

MONTACHUSETT VETERAN'S OUTREACH CENTER COMPREHENSIVE PERMIT APPLICATION Murdock Ave & Oak Street, Winchendon, MA April 1, 2021



ANSER ADVISORY
Owners Project Manager
98 Magazine Street, Boston, MA 02119
Office: 617.445.3555
www.anseradvisory.com



**JONES WHITSETT
ARCHITECTS**

Architecture
308 Main Street, Greenfield, MA 01301
(413) 773-5551
office@joneswhitsett.com
http://joneswhitsett.com



Landscape Architecture
Civil Engineering
4 Allen Place, Northampton, Massachusetts 01060
(413) 582-7000
bdg@berkshiredesign.com
http://www.berkshiredesign.com



103 Terrace Street
Roxbury, MA, 02120
Tel: 617-708-1071/Cel: 617-939-7543
Western MA Office: 413-258-4019

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Assessor Map 5B2-0-Lot 118 & Lot 117, Neighborhood Residential Zoning District-R10

ZONING TABLE

	PER ZONING	EXISTING	PROPOSED
LOT SIZE	10,000 SF MIN	~3.8 acres/ 165,528 SF	No change
FRONTAGE	75 LF MIN	330/544.5/495	No change
FRONT SETBACK	20 LF MIN	33-34 LF	No change
SIDE SETBACK	10 LF MIN	68.1- north/ 79.4 LF- south	No change
REAR SETBACK	20 LF MIN	370 LF	No change
MAX BUILDING HEIGHT	35 LF	35' Poland	37' Poland due to dropping grade 2'
MAX # FLOORS	2.5 Floors	3 Floors	No change
MAX IMPERVIOUS %	25%	26,563 SF / 16.04%	40,192 SF/24.28%

6. Lots having frontage on more than one street shall maintain the front setback for all such frontage streets appropriate for the zone in which it lies. Any remaining lot lines shall be considered side lot lines for setback purposes (7.2 Zoning By Laws)
7. The distances shown in table 7.2 for front setback, side setback, and rear setback are the minimum distances from the respective lot lines on which any structure, whether temporary or permanent, other than a fence, a retaining wall, a driveway, a walkway, a lamppost, or an allowed sign may be placed unless allowed by the Planning Board under site plan review. The Planning Board may also waive the maximum height and maximum impervious area requirements as part of site plan review neither shall there be any regular storage of materials allowed closer to the property line than the setback unless allowed by the Planning Board through Site Plan Review. (added May 18, 2015)

COMPREHENSIVE PERMIT APPLICATION DRAWING LIST

- LC000 COVER SHEET
- LC101 EXISTING CONDITIONS SITE PLAN
- LC102 DEMOLITION AND EROSION CONTROL SITE PLAN
- LC103 LAYOUT MATERIALS & PLANTING SITE PLAN
- LC104 GRADING DRAINAGE AND UTILITIES SITE PLAN
- LC105 PHOTOMETRIC SITE PLAN
- LC501 SITE DETAILS
- LC502 SITE DETAILS
- LC503 SITE DETAILS
- A101 GARDEN LEVEL FLOOR PLAN
- A102 FIRST FLOOR PLAN
- A103 SECOND FLOOR PLAN
- A104 ROOF PLAN
- A200 & 200R BUILDING ELEVATIONS
- A201 & 201R BUILDING ELEVATIONS
- A300 BUILDING SECTIONS
- A301 BUILDING SECTIONS
- A310 BUILDING PERSPECTIVE VIEWS

MONTACHUSETT
VETERANS' OUTREACH
CENTER
Murdock Ave & Oak Street
WINCHENDON, MA

COVER SHEET

40B COMPREHENSIVE
PERMIT SET
NOT FOR CONSTRUCTION
75% DD LEVEL DRAWINGS

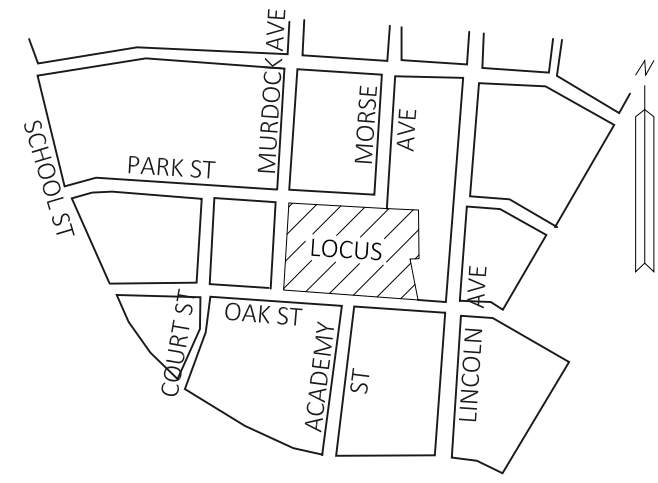


Revisions	

Date:	04.01.2021	Sheet Number	LC- 000
Scale:			
Drawn By:	RL		
Checked By:	GPH		

prepared for:
Montachusett Veterans Outreach Center, Inc.
268 Central Street, Gardner, MA 01440
Phone 978-632-9601/ Fax 978-632-9476
www.veterans-outreach.org



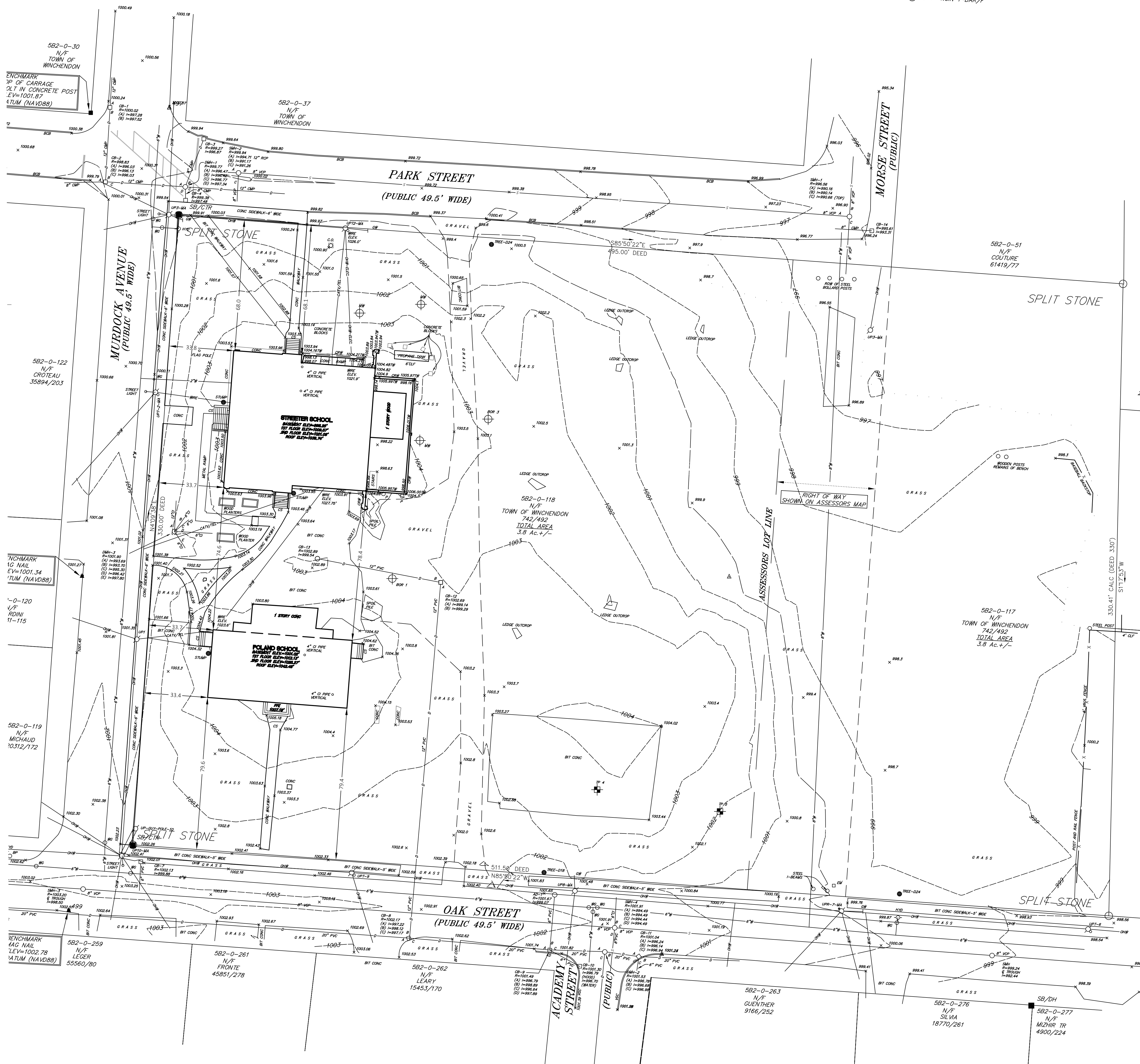


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Civil Engineers + Landscape Architects +
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Environmental Specialists

BEALS AND THOMAS, INC.
Reservoir Corporate Center
144 Turnpike Road
Southborough, Massachusetts 01772-2104
T 508.366.0560 | www.bealsandthomas.com

NOTES

- UNDERGROUND UTILITIES WERE COMPILED FROM AVAILABLE RECORD PLANS OF UTILITY COMPANIES AND PUBLIC AGENCIES AND ARE APPROXIMATE ONLY. BEFORE CONSTRUCTION CALL "DIG SAFE" 1-888-344-7233.
- THIS PLAN WAS PREPARED FROM AN ACTUAL SURVEY MADE ON THE GROUND USING TOTAL STATION METHODS ON OR BETWEEN MAY 16, 2020 AND AUGUST 12, 2020.
- ALL ELEVATIONS REFER TO THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88).
- NAD83 HORIZONTAL COORDINATE SYSTEM ESTABLISHED BY GPS-VRS METHODS, NAD_83(2011)(EPOCH2010).
- THE PARCEL SHOWN IS LOCATED IN ZONE C (AREAS OF MINIMAL FLOODING), AS SHOWN ON "FLOOD INSURANCE RATE MAP, TOWN OF WINCHENDON, MASSACHUSETTS, WORCESTER COUNTY, PANEL 18 OF 30 AND PANEL 18 OF 30, COMMUNITY PANEL NUMBERS 2503460016B AND 2503480018B, EFFECTIVE DATE JUNE 15, 1982.
- NO EASEMENTS WERE DISCLOSED BY THE CURRENT DEED FOR LOCUS AND THE ADJOINING PROPERTIES.
- RIGHT OF WAY DESIGNATION AND LOCATION IS SHOWN BY THE CURRENT ASSESSORS MAP.
- WIRE ELEVATIONS OBTAINED AT ALL ELECTRIC CONNECTIONS TO AND FROM BUILDINGS. WIRES GOING TO BUILDINGS THAT ARE NOT ELECTRIC LINES, NO HEIGHTS ARE SHOWN.



