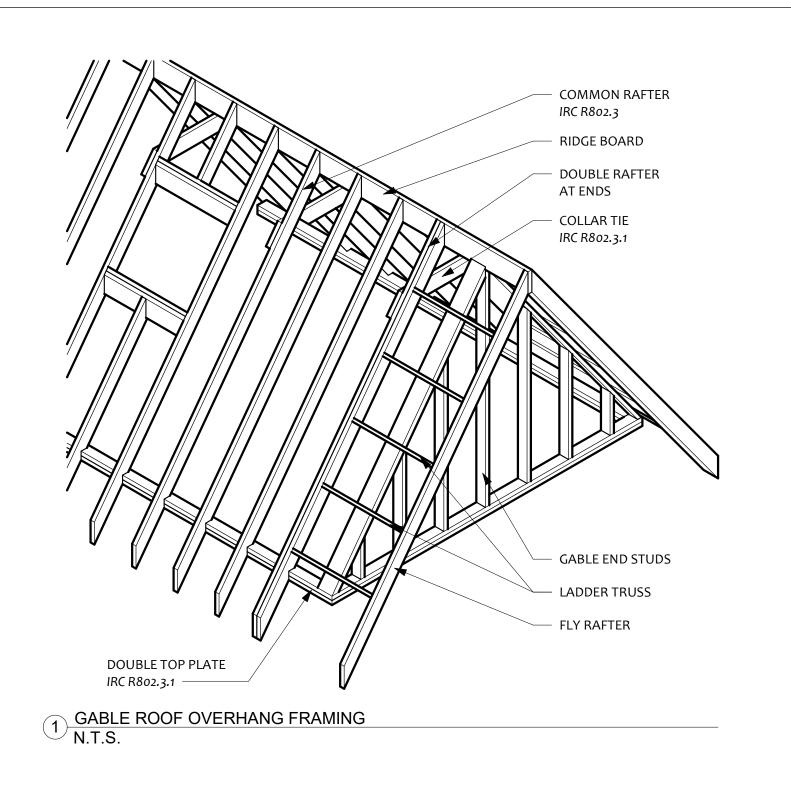
Jim & Jen Hardy

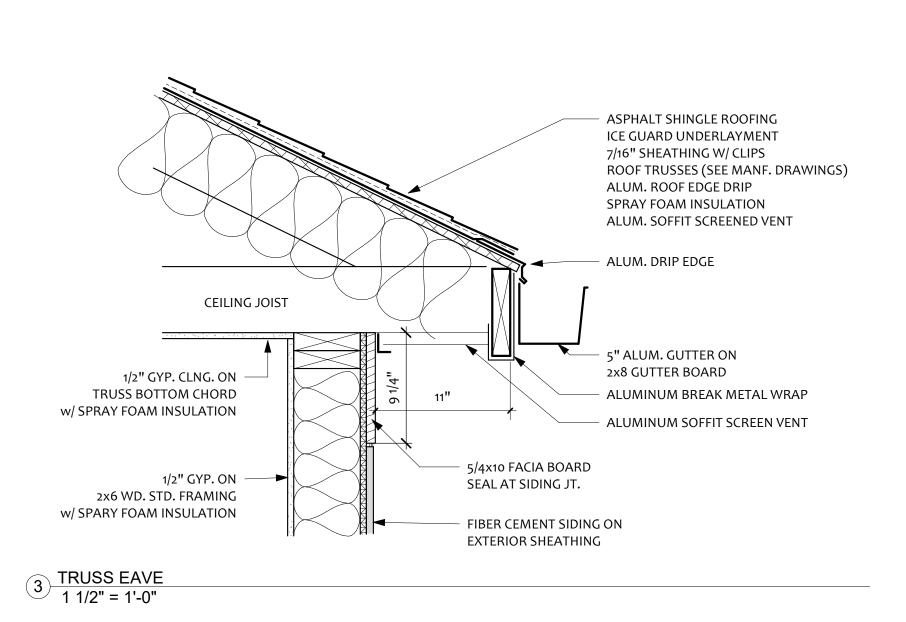
Hardy Residence

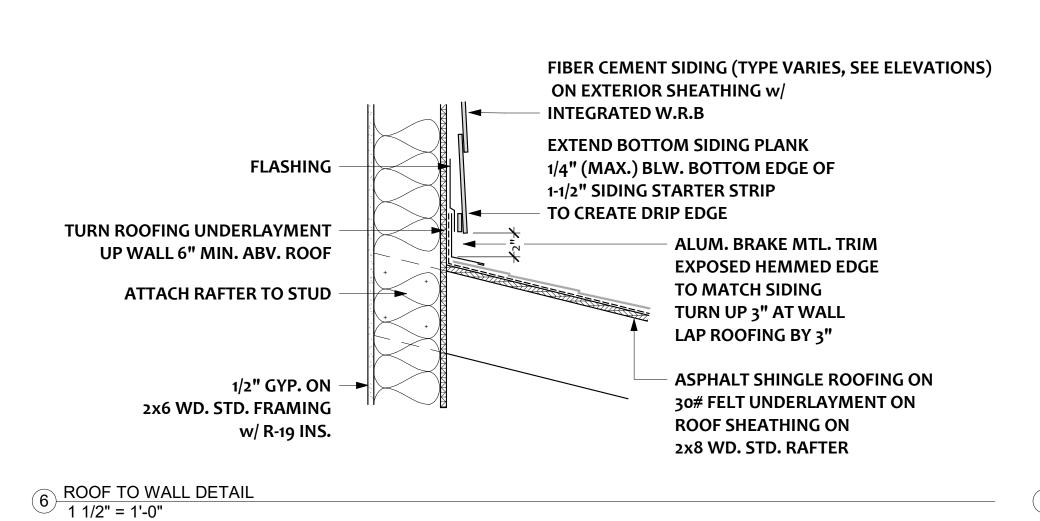
6 Second Street, Winchendon, MA 01475

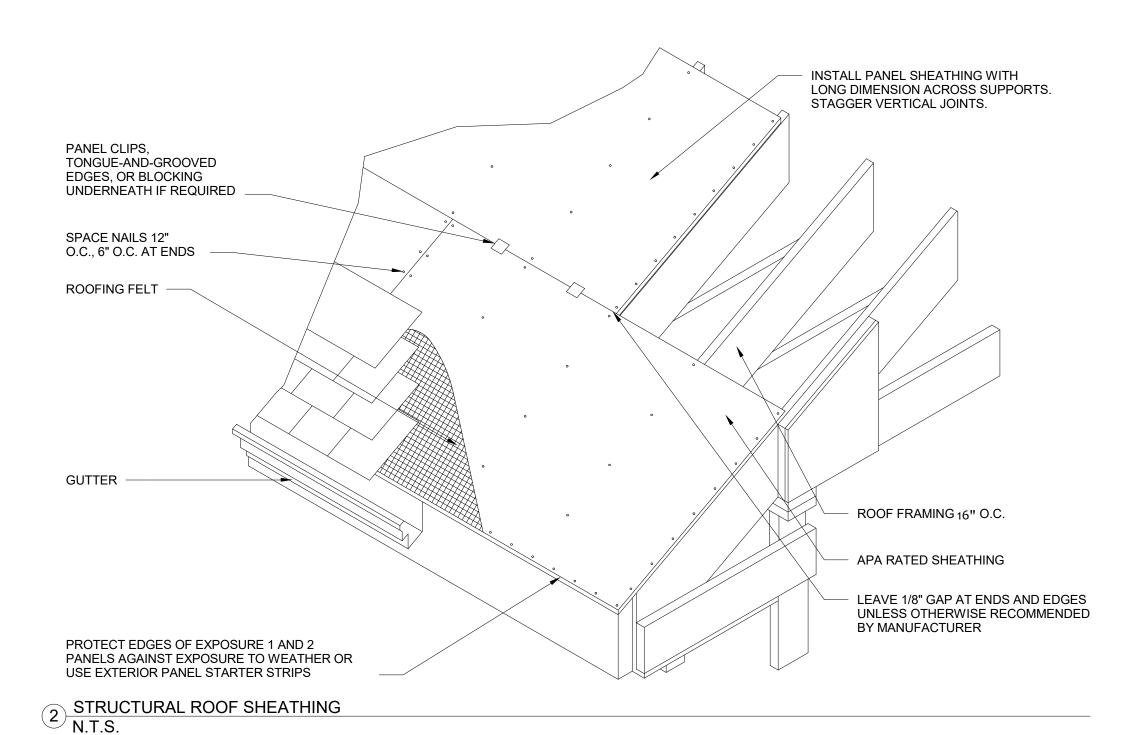
**Building Sections** 

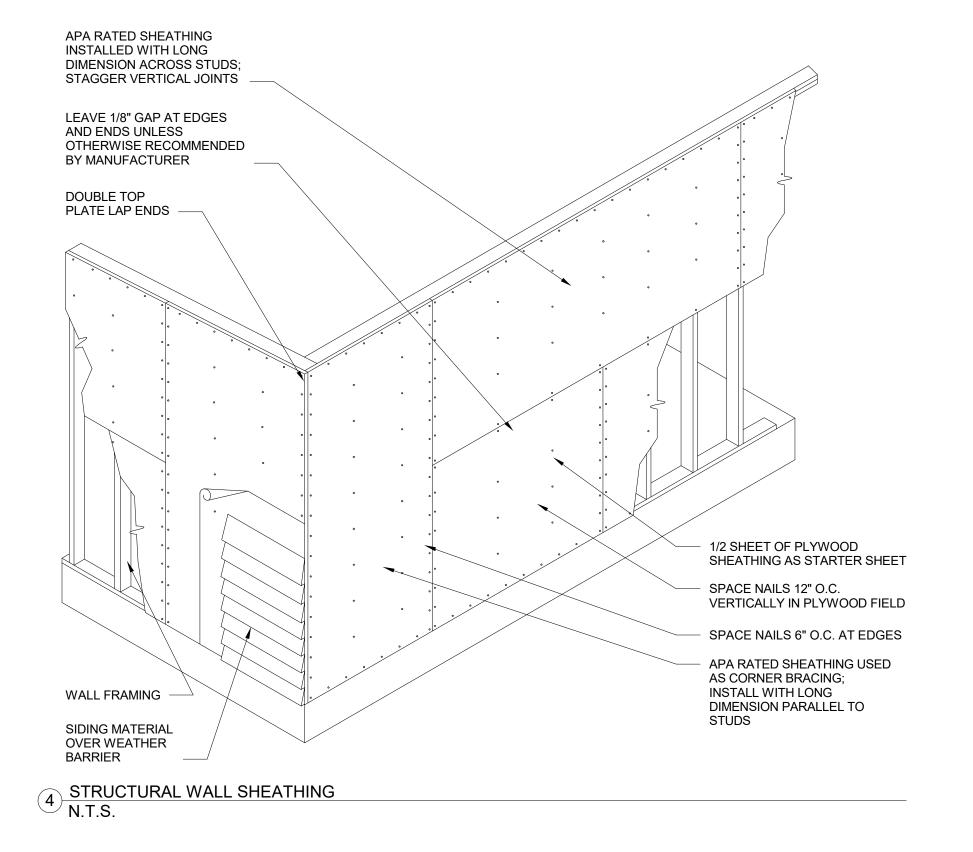
A303

