

# Poland & Streeter School Redevelopment

## 40B Comprehensive Permit Project Eligibility

The Department of Housing and Community Development (DHCD) is currently reviewing the Poland & Streeter School Redevelopment Project Eligibility (PE) Application submitted by Montachusett Veterans Outreach Center, Inc. DHCD has asked that the Winchendon Board of Selectmen offer comments regarding the proposal by October 30, 2020.

Project eligibility is based in part on :

- That the site of the proposed project is generally appropriate for residential development
- That the conceptual project design is generally appropriate for the site on which it is located, taking into consideration factors that may include proposed use, conceptual site plan and building massing, topography, environmental resources, and into existing development patterns
- That the project appears financially feasible and consistent with DHCD's guidelines

The town encourages you to offer comment on this project in order to provide DHCD with a letter that best reflects the collective opinion of the town.

Please forward questions or comments regarding this project to:

Keith Hickey, Town Manager

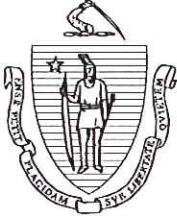
109 Front St.

Winchendon MA 01475

[khickey@townofwinchendon.com](mailto:khickey@townofwinchendon.com)

Deadline for comments is 12:00pm October 21, 2020





Commonwealth of Massachusetts  
**DEPARTMENT OF HOUSING &  
COMMUNITY DEVELOPMENT**

Charles D. Baker, Governor ♦ Karyn E. Polito, Lt. Governor ♦ Jennifer D. Maddox, Undersecretary

September 30, 2020

Chairman Mike Barbaro  
Winchendon Board of Selectmen  
Town of Winchendon Massachusetts  
109 Front Street, Dept. 1  
Winchendon, MA 01475

Re: Chapter 40B Comprehensive Permit

Project Name: Poland and Streeter Schools Redevelopment  
Location: 0 Oak Street, Winchendon, MA  
Number of Units: 44  
Subsidizing Agency: Department of Housing and Community Development  
Applicant: Montachusett Veterans Outreach Center

Dear Chairman Barbaro:

This will serve to notify you, pursuant to 760 CMR 56.04 (3), that the above-named Applicant has applied to the above-named Subsidizing Agency under the Low Income Housing Tax Credit program for preliminary approval of the above-referenced project. The project is a rental project, with a total of 44 units, of which 44 (100%) are low income under 40B.

Enclosed please find a copy of the application for your review. The review period for comments ends 30 days from the date of this letter. Any comments will be considered prior to issuing a determination of Project Eligibility. Please address comments to:

Rebecca Frawley Wachtel, Director  
Low Income Housing Tax Credit Program  
DHCD  
100 Cambridge Street, 3<sup>rd</sup> Floor  
Boston, MA 02114

If and when an application is made for a comprehensive permit, assistance is available to the Zoning Board of Appeals to review the permit application. The Massachusetts Housing Partnership's (MHP) Ch. 40B Technical Assistance Program administers grants to municipalities for up to \$10,000 to engage qualified third-party consultants to work with the ZBA in reviewing the Ch. 40B proposal. For more information about MHP's technical assistance grant visit MHP's web site, [www.mhp.net](http://www.mhp.net) or e-mail [community@mhp.net](mailto:community@mhp.net).

If you have any questions regarding this letter, please feel free to call Rebecca Frawley Wachtel at 617-573-1318.

Sincerely,

Catherine Racer  
Associate Director



## Montachusett Veterans Outreach Center, Inc.

268 Central Street

Gardner, Massachusetts 01440

Phone (978)632-9601

Fax (978)632-9476

[www.veterans-outreach.org](http://www.veterans-outreach.org)



September 22, 2020

Rebecca Frawley Wachtel  
LIHTC Program Director  
Department of Housing and Community Development  
100 Cambridge Street, Suite 300  
Boston, MA 02114

### **RE: Application for 40B Eligibility Letter for Poland and Street Schools Redevelopment**

Ms. Frawley Wachtel,

The Montachusett Veterans Outreach Center is proposing the historic renovation of the Streeter and Poland schools for the creation of 44 units of affordable housing for military veterans. At the behest of the Town of Winchendon, this project is seeking 40B eligibility and will apply for a Comprehensive Permit.

The proposed project is comprised of 44 affordable, one-bedroom units in two former school buildings and a new addition that will be constructed at the rear of the buildings and effectively connect the two existing structures. Further, the planned addition will allow for new administrative office and program spaces. The proposed design is preliminary and incorporates MVOC's desire to provide an optimal amount of housing for veterans. Modifications to the design and scale will be made as necessary in response to available funding as well as comments from the National Park Service and Massachusetts Historic Commission.

These 1-bedroom units will range in size and be available to veterans seeking affordable and independent permanent housing. The renovation of these buildings will include careful treatment to the historic features of each building while also incorporating energy efficient systems. The units will be designed with aging-in-place in mind. At a minimum, 4 units will be fully ADA compliant. The rest of the units can be converted to ADA compliance should there be demand.

The development team will be seeking an award of Low Income Housing Tax Credits to fund the project, along with State subsidies and Historic Tax Credits.

Please accept the following as our application for Project Eligibility.

Sincerely,

Charles Murphy  
Executive Director

## Site Description

The proposed project will redevelop the site located at 0 Oak Avenue in Winchendon, MA. This project consists of 44 units of veterans housing, with support spaces on a 3.8 acre site. The housing will be provided in a mix of historic renovation of two existing schools, and new additions to those buildings. The total size of the project is 39,731 gsf on three levels. Streeter School, 14,870 gsf in size and Poland School, 8,230 gsf, are to be fully renovated. New construction includes 16,631 gsf to be added in two portions—between the existing buildings and on the eastern end of Streeter School.

The existing site will be improved with a new entry drive, parking for 22 vehicles, new sidewalks at Murdock Ave., granite curbing, walkways throughout the complex, new plantings and exterior lighting. Activity areas are planned, with furnishings and equipment to invite resident use. Additionally, the new site will include a courtyard along with recreational areas such a bocce court, grill area and raised planning beds for gardening. In recognition of the veterans living at the development, there will be a columbarium memorial.

The project has been deemed eligible for historic tax credits, and work on the two schools will carefully preserve historic features that contribute to the architectural significance of the schools. In Streeter school, built in 1939, original woodwork, doors, plaster finishes, chalkboards, and hardwood floors will be retained. Poland School, built in 1924, has deteriorated more; the existing stamped metal ceilings will be preserved or refurbished.

New construction will complement the handsome red brick masonry and wood features in the historic schools, with metal and cement board siding, new casement and fixed light glazing. The new construction is scaled to harmonize with the architecture of the original schools.

## Unit Mix

The existing buildings will be fully renovated and repurposed for housing. Upon completion of the renovation, the Streeter building will yield 17 1-bedroom units and the Poland building will yield 7 1-bedroom units. An additional 22 new units will be newly constructed as part of the addition adjoining the two buildings. Units will vary in size, between 470 SF and 690 SF. The table below illustrates the proposed unit mix.

Unit Size	Poland Building (Rehab)	Streeter Building (Rehab)	New Construction	Total
1BR	7	17	22	44
2BR				
3BR				
<b>TOTAL</b>				<b>44</b>

## Unit Affordability

All 44 units will be marketed to low-income military veterans, with a preference for homeless veterans. Early market analysis indicates a strong demand for decent, affordable housing in Winchendon and the surrounding area. Regionally, rental housing stock is low and in poor condition. In contrast to the Great Boston area, communities in Central MA are broader and more regionally driven, rather than

neighborhood driven. As such, a market study will demonstrate that these units will be filled by Winchendon residents as well as residents from surrounding towns such as Gardner, Athol and Greenfield. All units will be subsidized by rental assistance programs, specifically HUD VASH Program Vouchers, HUD Project Based Vouchers and State MRVP's. Please refer to Section 1 of the attached OneStop Application for a detailed tabulation of rental assistance subsidy by unit.