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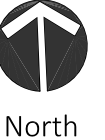
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WINCHENDON, MA

EXISTING CONDITIONS
SITE PLAN

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SCALE 1" = 24'-0"
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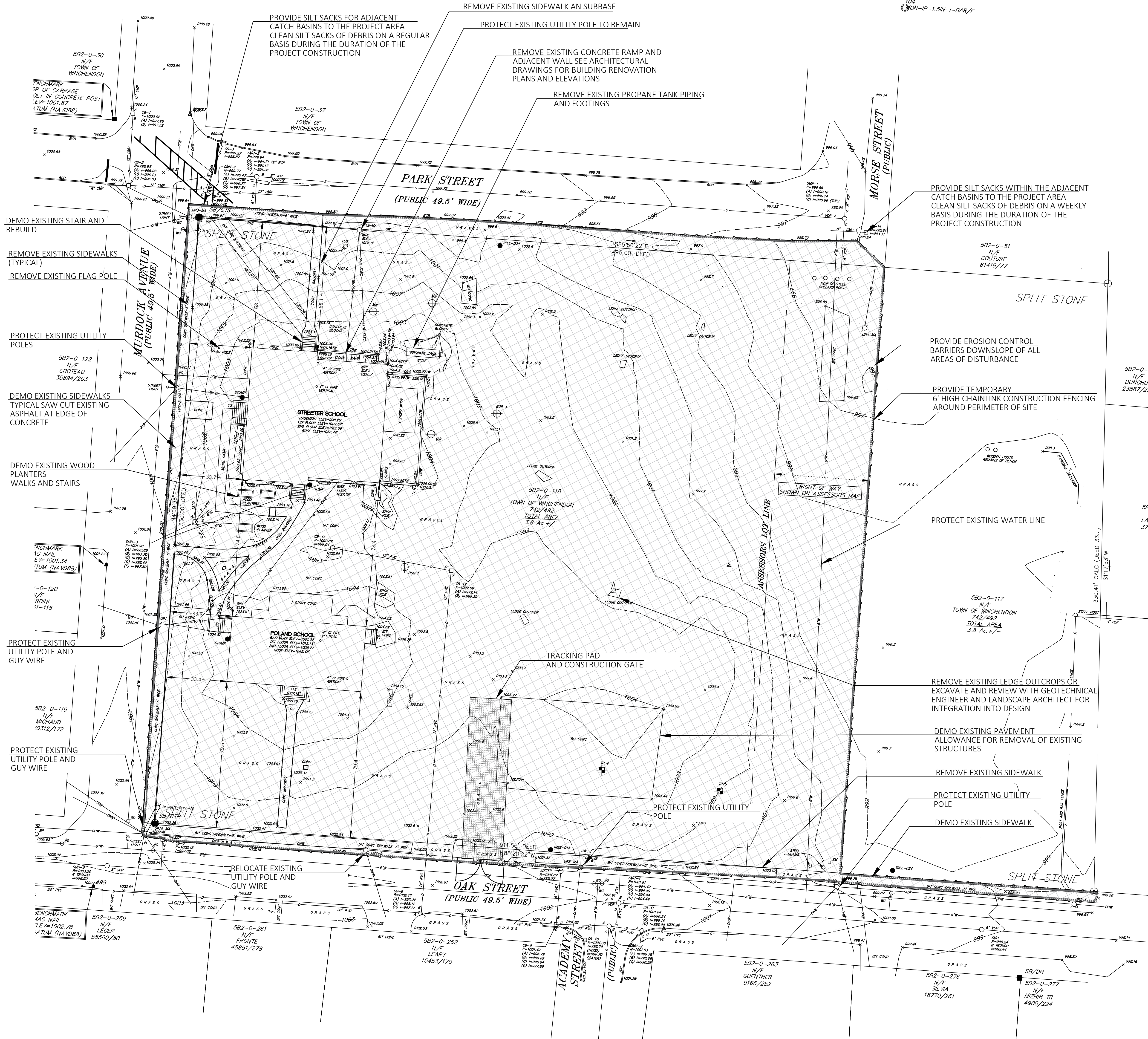
Drawn By: Beals & Thomas

Checked By: Beals & Thomas

LC-101

DEMOLITION & EROSION CONTROL NOTES

- The Contractor shall be responsible for a thorough site examination to determine the extent of demolition necessary to prepare the site for construction and shall verify all items to be demolished or salvaged with the Landscape Architect prior to beginning work.
- Care shall be taken not to damage any items designated to remain; repair or replacement of damaged items designated to remain shall be at the Contractors' expense.
- Disposal of property designated to be removed shall be at the direction of the Landscape Architect or Owner, and shall conform to all applicable laws and regulations. All salvageable material shall be delivered by the Contractor to storage areas designated by the Landscape Architect. Contractor shall remove all existing unsuitable materials from the site.
- The Contractor shall protect existing trees to remain with 2"x 4"x 6'-0" stakes and snow fencing. Prior to removing trees, Contractor to notify Landscape Architect within 14 days for review of all trees to remain and be removed.
- All topsoil shall be stripped from grass areas to be removed and stockpiled in an area designated by the Construction Manager.
- The Contractor shall use temporary fencing to control the site during construction. Prior to the finalization of the project, the Contractor shall remove all temporary fencing and barricades.
- The locations of existing underground utilities are shown in an approximate way only based on available data and all utilities may not be shown. Prior to construction, the contractor shall contact Dig Safe at 1-800-322-4844 to request utilities to be marked on the ground. The contractor shall be fully responsible for determining the exact location of all existing utilities before commencing work. The contractor agrees to be fully responsible for any and all damages which might be occasioned by his/her failure to exactly locate and preserve any
- Refer to structural and geotech drawings for excavation and fill requirements under foundations.
- Field Verify the location and inverts of all existing utilities. Notify the landscape architect/civil engineer of any changes.
- Coordinate work and permits with any utility providers and municipal entities.
- Work is proposed to take place within the Winchendon right of way in front of this project. Coordinate with Winchendon DPW prior to mobilization of this work.
- Erosion control measures shall be incorporated in the sequence of construction to prevent sediment-laden runoff from leaving the site, and shall, where applicable, consist of at least the following procedures:
 - A siltation fence along downslope site boundaries prior to commencing any other work. Fence material shall be Mirafix 140N, Trevira 1127, or approved equal.
 - Temporary barrier of haybales around catch basins and drain inlets to prevent sediment-laden runoff from entering drainage system.
 - New or regraded slopes of 3:1 or greater shall receive spread straw and/or seed and fertilizer as per plans. New or regraded slopes of 2:1 or greater shall be blanketed with Curlex erosion control matting, or approved equal; provide temporary slope erosion control where required.
 - Fill and grading shall be treated with slope stabilization seeding or ground cover and straw mulch upon completion.
 - All haybale and silt fence erosion and sedimentation checks shall be placed prior to beginning work as per the plan and as per the appropriate detail specification.
 - Whenever haybale or silt fence filters are used, they shall be maintained in good working condition until ground cover is reestablished. Silt fence shall be periodically cleaned as necessary to assure proper and effective functioning. Haybales shall also be replaced as necessary, to provide adequate function.
 - Natural vegetation shall be retained wherever feasible up to the scheduled start of construction activity in the area. Where possible, clearing shall immediately precede construction activity.
 - No erosion of any bank edge shall be allowed under any circumstances.
 - Soil stockpiles shall be shaped and seeded with temporary cover as per seeding specifications or mulched if grading is to be delayed over winter. The downhill toe-of-slope of all stockpiled soils shall be protected by staked haybales or silt fence.
 - If any questions arise regarding erosion and sedimentation control measures, the Project Landscape Architect shall be consulted immediately.
 - This project requires the EPA NPDES General Permit for Stormwater Discharges from Construction Activities. The threshold for the EPA NPDES General Permit is 1 acre. The contractor will be required to manage the site to prevent erosion and follow Best Management Practices.



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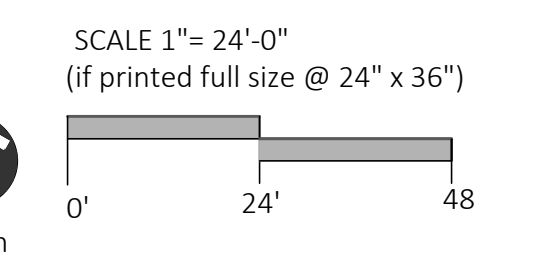
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 elton+hampson
 103 Terrace Street
 Roxbury, MA 02120
 Tel: 617-708-1071 / Cell: 617-939-7543
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SITE DEMOLITION &
 EROSION CONTROL PLAN

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Revisions	Date:	04.01.2021	Sheet Number
	Scale:		
	Drawn By:	RL	LC- 102
	Checked By:	GPH	

LAYOUT NOTES

1. Do not scale drawings for quantity take-offs or construction. Use written dimensions only. If dimensions are incomplete, contact The Berkshire Design Group, Inc. for clarification.
2. All lines or points are perpendicular or parallel to lines from which they are measured unless otherwise noted.
3. The Contractor shall verify all layout, dimensions, grades, and inverts prior to construction; report any and all discrepancies to the Landscape Architect. All discrepancies shall be resolved in writing prior to beginning work.
4. All areas disturbed from construction activity to be raked, smoothed, fertilized and seeded with perennial turfgrasses unless otherwise noted.
5. All new walks and surfaces to meet existing walks and surfaces with smooth, continuous line and grade.
6. The Contractor shall not install concrete during adverse weather conditions (rain, sleet, etc.) unless otherwise directed by the Landscape Architect.
7. Provide Expansion Joints and Control Joints at regular intervals for all concrete paving, and in between all concrete paving and existing walls, structures, and materials. Provide isolation joints at the face of each building and around all footings, bases, manhole covers in paving.

PLANTING NOTES

1. All nursery stock shall comply with the latest standards of the American Nursery & Landscape Association with regard to grading and quality.
2. All plants shall conform to the measurements specified, except that plants larger than those specified may be used if approved by the Landscape Architect.
3. All plants shall be nursery grown in accordance with good horticultural practices and shall be grown under climatic conditions similar to those in the project locality for at least two years.
4. Balled and burlapped plants (B&B) shall be moved with the root system as solid units; root balls shall be firmly wrapped with burlap. Container grown plants shall not be removed from container prior to the time of installation; root system shall be firmly set in container.
5. Planting soil mix shall consist of seven (7) parts loam and one (1) part peat moss by volume, with a pH value of 5.0 to 6.0.
6. All trees and shrubs to receive two (2) fertilizer packets as shown in details.
7. Planting beds to receive 4" depth of bark mulch.
8. All plant material shall be guaranteed for one full growing season (one year) after installation.
9. Any plant material which dies, turns brown or unexpectedly defoliate prior to acceptance of work shall be promptly removed from the site and replaced with material of the same species, quality, size and meeting all planting specifications.
10. Planting layout shall be approved by the Landscape Architect prior to installation.
11. All disturbed areas not plantings or mulch shall be loam and wildflower seed mix.