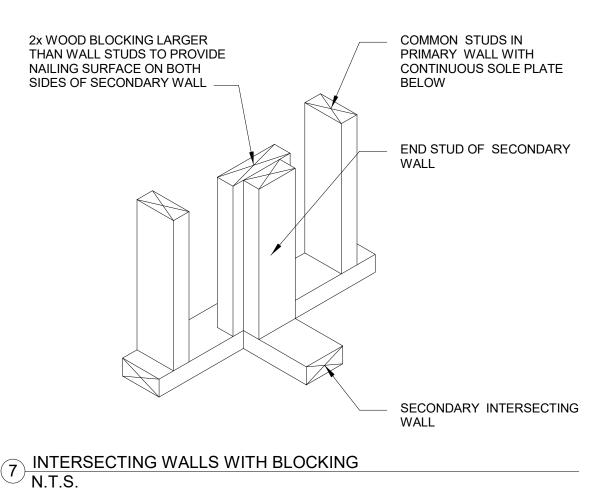












Scale As indicated
Drawn by JPM
Checked by JPM

Jim & Jen Hardy

Hardy Residence

6 Second Street, Winchendon,

MA 01475

Details

A501

t: 502.513.4342 james@JMDesign.biz services@JMDesign.biz

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DESIGN | CABINET SALES KITCHENS | BATHROOMS