**Zoning District - R10 - Neighborhood Residential**  
**0 Oak Street, Winchendon, Tax ID # 5B2 0 118**

4.9.4.3 Lighting Standards

Externally lit signs, display, buildings and aesthetic lighting must be lit from the top and shine down.  
**PROPOSED FLAG POLE LIGHT MAY REQUIRE VARIANCE**

4.9.9.5 HVAC Unit Screening

HVAC units may be screened by roof ridge lines so they are not visible from the front of the building. **ROOFTOP HVAC UNITS MAY REQUIRE A VARIANCE.**

5.2 Schedule of Use Requirements

**MULTIFAMILY DWELLINGS IN R10 REQUIRE SPECIAL PERMIT**

7.2 Dimensional & Density Requirements

Existing and proposed building height exceeds maximum height.  
**VARIANCE REQUIRED**

	<i>R10</i>	<i>0 Oak Street</i>
<i>Min. Buildable Lot Area</i>	<i>10,000sf</i>	<i>166,072sf</i>
<i>Min Frontage</i>	<i>75ft</i>	<i>230ft</i>
<i>Front Setback</i>	<i>20ft</i>	<i>33.4ft</i>
<i>Side Setback*</i>	<i>10ft</i>	<i>68ft, 79.6ft</i>
<i>Rear Setback</i>	<i>20ft</i>	<i>340ft</i>
<i>Maximum Height</i>	<i>2.5 story</i>	<i>3 story</i>
<i>Max Manmade Height</i>	<i>35ft</i>	<i>35ft</i>
<i>Max Impervious Surface</i>	<i>25%</i>	<i>24%</i>
<i>Temp Structure Setback</i>		
<i>Side</i>	<i>5ft</i>	<i>25ft</i>
<i>Rear</i>	<i>10ft</i>	<i>90ft</i>

*Lots having frontage on more than one street shall maintain the front setback for all such frontage streets appropriate for the zone in which it lies. Any remaining lot lines shall be considered side lot lines for setback purposes.*

11.10.3 Maximum number of dwelling units is 6x acreage  
VARIANCE REQUIRED

11.12.1.7 Parking Requirement- Each dwelling must have 2 off-street parking spaces VARIANCE  
REQUIRED

### **Design of Proposed Massing**

The existing Streeter and Poland School buildings are two of what were once three small neighborhood school buildings serving the single family and two family homes of what was once the geographic and civic center of Winchendon. The existing buildings are two and a half stories high on a relatively flat lot in an orthogonal block. The slope of the site falls several feet from the edge of the existing building towards Murdock Avenue at the front, and the side streets of Oak and Park. The rear lot line adjoins an open space area that was once a baseball field for the school. This field, in turn, adjoins the rear lot line of several residences facing Lincoln Ave. The three faced sides of the 2.44 acre building lot have concrete sidewalks. Walkways from these sidewalks lead to the formal entrances to the schools, the most prominent of which are the west entrance of the Streeter Building and the south entrance of the Poland Building. Because the lowest level of each building is a half story below grade, the formal entries bring visitors up one flight of exterior stairs to the second level of each building in the existing configuration.

Working with the project historic consultant it was determined that the renovation/addition plans should preserve and honor the existing buildings and the two formal entry points while creating new entry points that are accessible to all visitors at grade level. It was also agreed that any addition made to the building should be less prominent than the original buildings. For this reason, the proposed addition includes two small volumes, neither of which is larger in scale than the original Streeter Building.

The first insertion or addition is the mass that connects the two existing buildings and creates two new entry points-- the first entry facing Murdock Ave, the traditional front of the building, and the second facing to the east and the new parking area which is the most likely point of entry for a resident or staff member. This connecting mass contains entry vestibules, an elevator tower, a community day room, an administrative office, a clinic and several dwelling units. The primary circulation axis of the combined project runs north to south through this mass. The circulation axis, elevator landings and dwelling units repeat at all three floor levels. This is an L-shaped volume that connects to the Poland Building's north face leaving open a generous courtyard that allows daylight to enter the six south-facing units proposed for the existing Streeter building.

The second insertion is the addition of an additional mass to the rear and east of the existing Streeter building. This mass mimics the Streeter Building in scale but is slightly less wide so that the connection to Streeter is structurally simpler and less heavy. This addition contains 3 units per floor plus a stair tower.

The two additions together add 20 units to the 24 dwelling units that can be constructed in the existing building masses. The total 44 units achieve an overall program that helps to meet the considerable housing needs of veterans in the Winchendon area at a scale of operations that is cost effective to operate.

The final critical move of the design is the lowering of the gradeline around the building by roughly 18 inches to enable lowering of the window sills on the existing buildings for egress purposes. The lower level floor will be raised to insure all window sills are set at or below 30 inches in height. The connection between the two buildings includes sloping corridor floors and at times stairs to overcome the differences in levels between the two buildings. The multistop elevator ensures that all but one unit are fully handicapable.

**TOWN OF WINCHENDON**  
**OFFICE OF THE TOWN MANAGER**

109 Front Street, Dept. 1, Winchendon, Massachusetts 01475-1758

Telephone: (978) 297-0085

Fax: (978) 297-1616

khickey@townofwinchendon.com

March 23, 2020

**RE: Letter of Designation  
Request for Proposals for Development  
Former Poland and Street Schools**

Dear Mr. Murphy:

I am pleased to inform you that the Town of Winchendon ("Town") hereby designates Montachusett Veterans Outreach Center as developer (the "Designated Developer") for the development of the former Poland and Streeter schools located on Oak Street in Winchendon (the "Property"), based on the Designated Developer's response to the above referenced Request for Proposals ("RFP") submitted to the Town on February 10, 2020. This designation is subject to the terms of this Letter of Designation and those set forth in the RFP.

This designation is valid during the designation time frame, as defined in the RFP. Extensions may be granted at the discretion of the Town. Should funding commitments not be obtained by June 30, 2025, the Property will revert to the Town at its sole discretion.

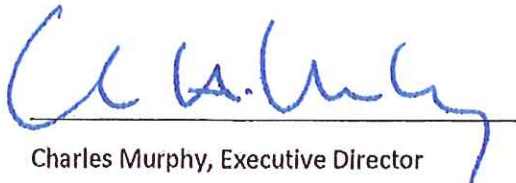
After acceptance of this Letter of Designation, the Designated Developer shall: (1) negotiate a Purchase and Sale Agreement to be executed by the parties; (2) comply with all terms, provisions, submission timeframes, and requirements of the RFP, the proposal, and the documents attached thereto; and (3) execute and record a Land Development Agreement at the closing of the Property.

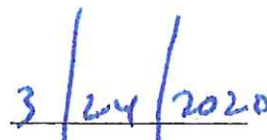
Kindly signify your acceptance of the terms of this Letter of Designation by signing in the space indicated below and returning within seven (7) days. Please contact the undersigned at (978)-297-5404 if you have any questions.

Sincerely,

  
Keith Hickey  
Town Manager

I accept the terms identified in this Letter of Designation.