- SHADE & FLOWERING TREES**
- | | |
|--------|---|
| SYMBOL | |
| Ns | Nyssa Sylvatica (Black tupelo) |
| Qb | Quercus bicolor (Swamp White Oak) |
| Po | Platanus occidentalis (Eastern Sycamore) |
| Sr | Syringa reticulata (Japanese Tree Lilac) |
| Cla | Celtis laevigata (Sugar Hackberry) |
| Cc | Cercis canadensis 'Forest Pansy' (Eastern Redbud) |

- EVERGREEN TREES AND SHRUBS**
- | | |
|--------|--|
| SYMBOL | |
| CI | Chamaecyparis lawsoniana 'Silver Queen' (Silver Queen cypress) |
| Pst | Pinus strobus 'Torulosa' (Twisted White Pine) |
| PgP | Picea glauca 'Pendula' (Weeping White Spruce) |
| Jc | Juniperus chinensis 'Blue Point' (Blue Point Juniper) |
| CpB | Chamaecyparis pisifera 'Boulevard' (Boulevard False Cypress) |
| PaN | Picea abies 'Nidiformis' (Birds Nest Spruce) |



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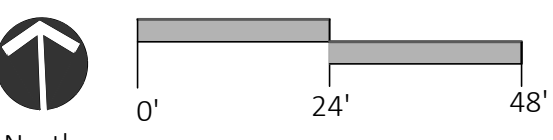
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SITE LAYOUT, MATERIALS, & PLANTING PLAN

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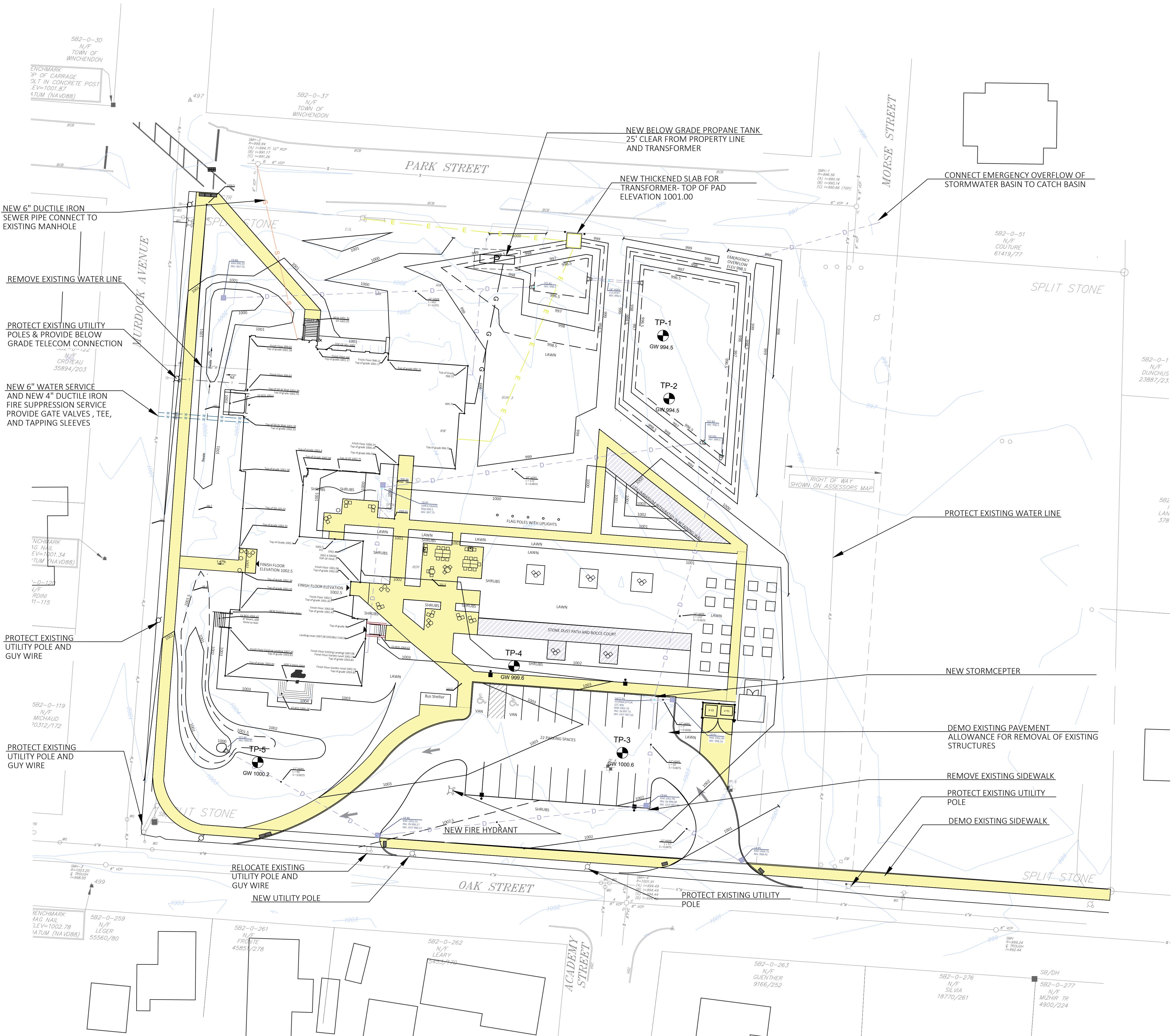
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Scale:			
Drawn By:	RL		
Checked By:	GPH		

GRADING NOTES

- All sidewalks and walkways shall conform to the Massachusetts Architectural Access Board's (AAB) requirements. Sidewalks and walkways cross slopes should not exceed 2% in any direction. Max slope along the main path of travel shall not exceed 5.0%. Slopes shall not exceed 2% in any direction in accessible parking spaces or adjacent aisles.
- All materials and construction methods shall conform to the construction standards and specifications of the Town of Winchendon and the Massachusetts Department of Transportation.
- All dimensions, elevations, and layouts shall be verified in the field by the contractor and approved by the Landscape Architect prior to beginning work.
- All new or adjusted manholes, gas gates, water gates, and water services to be flush with finish grade.
- Notify the Landscape Architect/Civil Engineer of any discrepancies prior to construction.
- Meet all grades at doorways flush.
- Provide erosion control fabric on all slopes 3h:1v or steeper.

DRAINAGE & UTILITIES NOTES

- All materials and construction methods shall conform to the construction standards and specifications of the Town of Winchendon and the Massachusetts Department of Public Works.
- All dimensions, elevations and layout shall be verified in the field by the contractor and approved by the Landscape Architect prior to beginning work.
- All new or adjusted manholes, gas gates, water gates and water services to be flush with finished grade.
- All storm drain piping shall be double-wall, smooth interior HDPE, except as noted.
- All catch basins shall be constructed with hooded outlet and 4' (min.) sump. Hood and deep sump shall not be required for yard drains. All new or adjusted catch basin rims shall be set 1/2 inch below finished grade.
- All inverts of drain lines to be a min 3.5' below finish grade.
- All drainage structures to have ADA compliant grate covers and to meet finish surface of paving flush.
- Unless otherwise noted, all downspout piping connecting downspouts to storm structures shall be 6" HDPE pipe.
- All new water lines shall be as shown on the plans and have a minimum of 5' clear over the crown of pipe.
- Thrust blocks shall be constructed for all water lines at all angles, bends, branches, plugs and wherever else is necessary to prevent disruption of proper functioning of the line.
- Refer also to Site Electrical Plan and, MEP, and HVAC Plans for coordination of propane piping and electric ductbanks, meters, etc.



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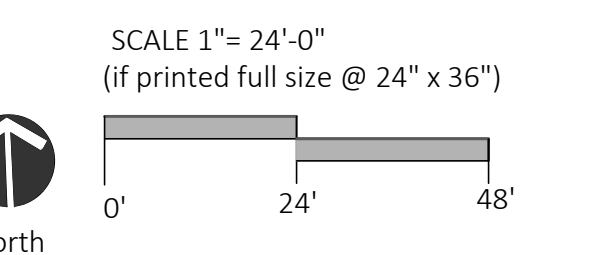
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SITE GRADING UTILITIES AND DRAINAGE PLAN

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Revisions

Date: 04.01.2021

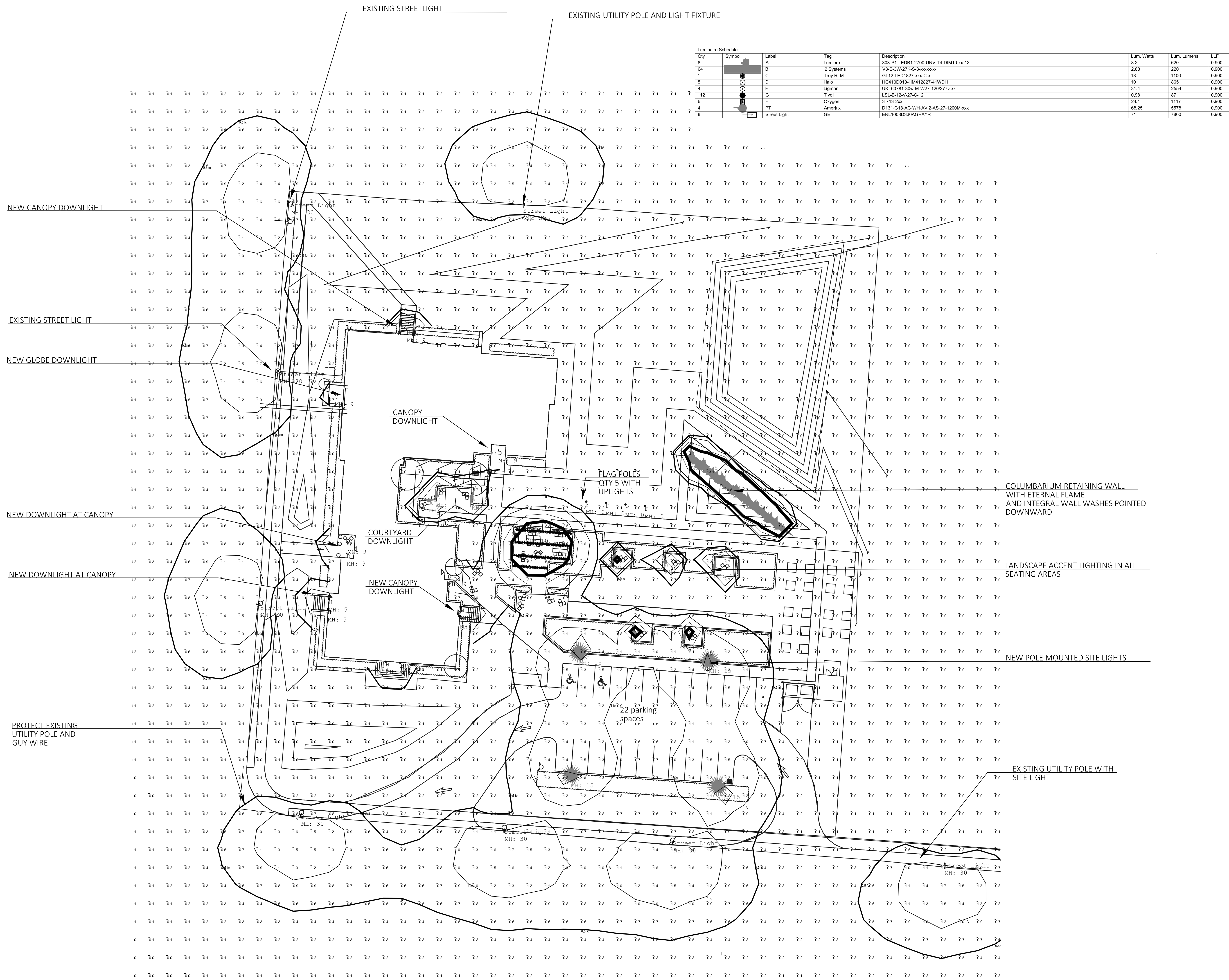
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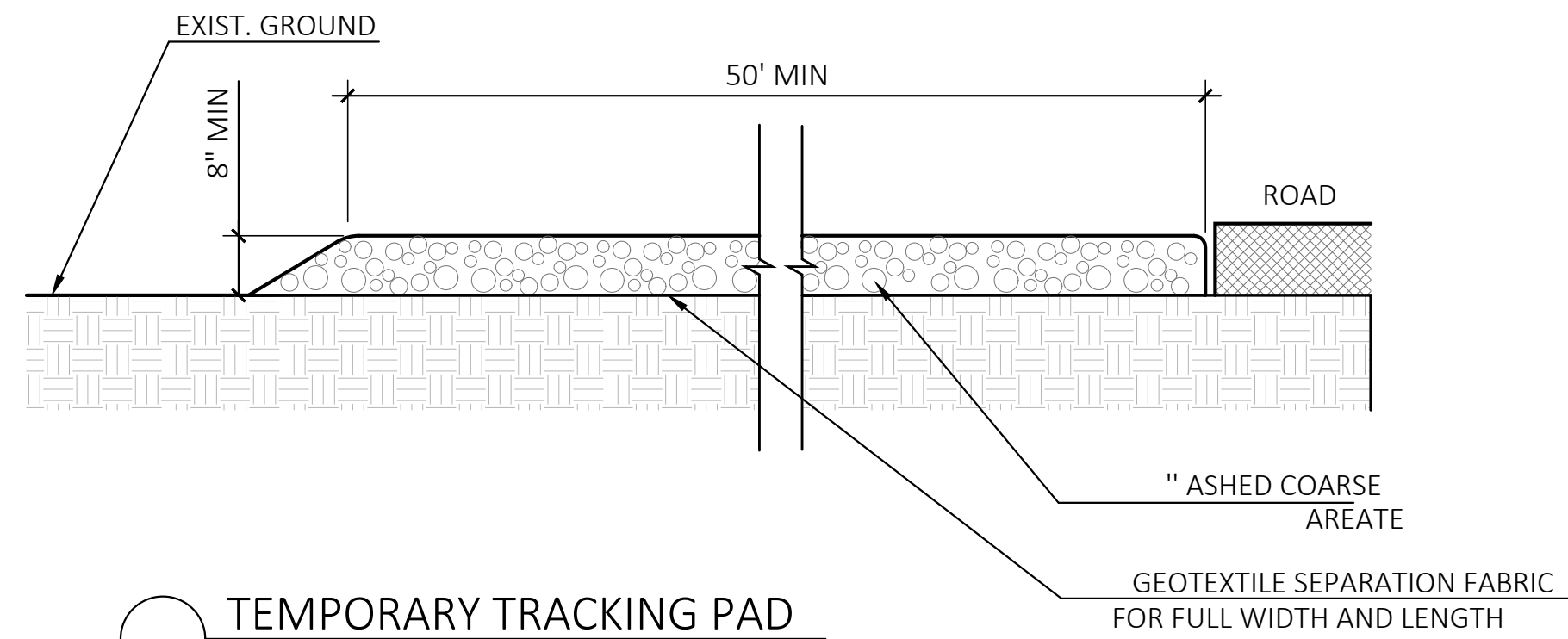
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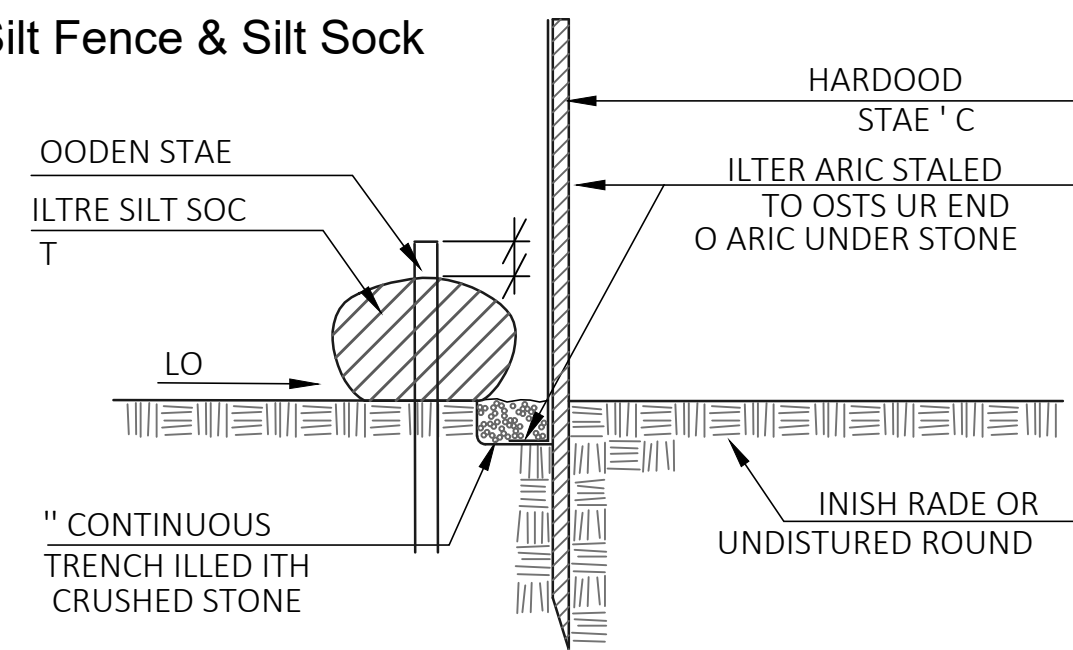
STABILIZED CONSTRUCTION ACCESS NOTES:

1. DIMENSIONS: WIDTH: 15' FLARED TO 25' AT ROADWAY
LENGTH: 50' MIN.
GRADE AND CROSS SLOPE: 2%
2. CLEAR ACCESS OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL.
3. GRADE THE ROAD SUBGRADE SO THAT THE ACCESS WILL NOT DRAIN OFF SITE.
4. MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD, SEDIMENT, ETC. FROM LEAVING THE SITE. SHOULD MUD/SEDIMENT BE TRACKED OR WASHED INTO THE PUBLIC ROAD IT SHALL BE REMOVED IMMEDIATELY.



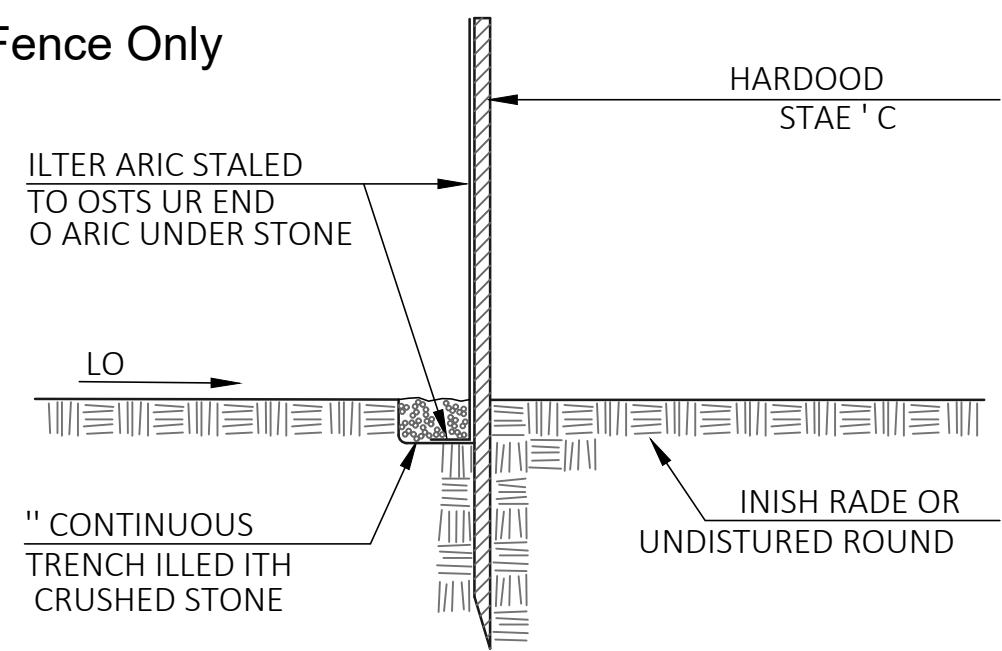
TEMPORARY TRACKING PAD
SCALE: NTS

A. Silt Fence & Silt Sock

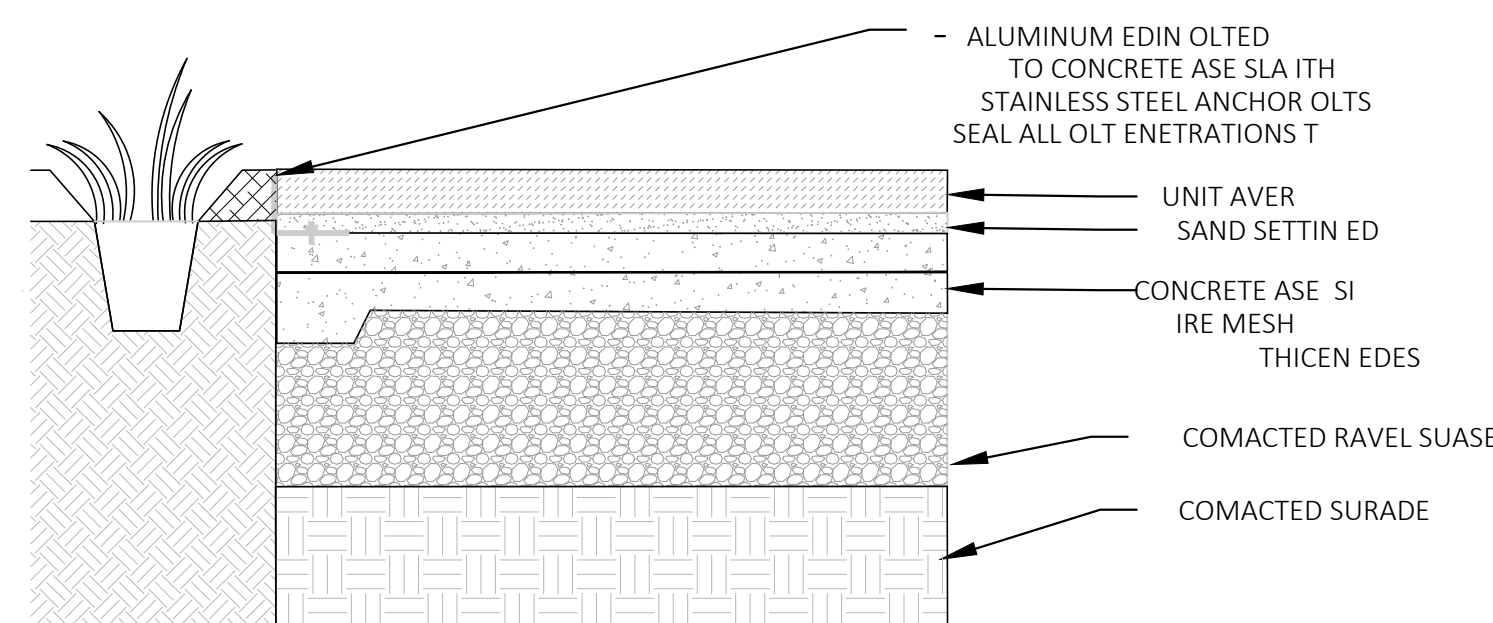


NOTE: ALL MATERIAL TO MEET FILTER SPECIFICATIONS
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ER THE LANDSCAPE ARCHITECT
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ARCHITECT
LOCAL INSTALLER NORTHEAST ENVIRONMENTAL SOLUTIONS AMHERST MA
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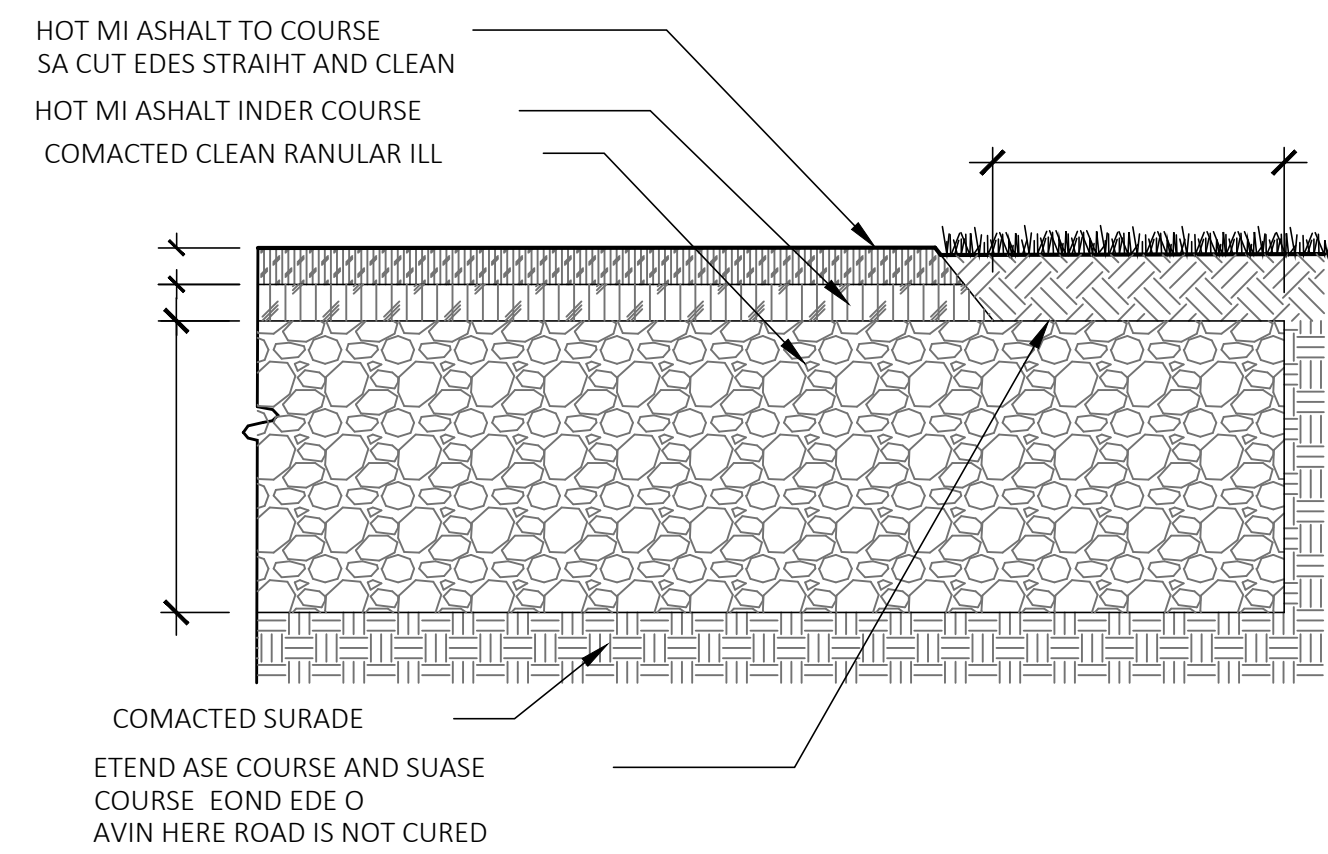
B. Silt Fence Only