CLOSETS | PHOTOGRAPHY REVIT | BIM MODELING

Project Phase

DESIGN SET ONLY

RECORD DRAWING

Sheet Scales

Project number

Project Date

PRINT DATE

NOT FOR CONSTRUCTION

RELEASED FOR CONSTRUCTION

SCALE: 3/4" = 1'-0"

Bar measures 1 inch, otherwise drawing is not to scale

SETS & REVISIONS

Description

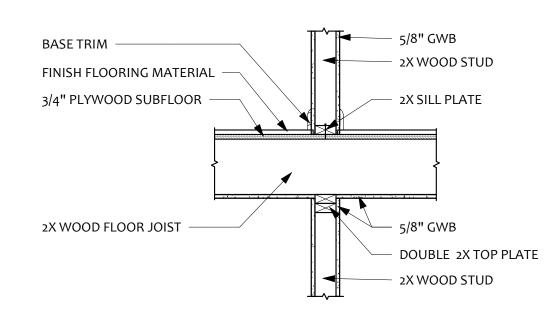
Project Number

6/25/2023 8:50:23 PM

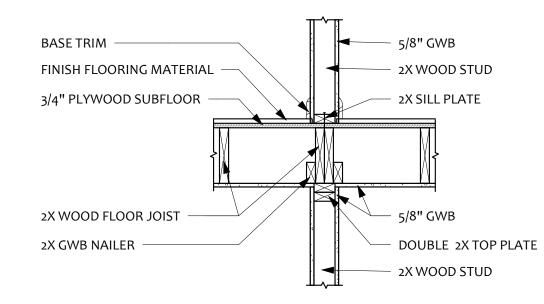
Issue Date

Date

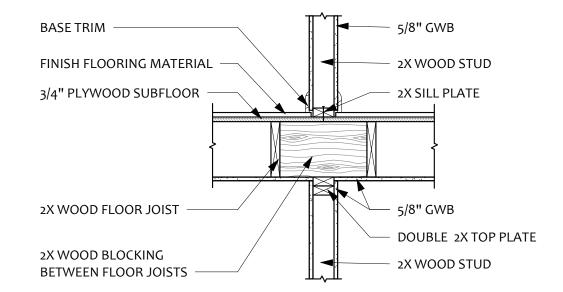
**Project Status** 



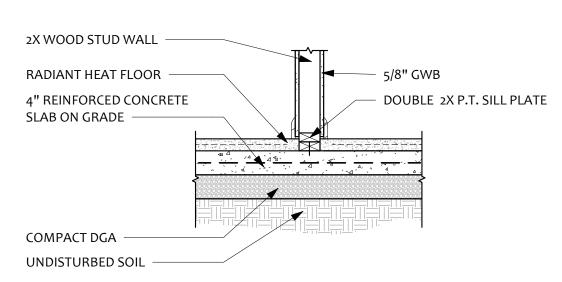
## TYPICAL WALL FRAMING @ PERPENDICULAR FLOOR JOISTS