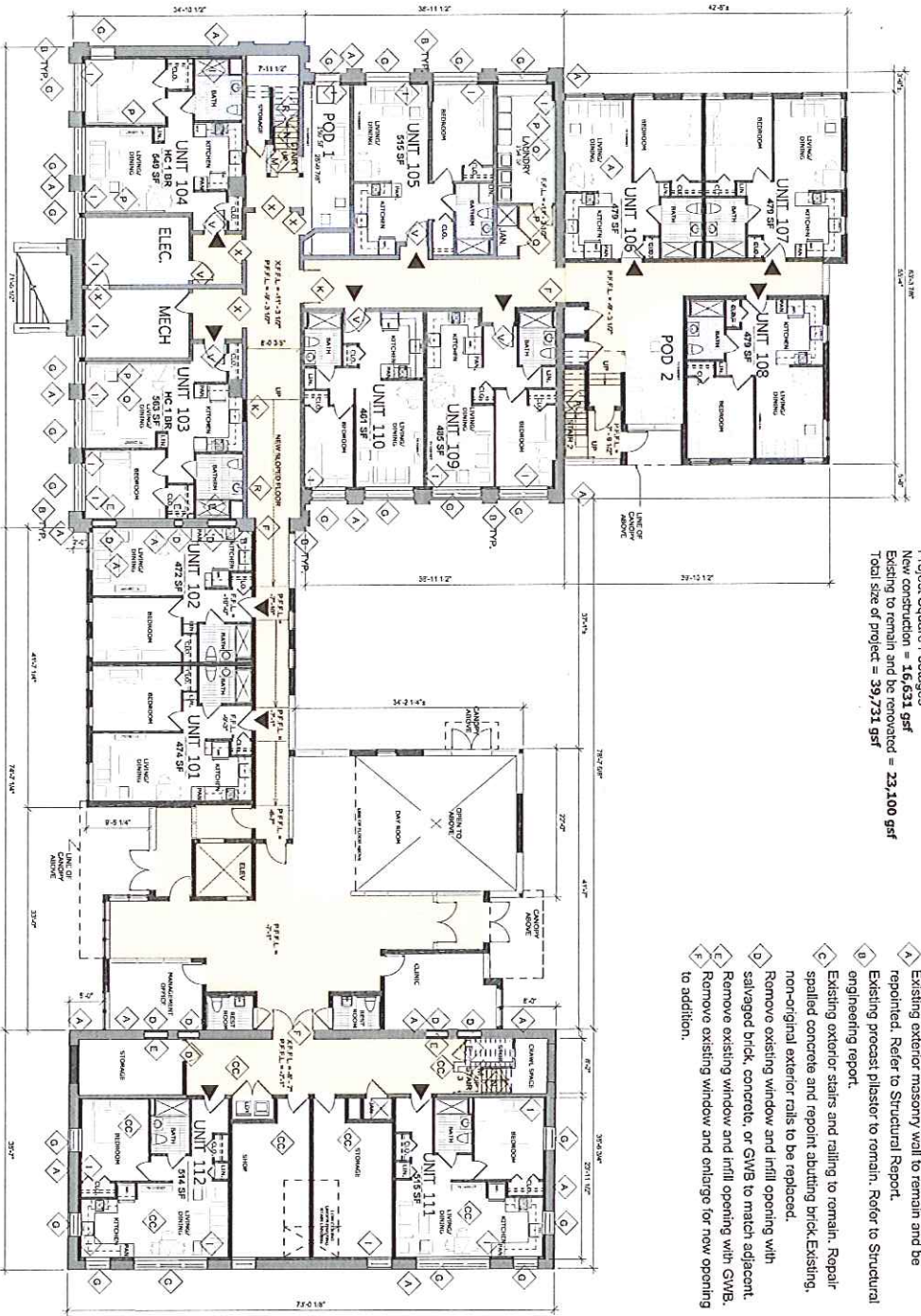
  
Charles Murphy, Executive Director

  
Date









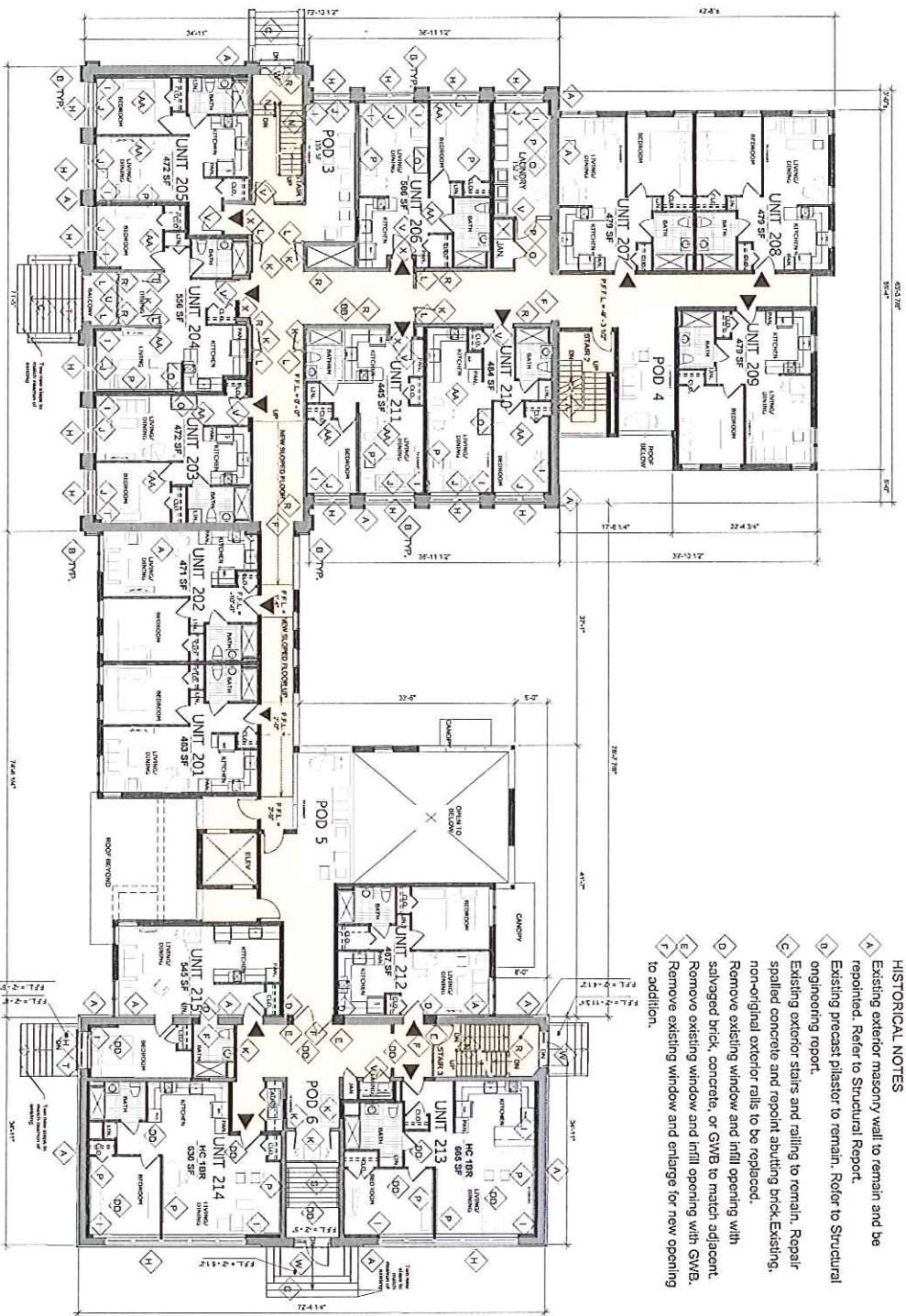
1 PROPOSED GARDEN LEVEL  
1/16" = 1'-0"

Project Square Footages  
 New construction = 16,631 gsf  
 Existing to remain and be renovated = 23,100 gsf  
 Total size of project = 39,731 gsf

HISTORICAL NOTES

- A Existing exterior masonry wall to remain and be repaired. Refer to Structural Report.
- B Existing process pilaster to remain. Refer to Structural engineering report.
- C Existing exterior stairs and railing to remain. Repair spalled concrete and repair abutting brick. Existing, non-original exterior rails to be replaced.
- D Remove existing window and infill opening with salvaged brick, concrete, or GWB to match adjacent.
- E Remove existing window and infill opening with GWB. Remove existing window and enlarge for new opening to addition.

- G Remove existing window, enlarge the opening to lower sill, and install new taller window but matching appearance and profile of existing.
- H Replace existing window with new window matching appearance and profile of existing.
- I Fur out exterior wall with insulation and GWB finish.
- J Existing ceramic glazed brick tile window sill to remain. Trim turret wall around existing ceramic tile glazed brick window sill.
- K Retain existing door in place. Pin as indicated.
- L Retain existing sillestes, transom, and trim.
- M When floor is raised, extend newel post and adjust rail to flatten at new bottom stair to extended newel post.
- N Salvaged & raised rail.
- O Salvaged and relocated cabinet. Adjust, repair/replace drawer hardware to match existing function.
- P Salvaged and relocated slate blackboard and trim. Salvaged wood trim to remain in current location where possible.
- Q Protect existing wainscot, repair/refinish as needed.
- R New 26"H rail with lockable gate.
- T New 42" H railing.
- U Existing doors to remain. Refurbish & adjust hardware as needed.
- V Salvaged and relocated door and/or sidelite.
- W New door to match historic.
- X Existing wall opening to remain. Provide door where shown.
- Y Existing stretcher chimney to remain. Repair and report as needed.
- Z Existing Palmd chimney to be taken down carefully for new addition. Salvaged brick shall be reinstalled from level of new connector roof to original height of chimney. Provide new backup structural wall and roof support. Refer to structural.
- AA Existing wood floor to remain; protect and refinish.
- AB Salvaged and relocated bulletin board and trim.
- AC Area of raised floor; refer to sections.
- AD Salvage and protect existing in ceiling material.
- AE Area of new roof framing where mechanical chase demolished.