EROSION CONTROL BARRIER
SCALE: NTS

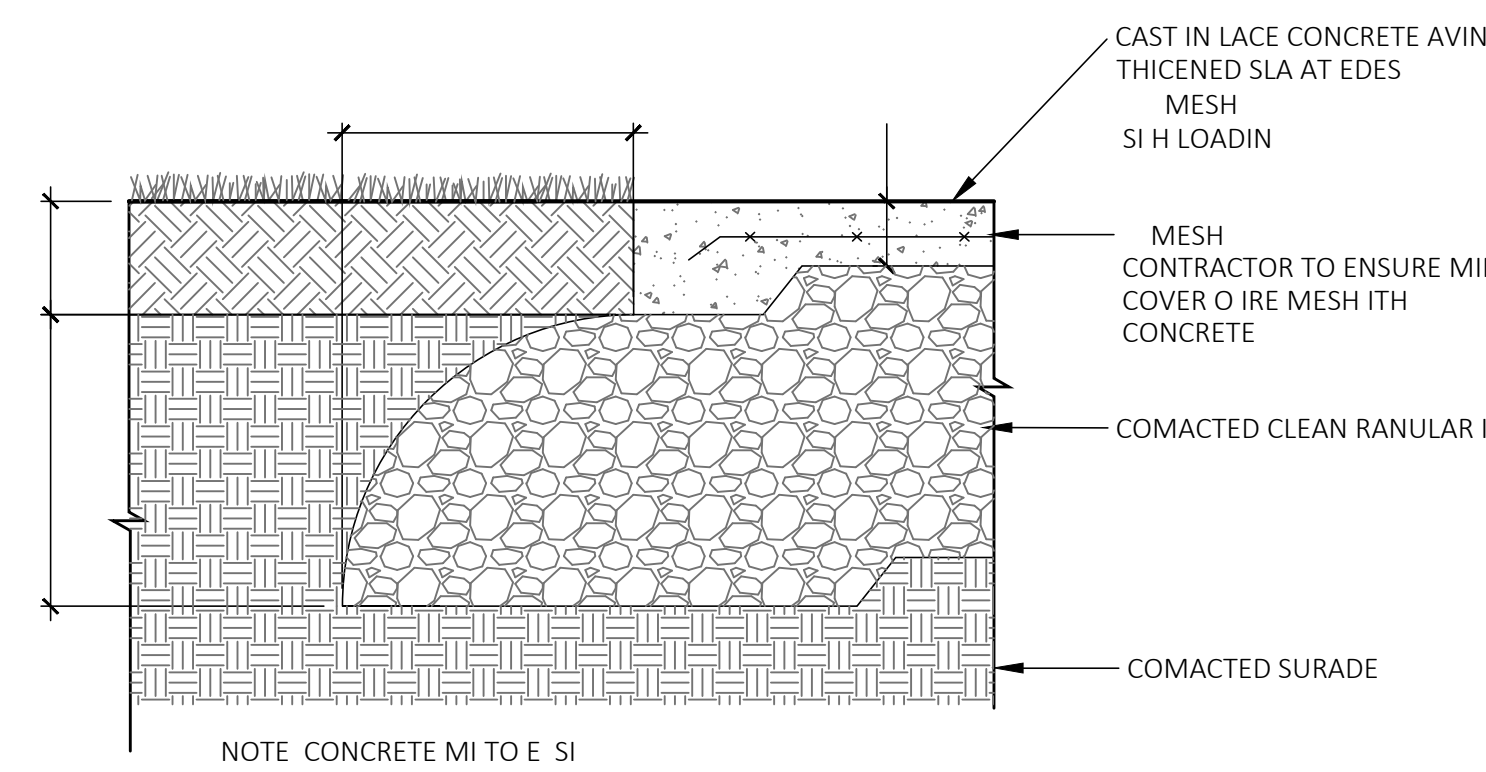


TICAL UNIT AVIN
SCALE

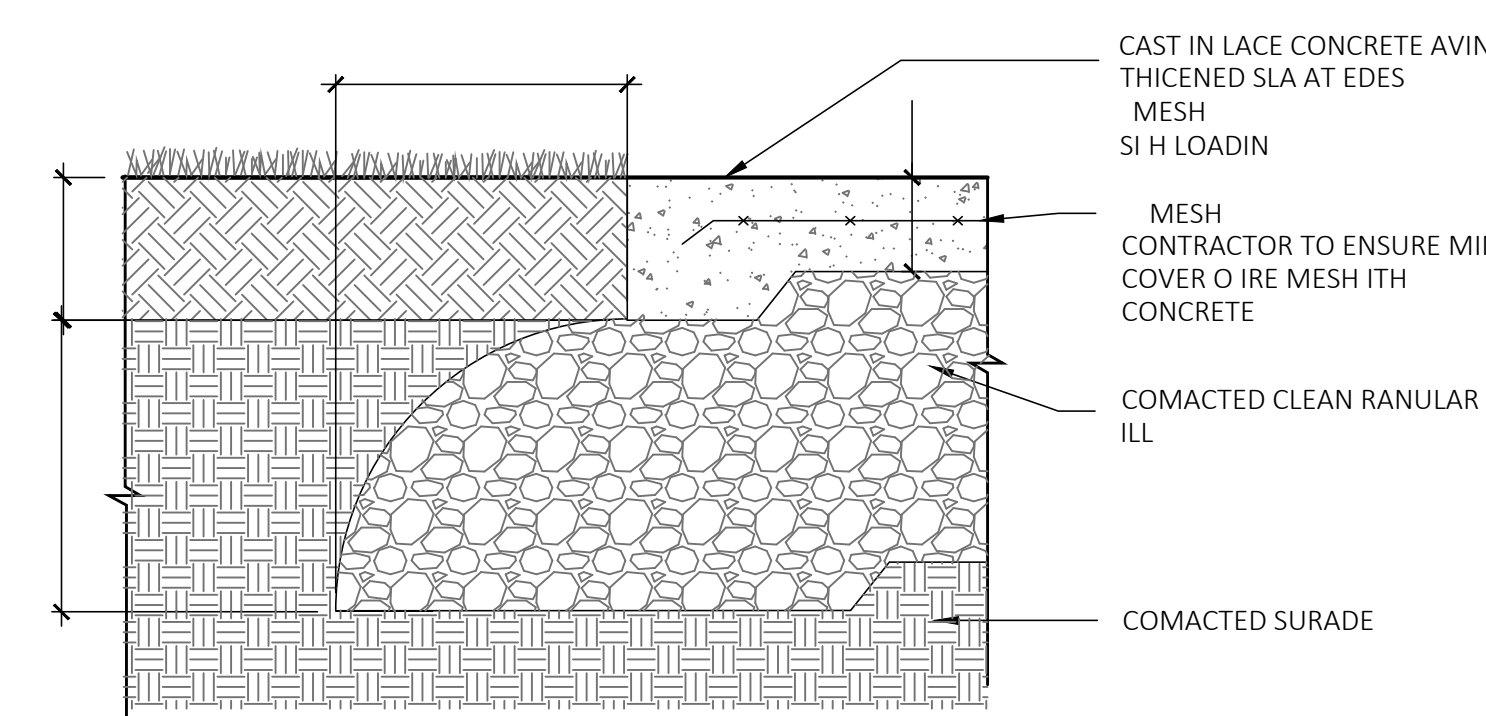


NOTE: IF UNSUITABLE CONDITIONS ARE ENCOUNTERED, DEPTH OF BASE MATERIAL MAY BE INCREASED IN THE FIELD.
1. ALL MATERIALS & CONSTRUCTION SHALL IN ADDITION TO COMPLYING WITH ALL PERTINENT CODES AND REGULATIONS, COMPLY WITH REFERENCED PORTIONS OF STANDARD SPECIFICATIONS FOR HIGHWAYS AND BRIDGES, MASSACHUSETTS DEPARTMENT OF TRANSPORTATION (MDOT).