### TYPICAL WALL FRAMING @ PARALLEL FLOOR JOISTS

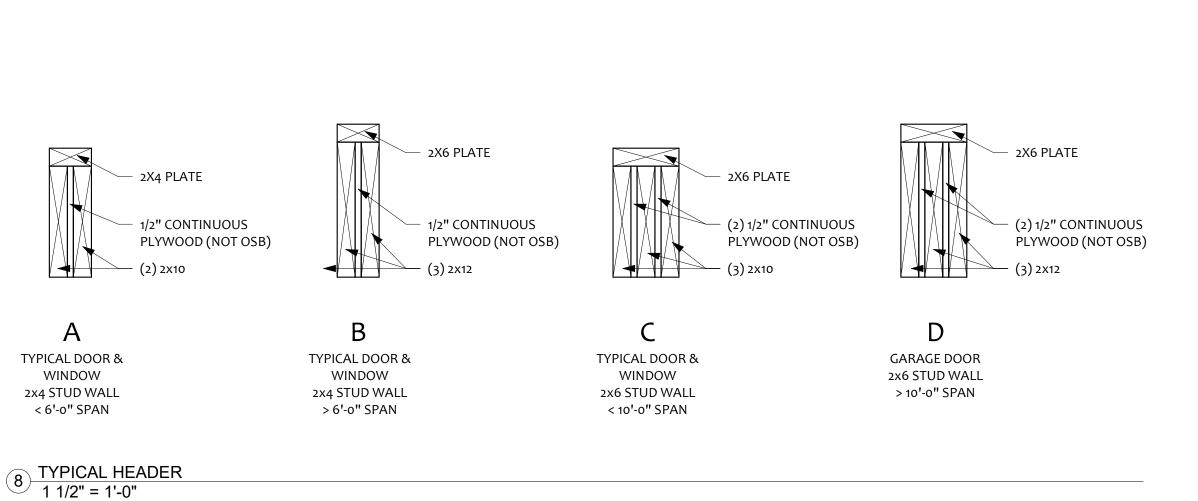


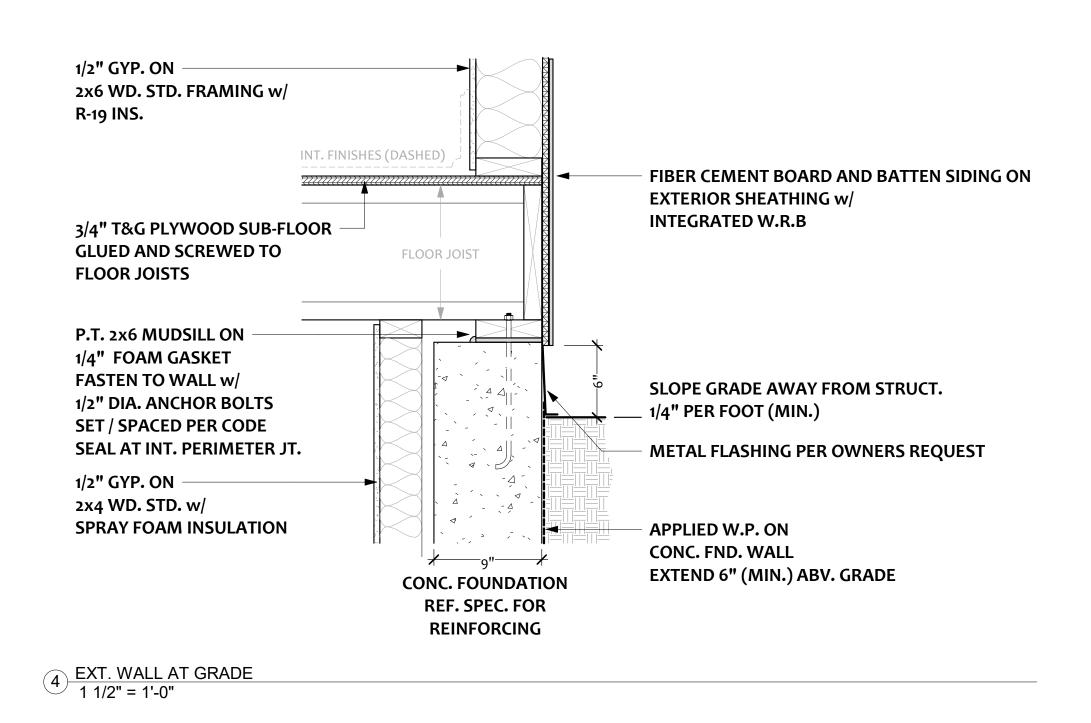
# TYPICAL WALL FRAMING BETWEEN PARALLEL FLOOR JOISTS