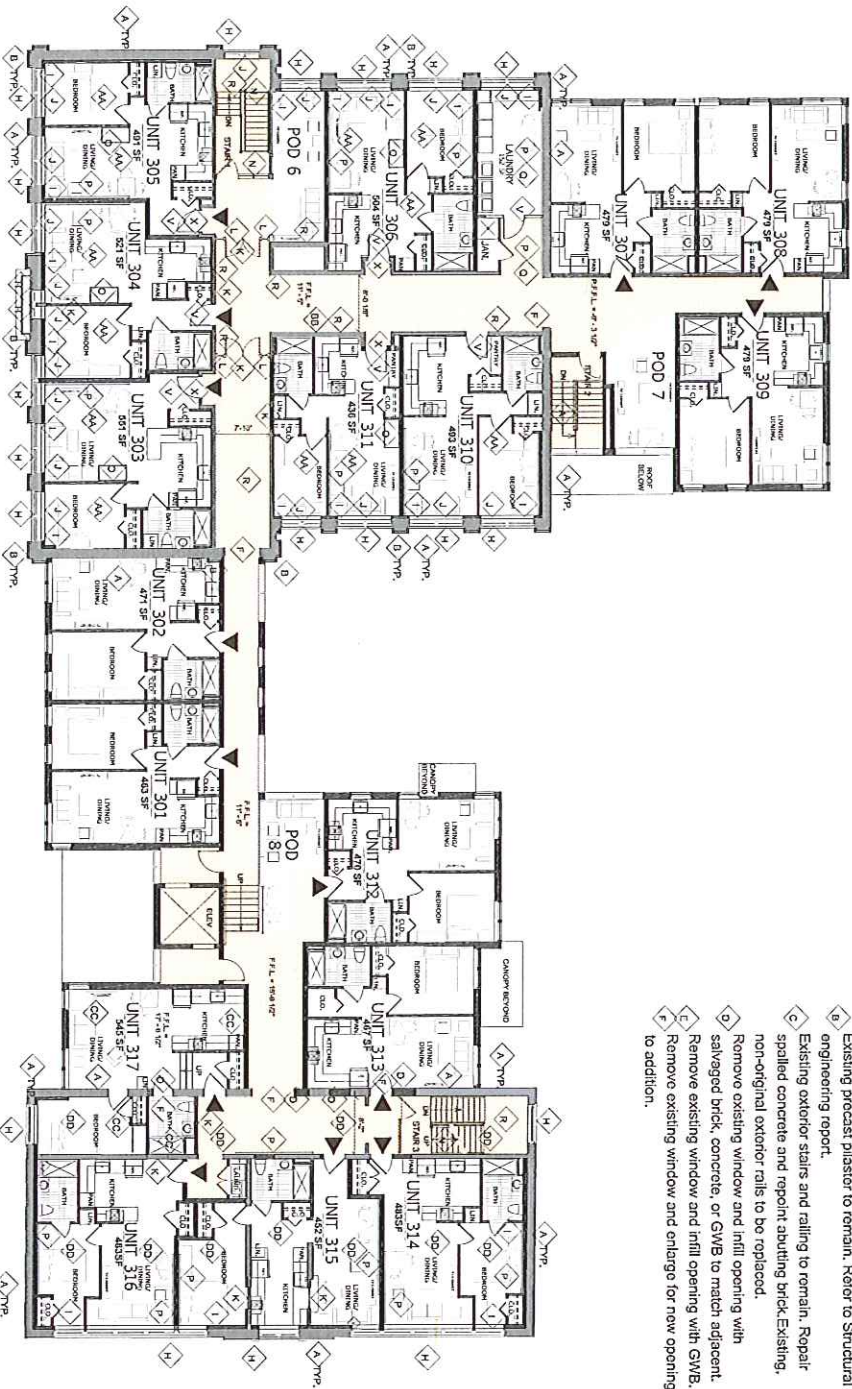


2 PROPOSED FIRST FLOOR  
1/16" = 1'-0"

- HISTORICAL NOTES**
- A Existing exterior masonry wall to remain and be repaired. Refer to Structural Report.
  - B Existing precast plaster to remain. Refer to Structural on/hollowing report.
  - C Existing exterior stairs and railing to remain. Repair spalled concrete and repaint abutting brick. Existing, non-original exterior rails to be replaced.
  - D Remove existing window and infill opening with salvaged brick, concrete, or GWB to match adjacent.
  - E Remove existing window and infill opening with GWB. Remove existing window and enlarge for new opening to addition.

- G Remove existing window, enlarge the opening to lower sill, and install new taller window but matching appearance and profile of existing.
- H Replace existing window with new window matching appearance and profile of existing.
- I Furnish exterior wall with insulation and GWB finish.
- J Existing ceramic glazed brick tile window sill to remain. Trim turned wall around existing ceramic tile glazed brick window sill.
- K Retain existing door in place. Pin as indicated.
- L When floor is raised, extend newel post and adjust rail to fatten at new bottom stair to extended newel post.
- M Salvaged & raised rail.
- N Salvaged and relocated cabinet. Adjust, repair/replace drawer hardware to match existing function.
- O Salvaged and relocated slate blackboard and trim, where possible.
- P Protect existing wainscot; repair/refinish as needed.
- Q New 36" H rail with lockable gate.
- R New 42" H railing.
- S Existing doors to remain. Rubbish & adjust hardware as needed.
- T Salvaged and relocated door and/or sidelite.
- U New door to match historic.
- V Existing wall opening to remain. Provide door where shown.
- W Existing Stretcher chimney to remain. Repair and report as needed.
- X Existing Pland chimney to be taken down carefully for new addition. Salvaged brick shall be reinstalled from level of new connector roof to original height of chimney. Provide new backup structural wall and roof support. Refer to structural.
- Y Existing wood floor to remain; protect and refinish.
- Z Salvaged and relocated bulletin board and trim.
- AA Area of raised floor; refer to sections.
- BB Salvage and protect existing tin ceiling material.
- CC Area of new roof framing where mechanical chase demolished.





3 PROPOSED SECOND FLOOR  
1/16" = 1'-0"

**HISTORICAL NOTES**

- 1 Existing exterior masonry wall to remain and be repaired. Refer to Structural Report.
- 2 Existing precast pilaster to remain. Refer to Structural engineering report.
- 3 Existing exterior stairs and railing to remain. Repair spalled concrete and report abutting brick. Existing, non-original exterior rails to be replaced.
- 4 Remove existing window and infill opening with salvaged brick, concrete or GWB to match adjacent.
- 5 Remove existing window and infill opening with GWB. Remove existing window and enlarge for new opening to addition.

- 6 Remove existing window, enlarge the opening to lower sill, and install new taller window but matching appearance and profile of existing.
- 7 Replace existing window with new window matching appearance and profile of existing.
- 8 Furr out exterior wall with insulation and GWB finish. Existing ceramic glazed brick tile window sill to remain. Trim furred wall around existing ceramic tile glazed brick window sill.
- 9 Retain existing door in place. Pin as indicated.
- 10 Retain existing sashes, transom, and trim.
- 11 When floor is raised, extend newel post and adjust rail to flatten at new bottom stair to extended newel post.
- 12 Salvaged & raised rail.
- 13 Salvaged and relocated cabinet. Adjust, repair/replace drawer hardware to match existing function.
- 14 Salvaged and relocated slate blackboard and trim, where possible.
- 15 Protect existing wainscot, repair/refinish as needed.
- 16 New 36"H rail with lockable gate.
- 17 New 42" H railing.
- 18 Existing doors to remain. Refurbish & adjust hardware as needed.
- 19 Salvaged and relocated door and/or sash.
- 20 New door to match historic.
- 21 Existing wall opening to remain. Provide door where shown.
- 22 Existing Streeter chimney to remain. Repair and report as needed.
- 23 Existing Poland chimney to be taken down carefully for new addition. Salvaged brick shall be reinstalled from level of new connector roof to original height of chimney. Provide new backup structural wall and roof support. Refer to structural.
- 24 Existing wood floor to remain; protect and refinish.
- 25 Salvaged and relocated bulletin board and trim.
- 26 Area of raised floor; refer to sections.
- 27 Salvage and protect existing tin ceiling material. Area of new roof framing where mechanical chase demolished.





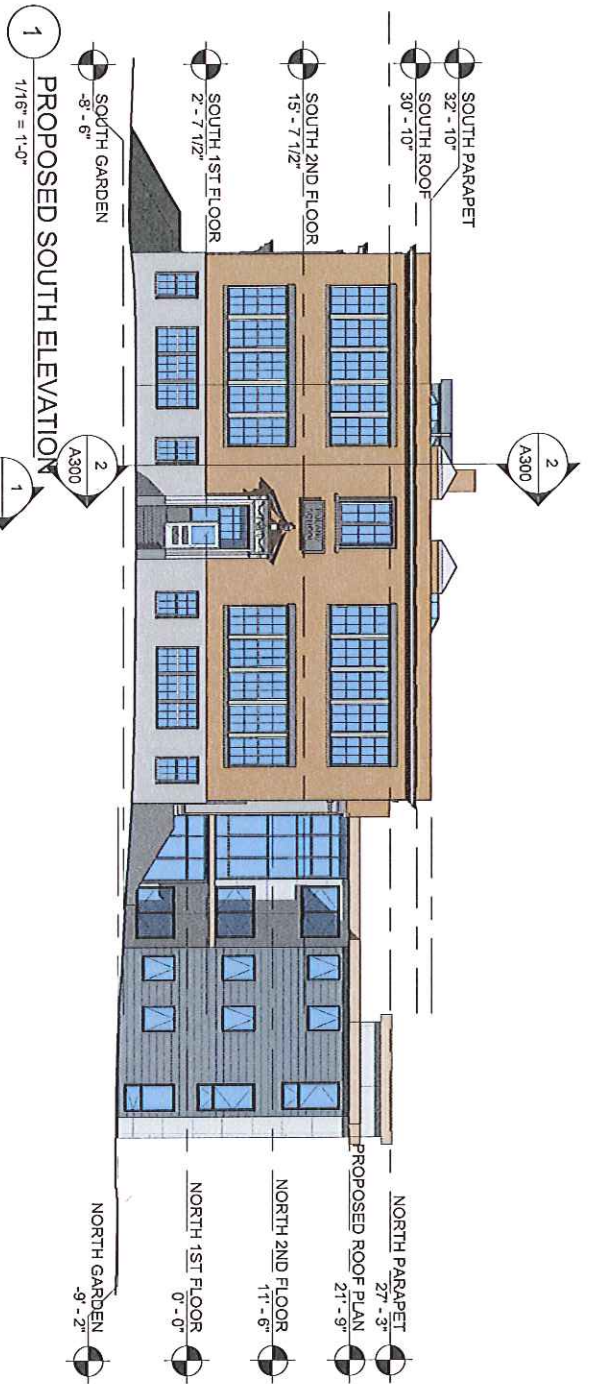
1  
1/16" = 1'-0"