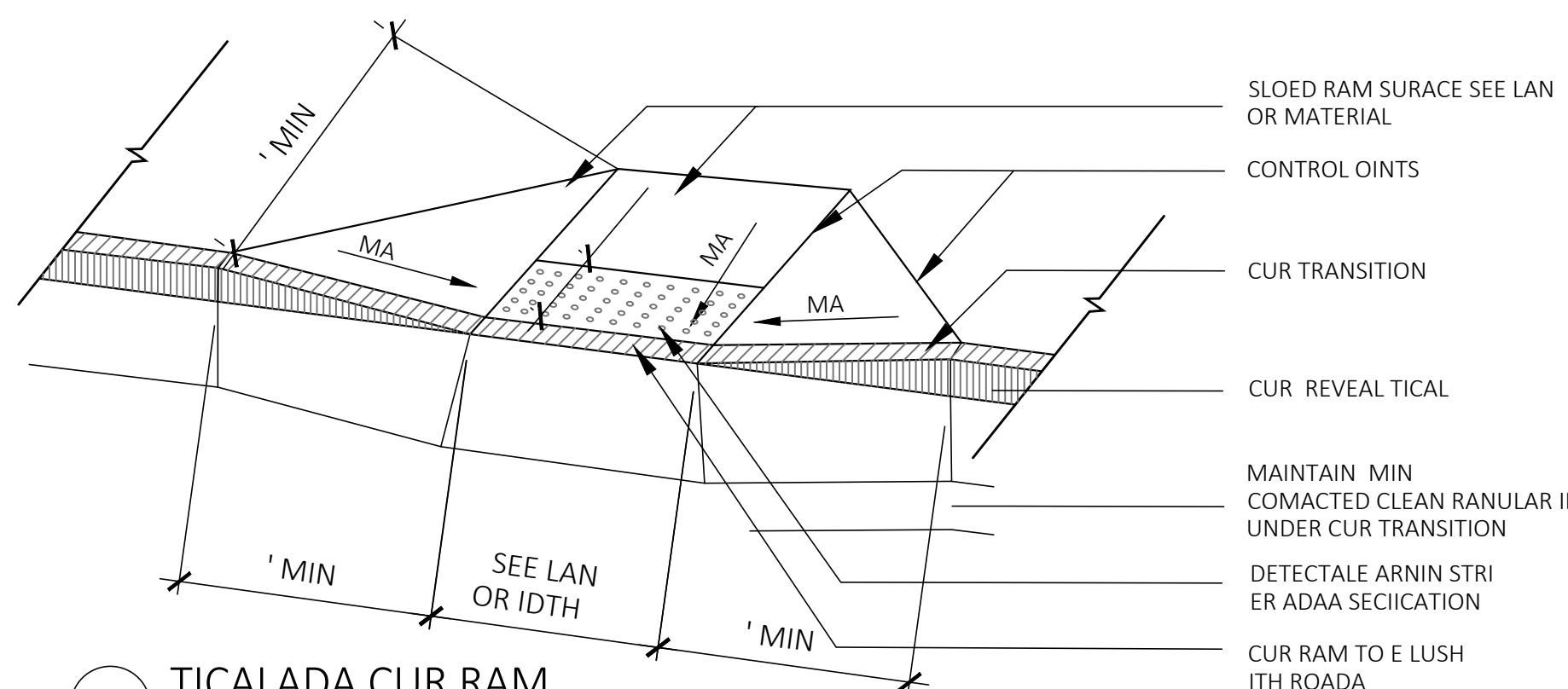
TICAL ASPHALT AVIN
SCALE



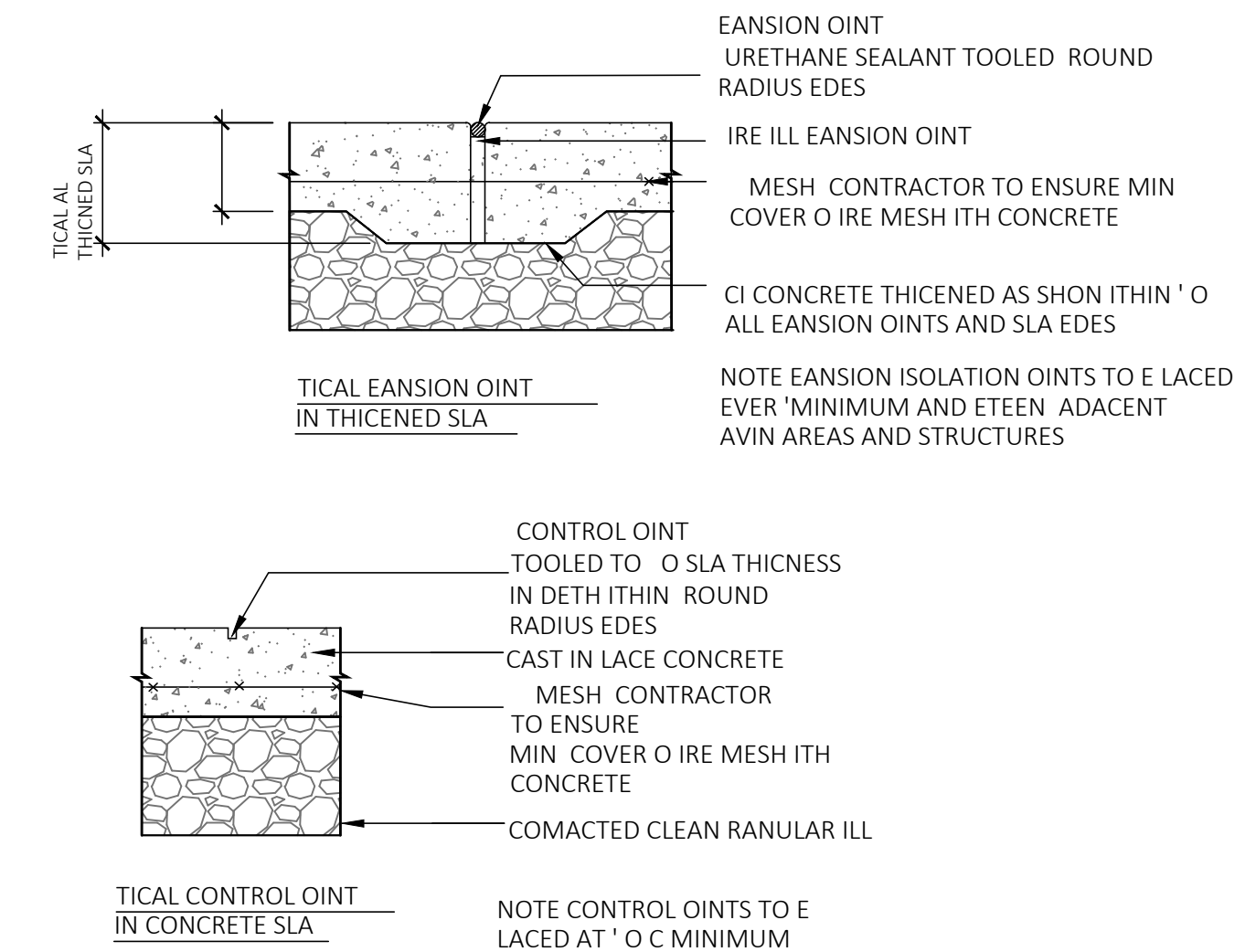
TICAL CONCRETE AVIN
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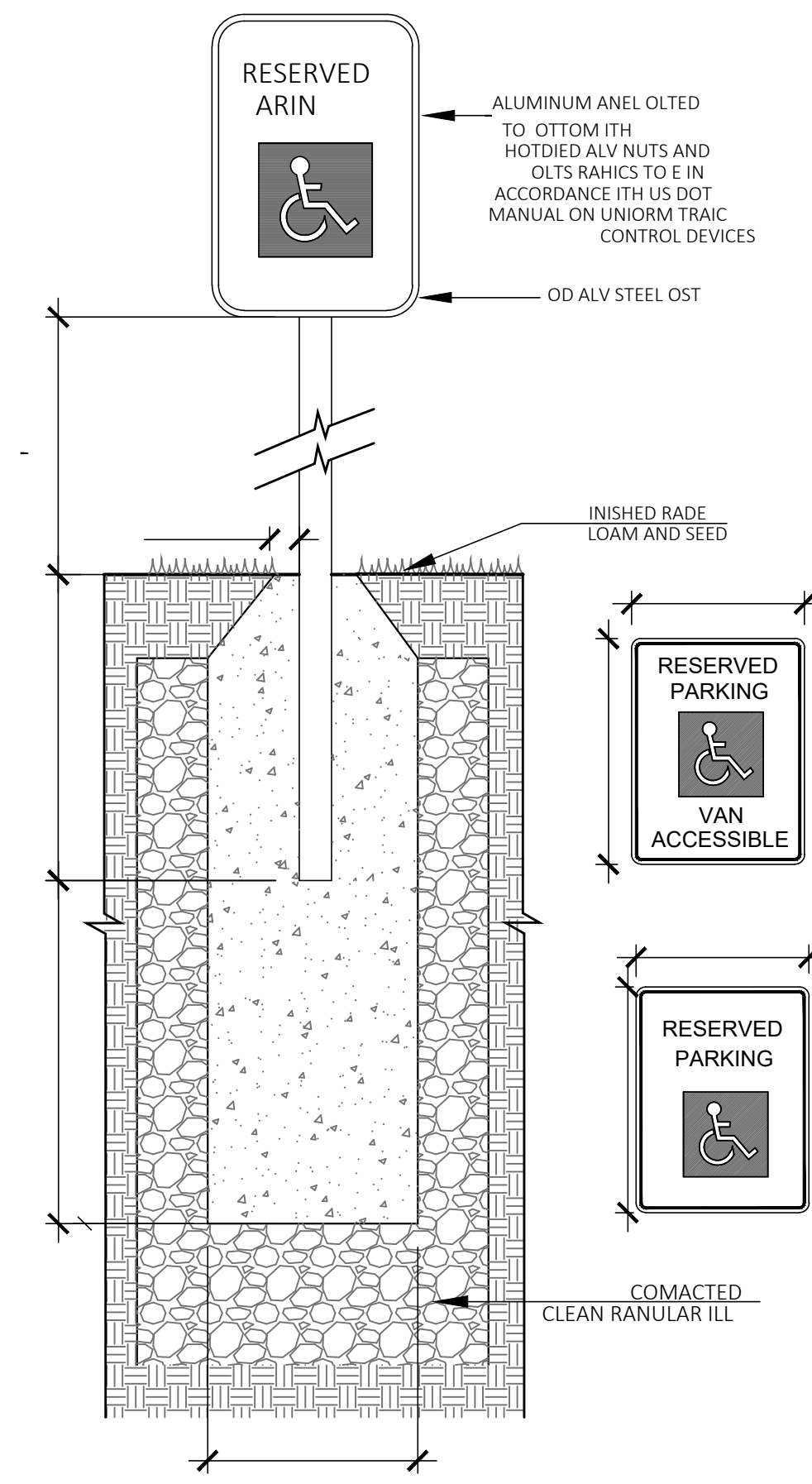
THICKENED CONCRETE SLAB
SCALE