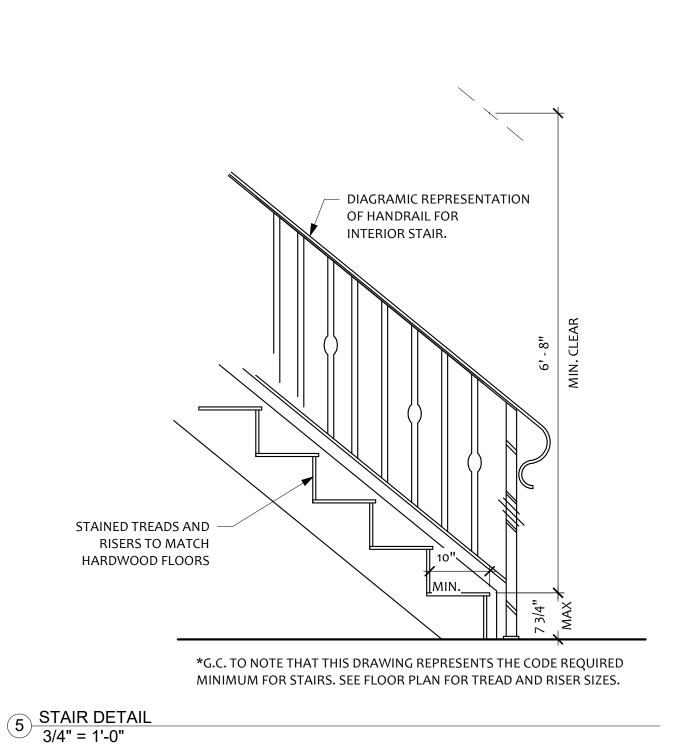


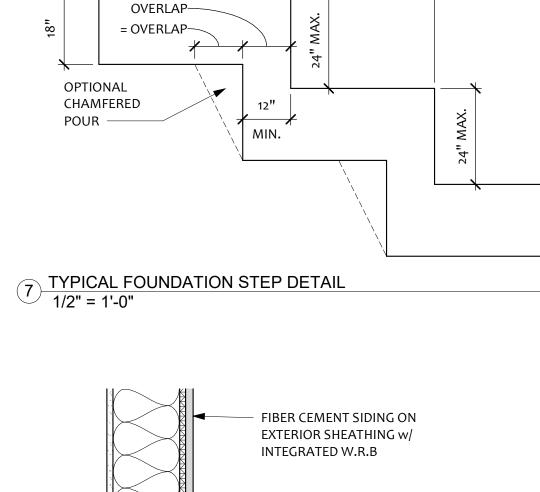
# TYPICAL WALL FRAMING @ CONCRETE SLAB

5 WALL TO FLOOR TYPICAL FRAMING DETAILS 3/4" = 1'-0"

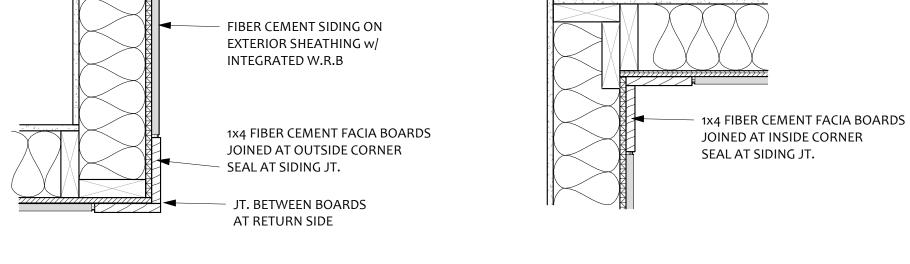








MIN. 24"



**INSIDE CORNER** 

PROTECTION BOARD,

LAP EDGES 3" MIN.

PRIMER / ADHESIVE

SEAMLESS LIQUID

MEMBRANE

PRIMER AND PROTECTION **BOARD NOT** 

SHOWN

PREFORMED SHEET OR

HORIZ. & VERT. SURFACES

DRAINAGE MAT AND INSULATION ARE NOT SHOWN

REINFORCED FABRIC FLASHING 4"-6" ON BOTH

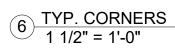
CANT OF MEMBRANE

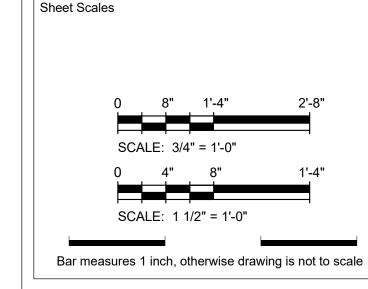
LIQUID MEMBRANE -

MANUFACTURE'S

3 LIQUID APPLIED WATERPROOFING 3/4" = 1'-0"

**OUTSIDE CORNER** 





Project Phase

DESIGN SET ONLY

RECORD DRAWING

NOT FOR CONSTRUCTION

RELEASED FOR CONSTRUCTION

**Project Status** 

AMES MATTONI t: 502.513.4342 james@JMDesign.biz services@JMDesign.biz WWW.JMDESIGN.BIZ

DESIGN | CABINET SALES KITCHENS | BATHROOMS CLOSETS | PHOTOGRAPHY REVIT | BIM MODELING

Project number		Project N	
Project Date		Issu	
PRINT DATE	6/25	5/2023 8:50	
	SETS & REVISI	TS & REVISIONS	
No.	Description		
-			