- GENERAL NOTES**
1. Precast planters to remain.
  2. Cast rail to be inspected and resealed.
  3. All existing exterior doors to be inspected and repaired.
  4. Repair of structural steel framing per applicable Building Code and Fire Protection Specifications.
  5. Existing exterior unit masonry to be repaired.
  6. Exterior stairs to remain and be waterproofed from below to meet new grade.
  7. Exterior stair risers are not shown in existing and elevations. Meet fire to be replaced with new risers.
  8. Exterior walls to be removed, infill and composite panel to be reinstalled at same location to maintain appearance.
  9. Existing, unoriginal aluminum door frames to be replaced with new, stainless steel frames.
  10. Existing, unoriginal doors at existing buildings to be replaced with insulated, gasketed doors and sashes.
  11. New exterior doors at existing buildings to be replaced with insulated, gasketed doors and sashes.
  12. Existing wood canopy on north and south elevations to be rebuilt in-kind.
  13. Existing lower level openings at Streeker to be expanded to meet egress requirements.
  14. Existing historic windows to be replaced per window specifications and in keeping with Dept. of Interior Standards.
  15. Existing Streeker chimney to be rebuilt from re-used brick units.
  16. Existing brick chimney to be removed for relocation.
  17. Scaffolding to be added to existing for removal of brick chimney.
  18. Existing over subgrade storage area in Streeker to be demolished and removed.
  19. Existing north, basement level boiler room in Poland to be demolished and replaced with new boiler room.
  20. Scheduling for new construction to consist of floor concrete panel and rebar about mid.
  21. Grading lines shown for illustration purposes. See Site Plan for grading.
  22. Raised floor levels in Streeker and Poland indicated on Building Section Sheets A200 and A201.

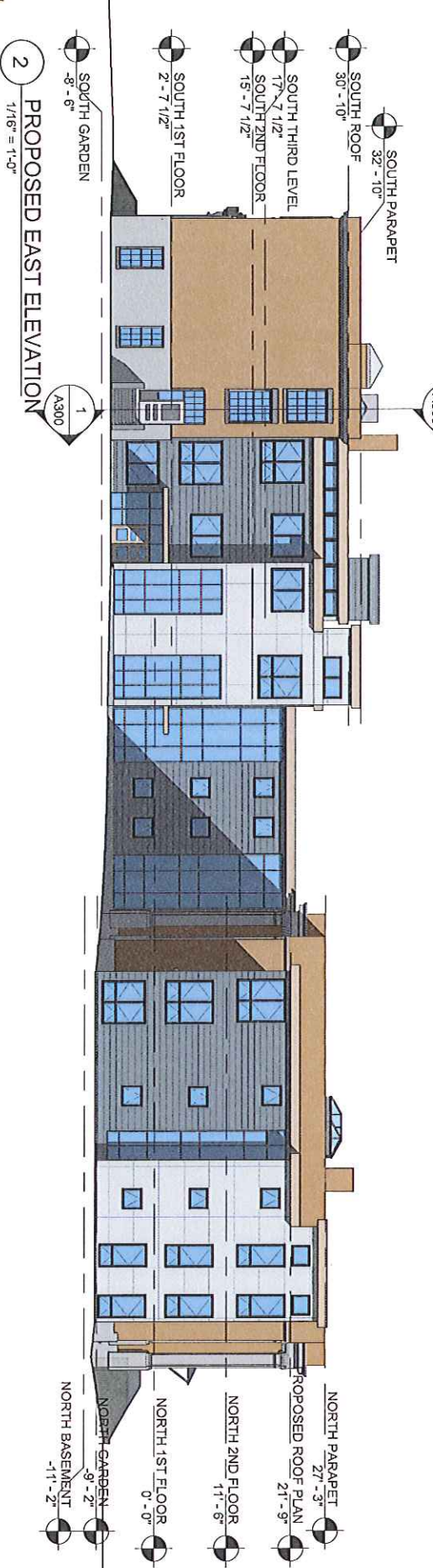


2  
1/16" = 1'-0"

SCALE: As indicated



- GENERAL NOTES**
1. Present conditions to remain.
  2. East side to be replaced and restituted.
  3. Existing exterior masonry to be repaired and cleaned.
  4. Refer to Structural Report and Masonry Restoration Specifications.
  5. Existing exterior unit masonry to be repaired.
  6. Exterior stairs to remain and be enlarged from below to meet new grade.
  7. Existing exterior masonry to be repaired and cleaned. Mortar and to be replaced with code compliant mortars.
  8. Exterior vents to be removed. Inlaid and comparable panel to be reinstated at same location to maintain appearance.
  9. Existing Stairwell Elevator entrance door to remain.
  10. New exterior doors at existing buildings to be replaced with insulated, paneled doors and sidelites.
  11. New exterior doors to be replaced with insulated, paneled doors and sidelites.
  12. Existing wood energy on north and south elevations to be rebuilt in-kind.
  13. Existing wood energy on north and south elevations to be replaced with insulated, paneled doors and sidelites.
  14. Existing historic windows to be replaced per window specifications and in-kind.
  15. Existing historic windows to be replaced per window specifications and in-kind.
  16. Existing wood energy on north and south elevations to be replaced with insulated, paneled doors and sidelites.
  17. Skylights to be added to existing roof tops.
  18. Existing rear subgrade storage area in Stairwell to be demolished and removed.
  19. Existing rear subgrade storage area in Stairwell to be demolished and removed.
  20. Chedding for new construction to consist of fiber cement panel and ribbed sheet metal.
  21. Existing floor levels in Stairwell and Refer indicated on Building Section Sheets AD00 and AD01.
  22. Refer floor levels in Stairwell and Refer indicated on Building Section Sheets AD00 and AD01.