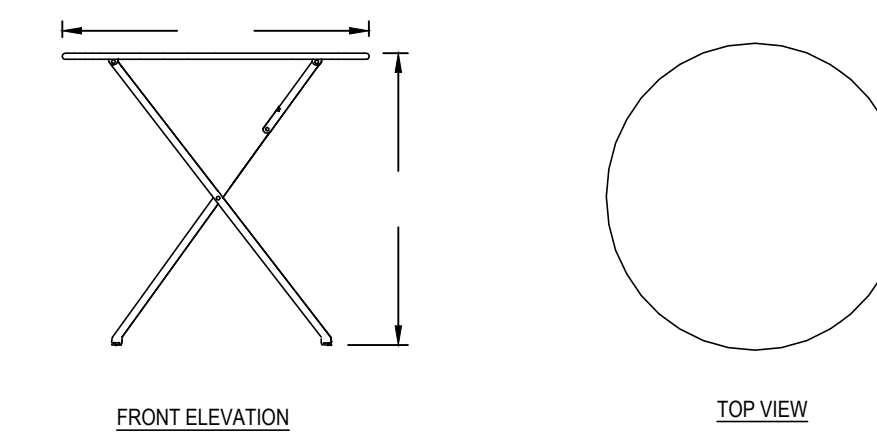
TICAL ADA CUR RAM
SCALE



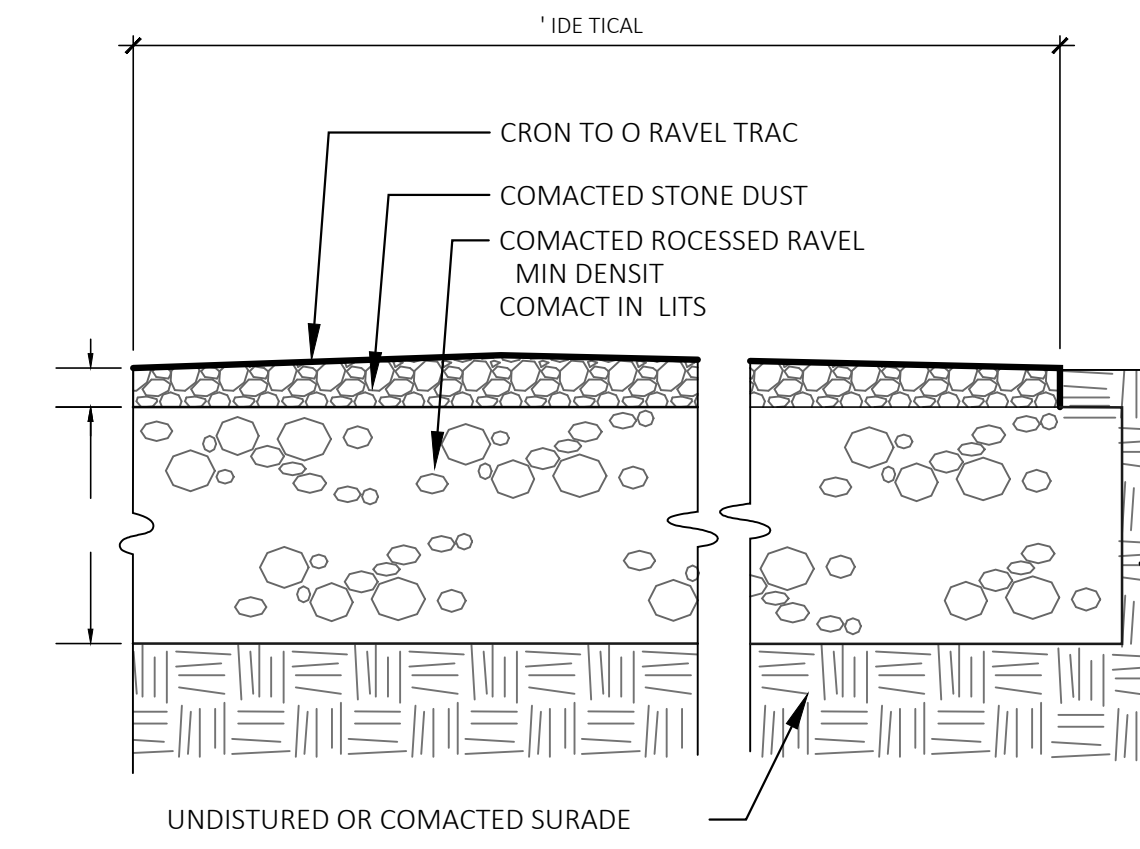
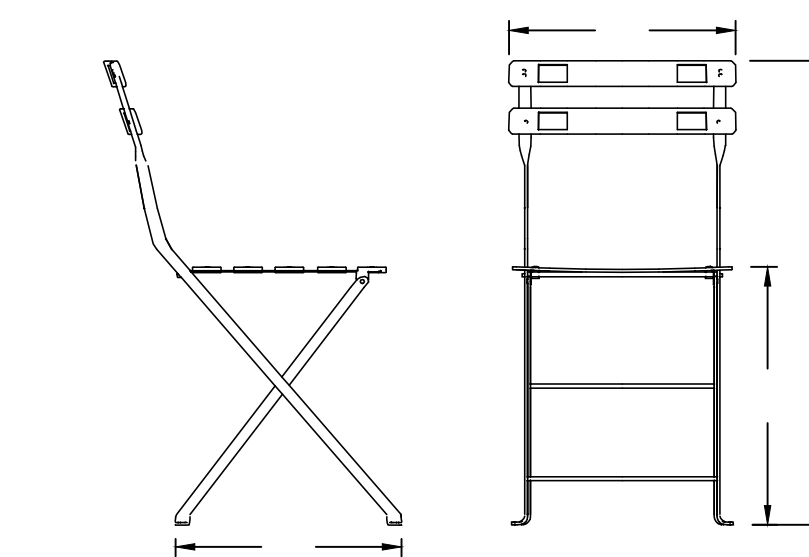
TICAL CONCRETE AVIN CONTROL EXPANSION ISOLATION JOINTS
SCALE