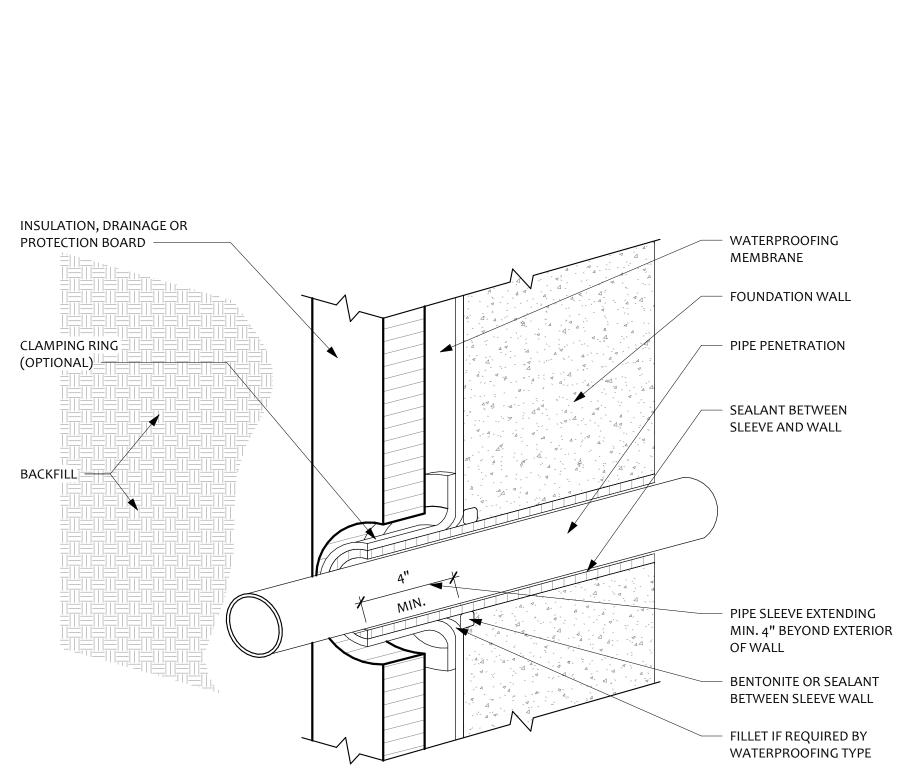
Jim & Jen Hardy

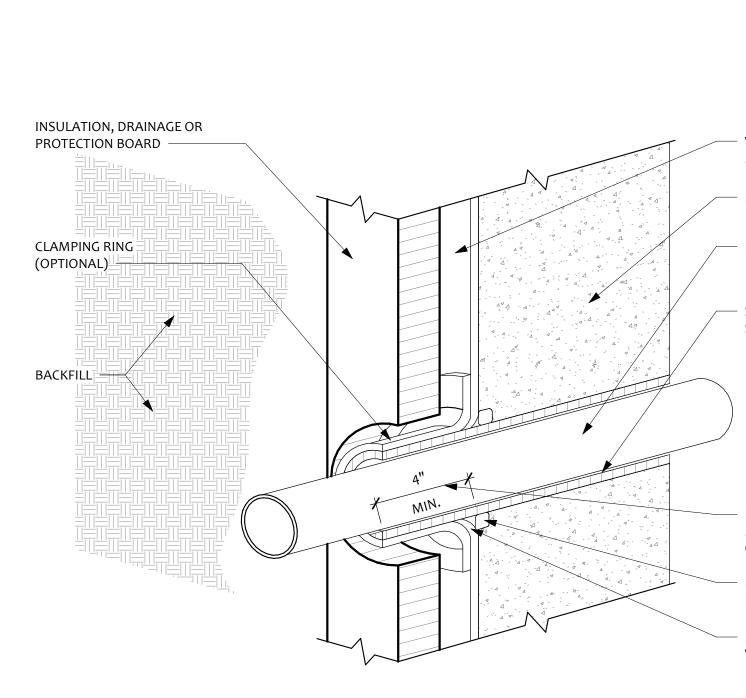
Hardy Residence

6 Second Street, Winchendon,

A502

JPM Drawn by Checked by







REF. SPEC. FOR ON CONC. FND. WALL REINFORCING 1/2" GYP. ON **EXTEND BOTTOM SIDING PLANK** 2x4 WD. STD. w/ 1/4" (MAX.) BLW. BOTTOM EDGE SPRAY FOAM OF SIDING STARTER STRIP TO CREATE DRIP EDGE APPLIED TUFF N DRY W/R-5 BOARD ON CONC. FND. WALL EXTEND 6" (MIN.) ABV. GRADE AND TO BOTTOM OF FOOTER 4" CONC. SLAB w/ -6 MIL. VAPOR BARRIER METAL FLASHING PER OWNERS REQUEST ON 4" GRAVEL ON **EARTH** 

**CONC. FOUNDATION** 

FIBER CEMENT SIDING ON

**FURRING STRIPS AS REQUIRED** 

PERIMETER DRAIN CONC. FOOTING REF. SPEC. FOR REINFORCING

1 1/2" = 1'-0"

MA 01475 **Details** 

As indicated