**JWA ARCHITECTS**  
 308 Main Street  
 Greenfield, MA 01301  
 WWW.JONESWHITSETT.COM

**JONES WHITSETT ARCHITECTS**  
 MVOC  
 PROJECT: 1820  
 DATE: 09/03/20

**PROPOSED SD ELEVATIONS**

SCALE: As indicated

0 2 4 8

**A201**

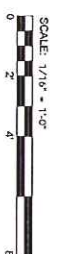




**JWA ARCHITECTS**  
 308 Main Street  
 Greenfield, MA 01301  
 WWW.JONESWHITSETT.COM

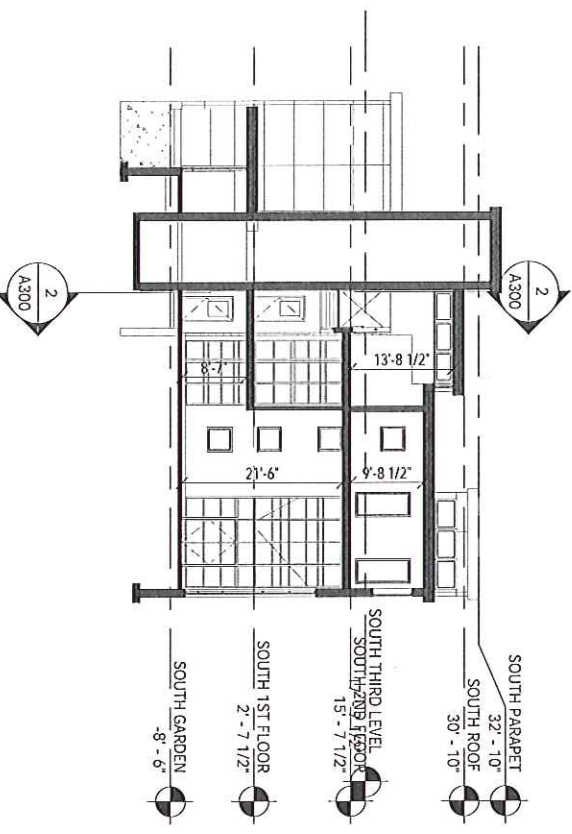
**PROPOSED BUILDING SECTIONS**

MVOC  
 PROJECT: 1920  
 DATE: 08/24/20

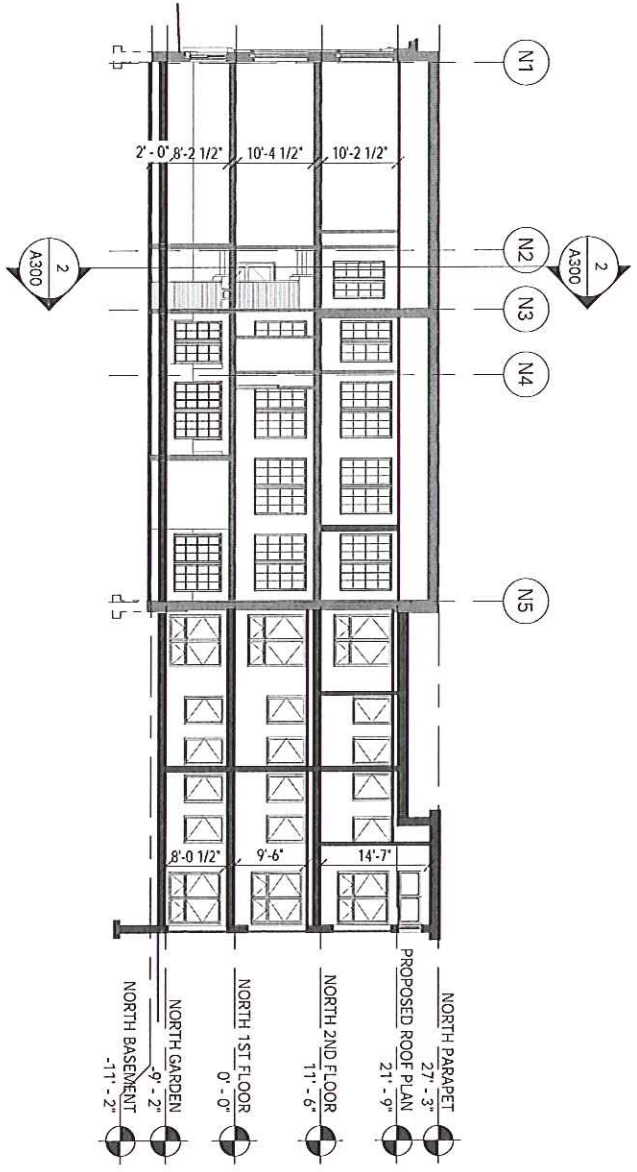


**A301**

**1**  
 E/W SECTION THROUGH ELEVATOR  
 1/16" = 1'-0"



**2**  
 E/W SECTION THROUGH STREETER ADDITION  
 1/16" = 1'-0"

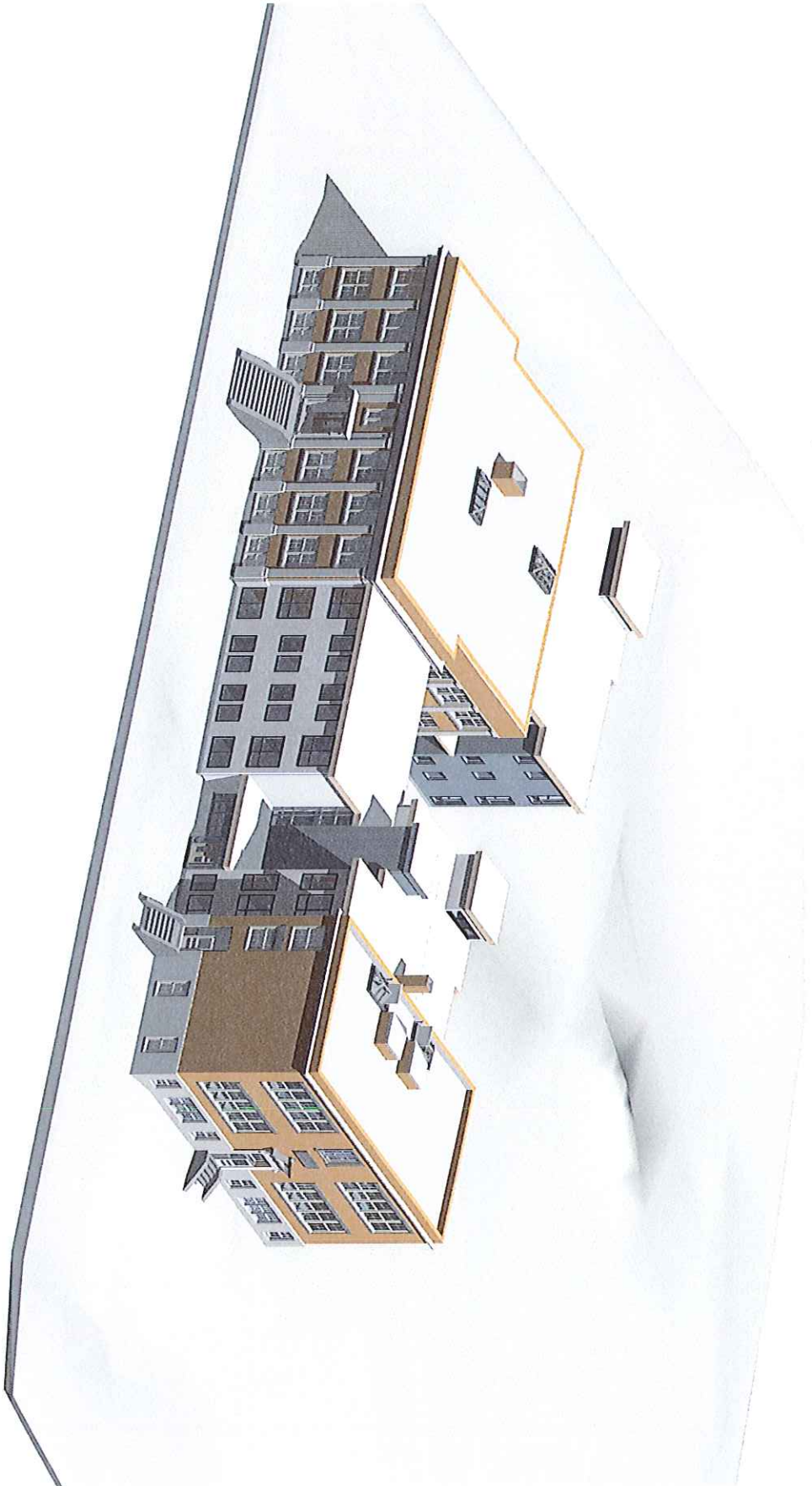




JWA  
JONES WHITSETT  
ARCHITECTS  
209 Main Street  
Greenfield, MA 01301  
413.773.5551  
WWW.JONESWHITSETT.COM

MASSING FROM SOUTHWEST

MVOC  
PROJECT: 190  
DATE: 08/25/0



SCALE  
0 2 4 8  
A400

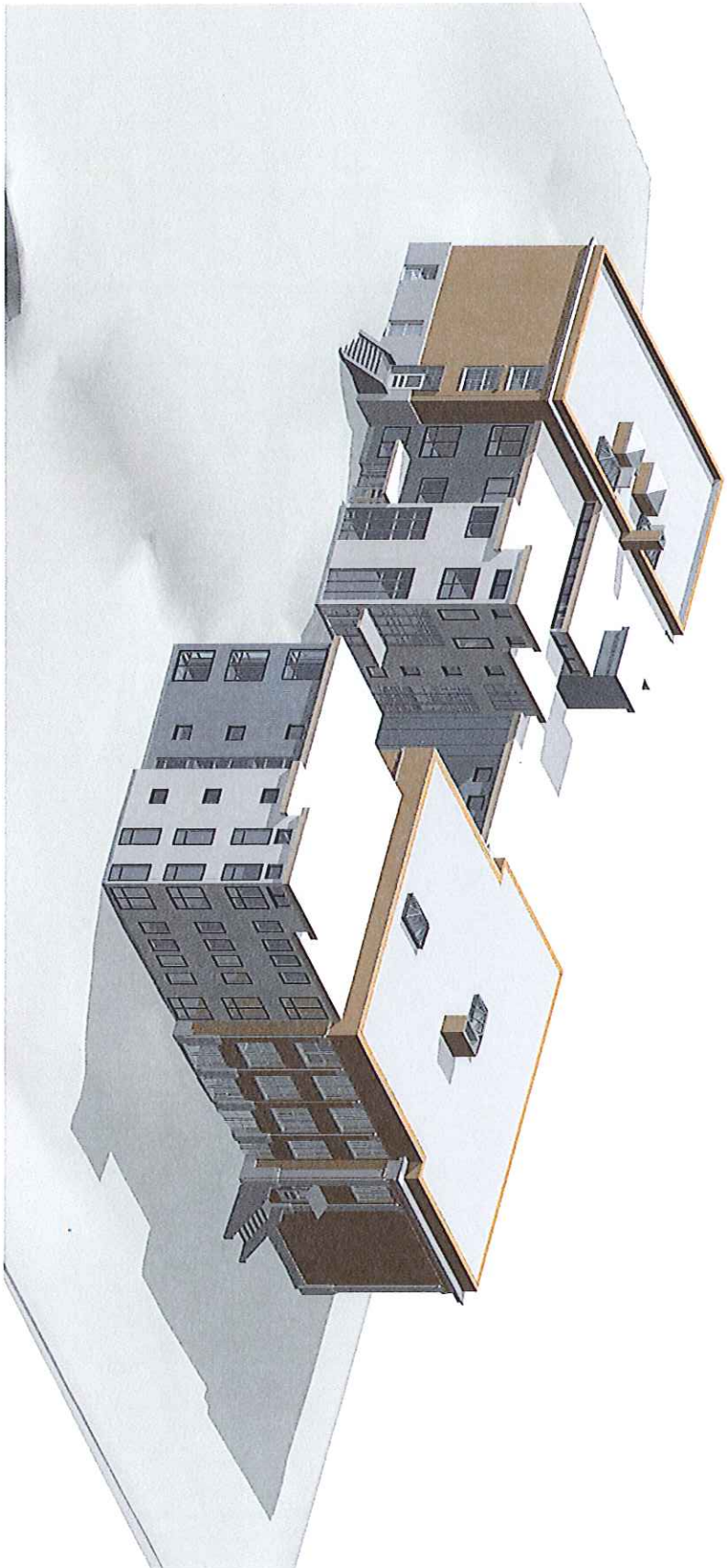




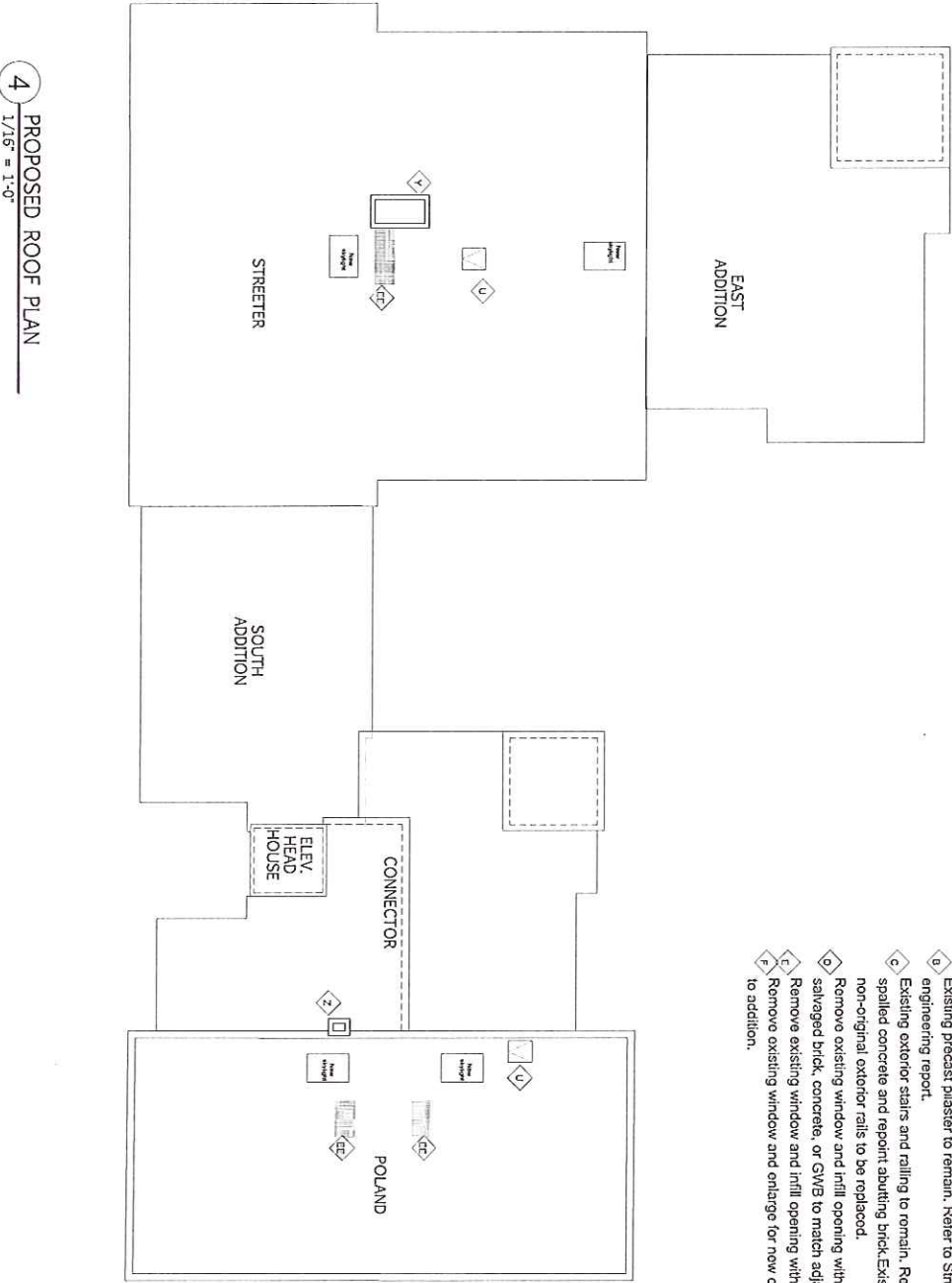
**JWA** JONES WHITSETT  
ARCHITECTS  
308 Main Street  
Greenfield, MA 01301  
413.773.5551  
WWW.JONESWHITSETT.COM

**MASSING FROM NORTHEAST**

MVOC  
PROJECT: 100  
DATE: 09/22/20



**A401**



4 PROPOSED ROOF PLAN  
1/16" = 1'-0"

- HISTORICAL NOTES**
- A Existing exterior masonry wall to remain and be repaired. Refer to Structural Report.
  - B Existing precast plaster to remain. Refer to Structural engineering report.
  - C Existing exterior stairs and railing to remain. Repair spalled concrete and report abutting brick-Existing, non-original exterior rails to be replaced.
  - D Remove existing window and infill opening with salvaged brick, concrete, or GWB to match adjacent.
  - E Remove existing window and enlarge for new opening to addition.

- D Remove existing window, enlarge the opening to lower sill, and install new taller window but matching appearance and profile of existing.
- F Replace existing window with new window matching appearance and profile of existing.
- G Furr out exterior wall with insulation and GWB finish. Existing ceramic glazed brick tile window sill to remain. Trim furred wall around existing ceramic tile glazed brick window sill.
- H Retain existing door in place. Pin as indicated.
- I Retain existing sills, transom, and trim.
- J When floor is raised, extend newel post, and adjust rail to flatten at new bottom stair to extended newel post.
- K Salvaged & raised rail.
- L Salvaged and relocated cabinet. Adjust, repair/replace drawer hardware to match existing function.
- M Salvaged and relocated slate blackboard and trim.
- N Salvaged wood trim to remain in current location where possible.
- O Protect existing wainscot, repair/refinish as needed.
- P New 36"H rail with lockable gate.
- Q New 42" H railing.
- R Existing doors to remain. Refinish & adjust hardware as needed.
- S Salvaged and relocated door and/or sidelite.
- T New door to match historic.
- X Existing wall opening to remain. Provide door where shown.
- Y Existing Streeter chimney to remain. Repair and repoint as needed.
- Z Existing Poland chimney to be taken down carefully for new addition. Salvaged brick shall be reinstated from level of new connector roof to original height of chimney. Provide new backup structural wall and roof support. Refer to structural.
- AA Existing wood floor to remain, protect and refinish.
- AB Salvaged and relocated bulletin board and trim.
- AC Area of raised floor, refer to sections.
- AD Salvage and protect existing tin ceiling material.
- AE Area of new roof framing where mechanical chase demolished.

## Section 3 SOURCES AND USES OF FUNDS

### Sources of Funds

**Private Equity:**

81 . Developer's Cash Equity	\$100
82 . Tax Credit Equity (net amount) <i>(See line 360, Section 5, page 18.)</i>	\$10,445,000
83 . Developer's Fee/Overhead, Contributed or Loaned	\$295,171
84 . Other Source: State Historic Tax Credit	\$3,316,861

*Optional user calculations*

Fed LIHTC @ \$0.95	925,000	8,787,500
State LIHTC @ \$0.78	425,000	1,657,500
Fed Historic		1,873,887
State HTC @\$0.80	1,800,000	1,440,000

**Public Equity:**

85 . HOME Funds, as Grant	\$
86 . Grant: FHLB	\$600,000
87 . Grant: MassDevelopment	\$125,000
88 . Total Public Equity	\$725,000

**Subordinate Debt (see definition):**

	<i>Amount</i>	<i>Rate</i>	<i>Amortiz.</i>	<i>Term</i>
89 . Home Funds-DHCD, as Subordinate Debt	\$625,000	%	yrs.	yrs.
Source:				
90 . Home Funds-Local, as Subordinate Debt		%	yrs.	yrs.
Source:	0			
91 . Subordinate Debt	\$1,000,000	%	yrs.	yrs.
Source:	IHSF			
92 . Subordinate Debt	\$1,000,000	%	yrs.	yrs.
Source:	HIF			
93 . Subordinate Debt	\$1,000,000	%	yrs.	yrs.
Source:	AHTF			
94 . Total Subordinate Debt	\$3,625,000			

**Permanent Debt (Senior):**

	<i>Amount</i>	<i>Rate</i>	<i>Override</i>	<i>Amortiz.</i>	<i>Term</i>	<i>MIP</i>
95 . MHFA MHFA Program 1	\$	%	%	yrs.	yrs.	%
96 . MHFA MHFA Program 2	\$	%	%	yrs.	yrs.	%
97 . MHP Fund Permanent Loan	\$	%		yrs.	yrs.	%
98 . Other Permanent Senior Mortgage	\$975,000	4.25%		30.00	20.00	%
Source:	TBD					
99 . Other Permanent Senior Mortgage	\$600,000	2.25%		30.00	20.00	%
Source:	TBD - FHLB Subsidized					
100 . Total Permanent Senior Debt	\$1,575,000					

101 . Total Permanent Sources \$19,982,132

**Construction Period Financing:**

	<i>Amount</i>	<i>Rate</i>	<i>Term</i>
102 . Construction Loan	\$0	%	mos.
Source:	TBD		
Repaid at:	<i>(event)</i>		
103 . Other Interim Loan	\$0	%	mos.
Source:			
Repaid at:	<i>(event)</i>		
104 . Syndication Bridge Loan	\$0	%	mos.
Source:			
Repaid at:	<i>(event)</i>		

**Uses of Funds**

The Contractor certifies that, to the best of their knowledge, the construction estimates, and trade-item breakdown on this page are complete and accurate.

**Direct Construction:**

105 . Who prepared the estimates? 

Allegroni Construction	
Name	Signature

106 . Basis for estimates? 

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DV	Trade Item	Amount	Description	
107 .	3	Concrete	\$357,158	Includes concrete repair/restoration
108 .	4	Masonry	\$312,700	
109 .	5	Metals	\$98,297	Structural Steel
110 .	6	Rough Carpentry	\$231,335	Woodwork restoration
111 .	6	Finish Carpentry	\$1,152,731	
112 .	7	Waterproofing	\$359,767	
113 .	7	Insulation		
114 .	7	Roofing	\$293,845	
115 .	7	Sheet Metal and Flashing		
116 .	7	Exterior Siding	\$317,848	
117 .	8	Doors	\$249,398	
118 .	8	Windows	\$306,160	Window restoration
119 .	8	Glass	\$158,600	Glass glazing
120 .	9	Lath & Plaster		
121 .	9	Drywall	\$590,298	
122 .	9	Tile Work		
123 .	9	Acoustical	\$7,946	
124 .	9	Wood Flooring	\$328,985	
125 .	9	Resilient Flooring		
126 .	9	Carpet		
127 .	9	Paint & Decorating	\$222,396	
128 .	10	Specialties	\$77,192	
129 .	11	Special Equipment		
130 .	11	Cabinets		
131 .	11	Appliances	\$105,600	
132 .	12	Blinds & Shades	\$29,370	
133 .	13	Modular/Manufactured		
134 .	13	Special Construction		
135 .	14	Elevators or Conveying Syst.	\$162,000	
136 .	15	Plumbing & Hot Water	\$771,971	
137 .	15	Heat & Ventilation	\$1,077,900	full HVAC cost
138 .	15	Air Conditioning		
139 .	15	Fire Protection	\$272,010	
140 .	16	Electrical	\$913,806	
		Final Cleaning	\$24,236	
141 .		Accessory Buildings		
		Design Contingency	\$1,107,413	
		Liability Insurance	\$127,014	
		P&P Bonds	\$82,600	
		Building Permit	\$90,295	
143 .		<b>Subtotal Structural</b>	<b>\$9,828,871</b>	
144 .	2	Earth Work	\$757,145	
145 .	2	Site Utilities		
146 .	2	Roads & Walks		
147 .	2	Site Improvement	\$349,531	
148 .	2	Lawns & Planting	\$12,000	Fencing
149 .	2	Geotechnical Conditions		
150 .	2	Environmental Remediation	\$250,000	
151 .	2	Demolition	\$226,069	
152 .	2	General Requirements	\$239,085	
153 .		<b>Subtotal Site Work</b>	<b>\$1,833,830</b>	
154 .		<b>Total Improvements</b>	<b>\$11,662,701</b>	
155 .	1	General Conditions	\$818,755	
156 .		<b>Subtotal</b>	<b>\$12,481,456</b>	
157 .	1	Builders Overhead		
158 .	1	Builders Profit	\$429,515	
159 .		<b>TOTAL</b>	<b>\$12,910,971</b>	





**Development Budget:**

	Total	Residential	Commercial	Comments
161 . Acquisition: Land	\$0			
162 . Acquisition: Building	\$0			
163 . Acquisition Subtotal	\$0	\$0	\$0	
164 . Direct Construction Budget	\$13,562,859	\$13,562,859		(from line 159)
165 . Construction Contingency	\$1,017,214	\$1,017,214		7.5% of construction
166 . Subtotal: Construction	\$14,580,073	\$14,580,073	\$0	

**General Development Costs:**

167 . Architecture & Engineering	\$1,116,100	\$1,116,100		
168 . Survey and Permits	\$30,000	\$30,000		
169 . Clerk of the Works	\$105,000	\$105,000		
170 . Environmental Engineer	\$44,500	\$44,500		
171 . Building Survey	\$6,420	\$6,420		
172 . Legal	\$335,000	\$335,000		
173 . Title and Recording	\$50,000	\$50,000		
174 . Accounting & Cost Cert.	\$30,000	\$30,000		
175 . Marketing and Rent Up	\$220,000	\$220,000		
176 . Real Estate Taxes	\$0			
177 . Insurance	\$25,000	\$25,000		
178 . Property and Liability Ins.	\$15,000	\$15,000		
179 . Appraisal	\$10,000	\$10,000		
180 . Security	\$25,000	\$25,000		
181 . Construction Loan Interest	\$150,462	\$150,462		
182 . Inspecting Engineer	\$23,000	\$23,000		
183 . Fees to: DHCD	\$60,000	\$60,000		
184 . Fees to: Other	\$130,385	\$130,385		
185 . MIP	\$0			
186 . Credit Enhancement Fees	\$0			
187 . Letter of Credit Fees	\$0			
188 . PreDev Interest	\$63,000	\$63,000		
189 . Development Consultant	\$695,000	\$695,000		
190 . Other: Historic	\$40,000	\$40,000		
191 . Other: FF&E	\$150,000	\$150,000		
192 . Soft Cost Contingency	\$158,693	\$158,693		4.8% of soft costs
193 . Subtotal: Gen. Dev.	\$3,482,560	\$3,482,560	\$0	

194 . Subtotal: Acquis., Const and Gen. Dev.	\$18,062,633	\$18,062,633	\$0	
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195 . Capitalized Reserves	\$169,759	\$169,759		
196 . Developer Overhead	\$874,870	\$874,870		
197 . Developer Fee	\$874,870	\$874,870		

198 . Total Development Cost	\$19,982,132	\$19,982,132	\$0	TDC per unit	454,139
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199 . TDC, Net	\$19,517,202	\$19,517,202	\$0	TDC, Net per unit	\$443,573
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**Additional Detail on Development Pro-Forma:**

200 . Gross Syndication Investment

**Off-Budget Costs:**

**Syndication Costs:**

201 . Syndication Legal

202 . Syndication Fees

203 . Syndication Consultants

204 . Bridge Financing Costs

205 . Investor Servicing (capitalized)

206 . Other Syndication Expenses

207 . Total Syndication Expense

208 . Current Reserve Balance

**Reserves (capitalized):**

209 . Development Reserves

210 . Initial Rent-Up Reserves

211 . Operating Reserves

212 . Net Worth Account

213 . Other Capitalized Reserves

214 . Subtotal: Capitalized Reserves

215 . Letter of Credit Requirements

216 . Total of the Above

**Error: The total on line 214 is different from the capitalized reserves shown on line 195.**

Please Answer The Following	Dev. Reserves	Initial Rent-Up	Op. Reserves	Net Worth	Other	Letter of Credit
Who requires the reserves?						
Who administers the reserves?						
When and how are they used?						
Under what circumstances can they be released?						

**Unit Sales (For Sale Projects Only):**

217 . Gross Sales From Units

218 . Cost of Sales (Commissions, etc.)

219 . Net Receipt from Sales

**Debt Service Requirements:**

220 . Minimum Debt Service Coverage

221 . Is this Project subject to HUD Subsidy Layering Review?

*Optional user comments*