TICAL ANGLE SINS
SCALE



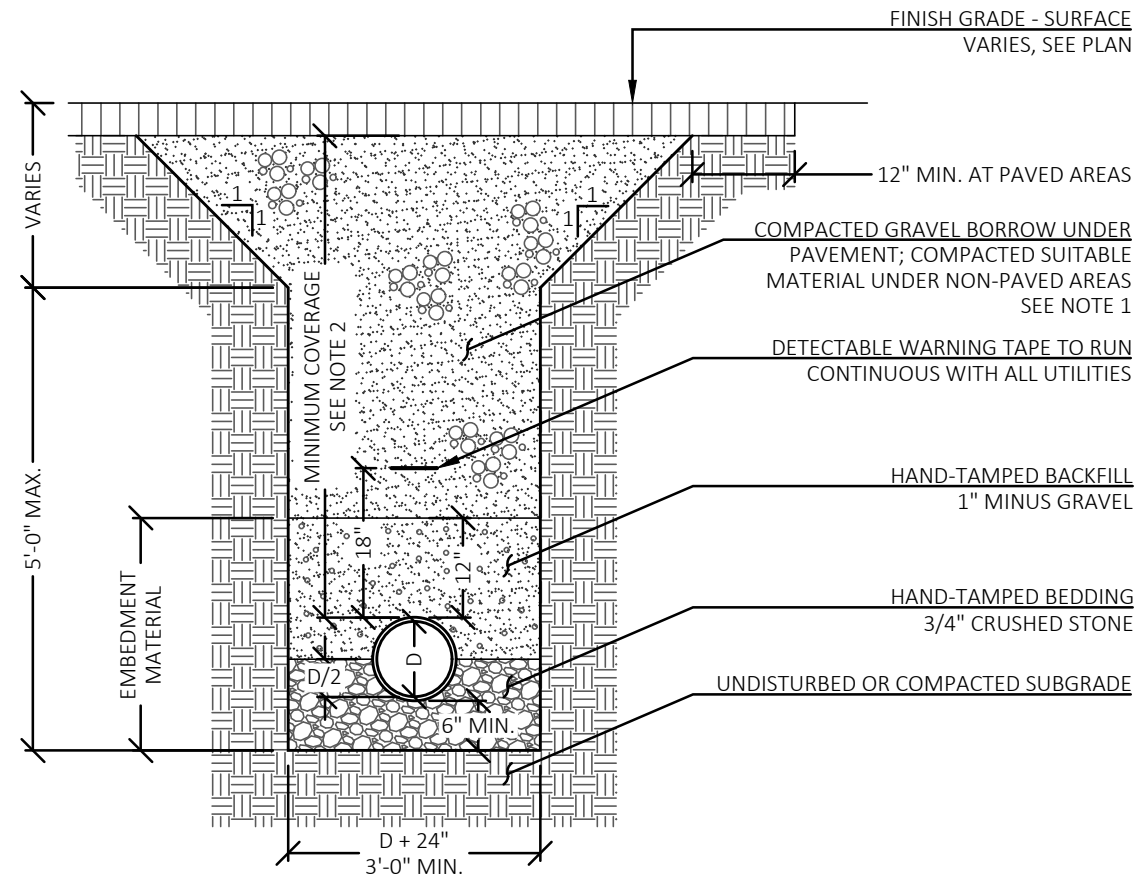
TICAL MOVABLE TABLE
SCALE



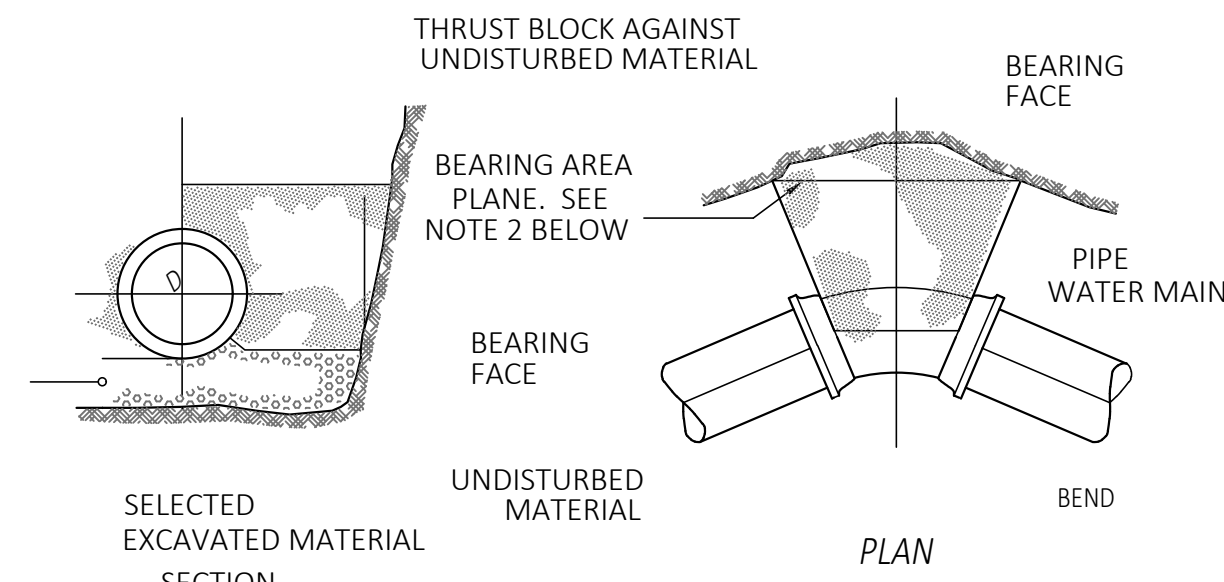
TICAL STONE DUST AVIN
SCALE

Revisions	

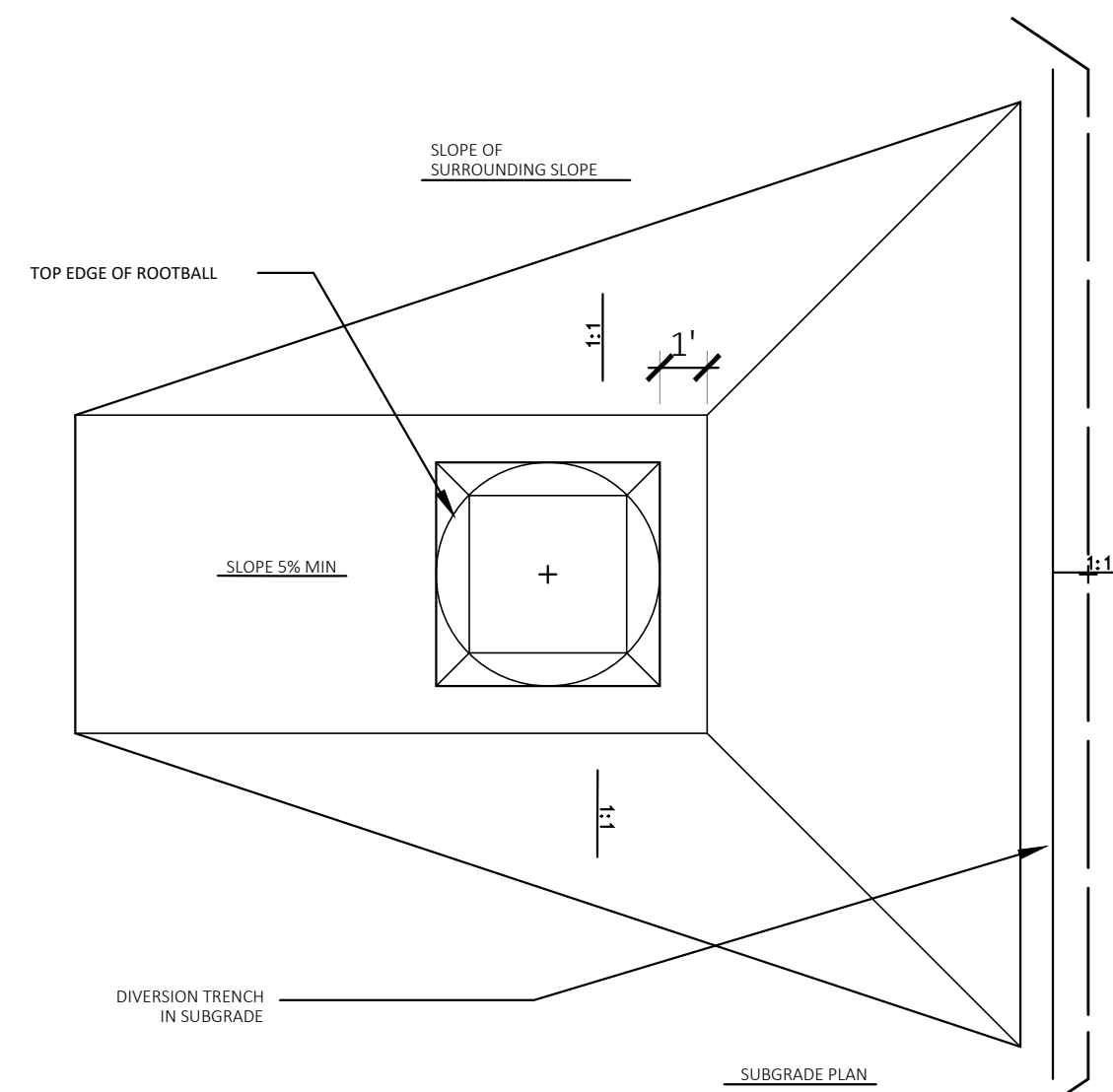
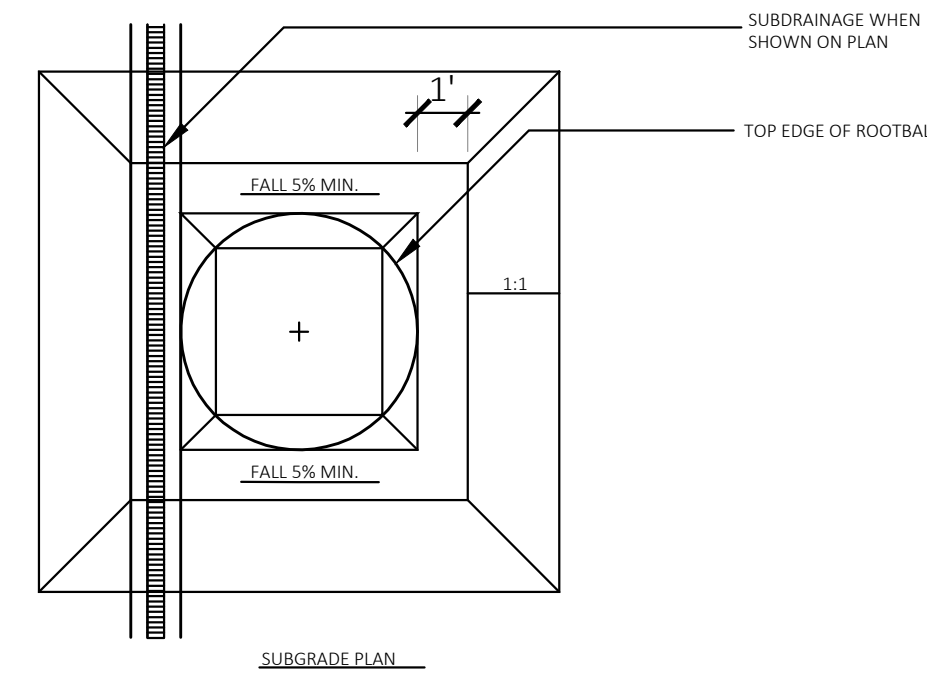
Date:	Sheet Number
Scale:	
Drawn By: RL	LC
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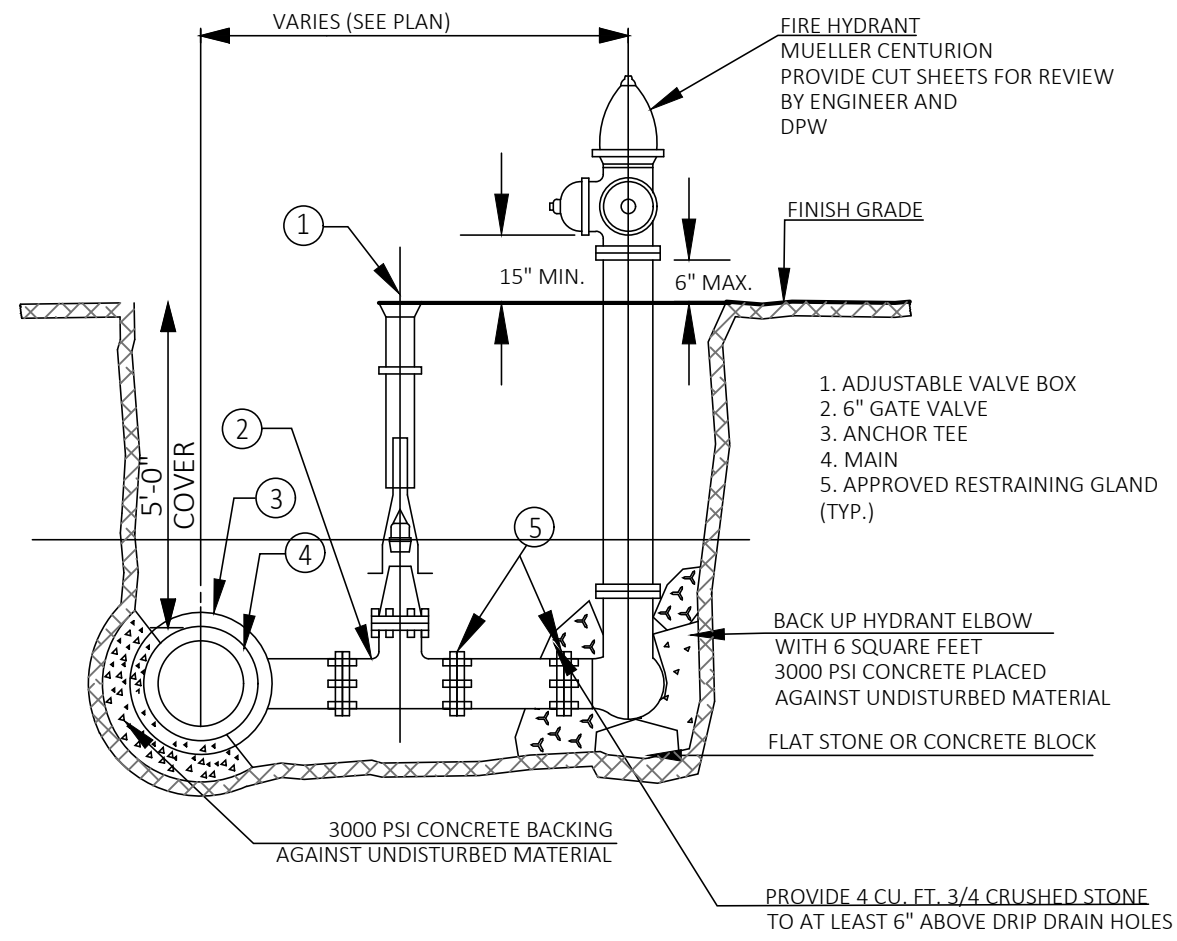
- NOTES**
- NATIVE EXCAVATED MATERIAL THAT MEETS THE SPECIFICATIONS FOR SUITABLE FILL MAY BE USED AS BACKFILL IN NON-PAVED AREAS. SUITABILITY SHALL BE DETERMINED IN THE FIELD BY THE ENGINEER.
 - MINIMUM COVERAGE REQUIREMENTS:
WATER: 5'-0"
SANITARY: 4'-0"
GAS: 2'-6"
ELECTRICAL/COMMUNICATION: 2'-0"
 - ENTIRE PIPE LENGTH SHALL BE FIRMLY SUPPORTED ON BEDDING.



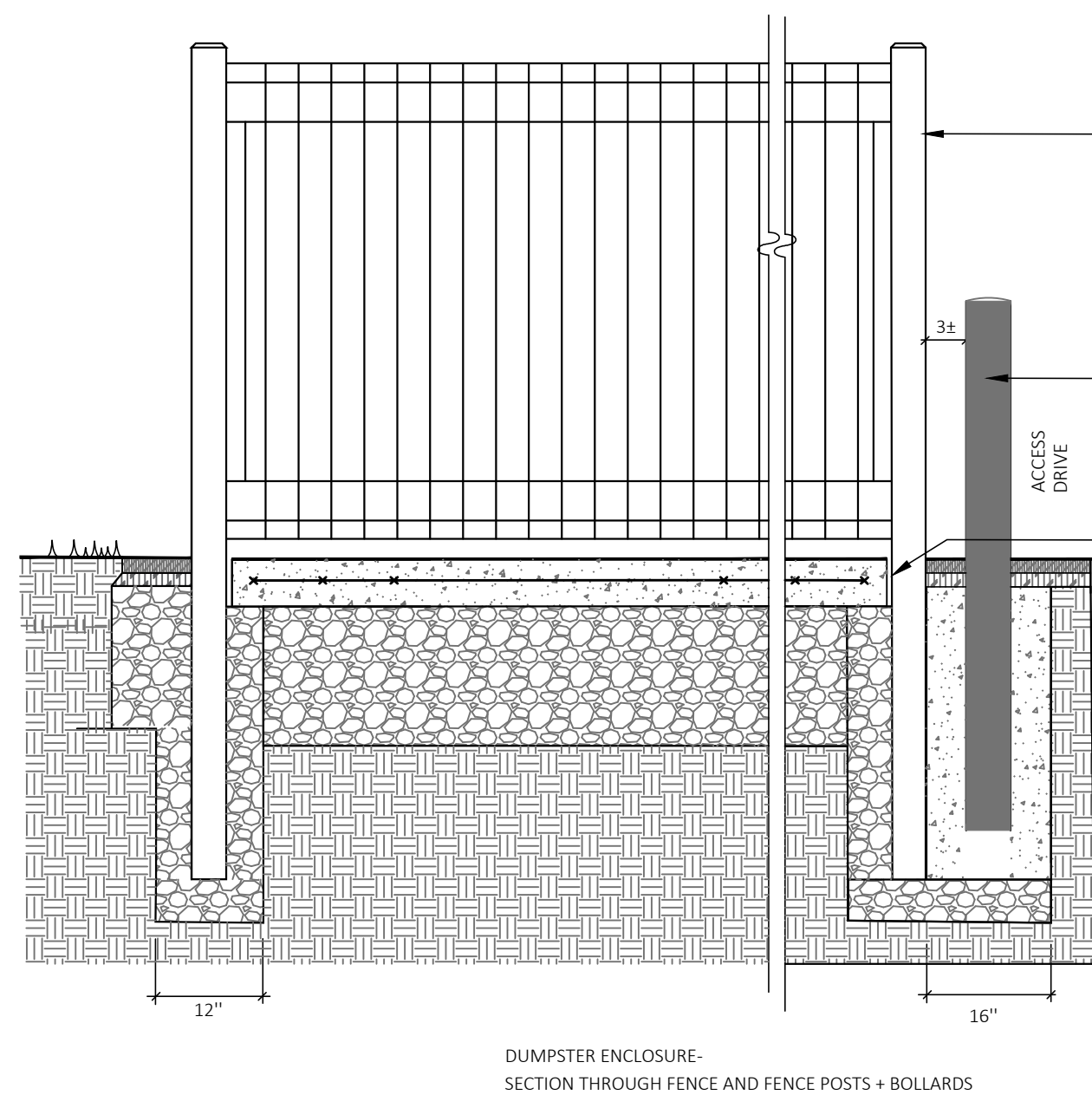
- NOTES:**
- CONCRETE THRUST BLOCKS AND RODS SHALL BE REQUIRED ON ALL BENDS, TEES, ETC. RODDING SHALL BE TO THE FIRST FULL LENGTH OF PIPE ON EACH SIDE OF THE FITTINGS TO BE RESTRAINED UNLESS CONDITIONS REQUIRE ADDITIONAL RESTRAINTS.
 - REQUIRED BEARING AREA TO BE CALCULATED ON VERTICAL PLANE 90° TO RADIAL PLANE PASSING THROUGH MIDPOINT OF BEND.
 - MINIMUM BEARING AREA: 2.0 SQ. FT.



01 UTILITY TRENCH
SCALE: NTS



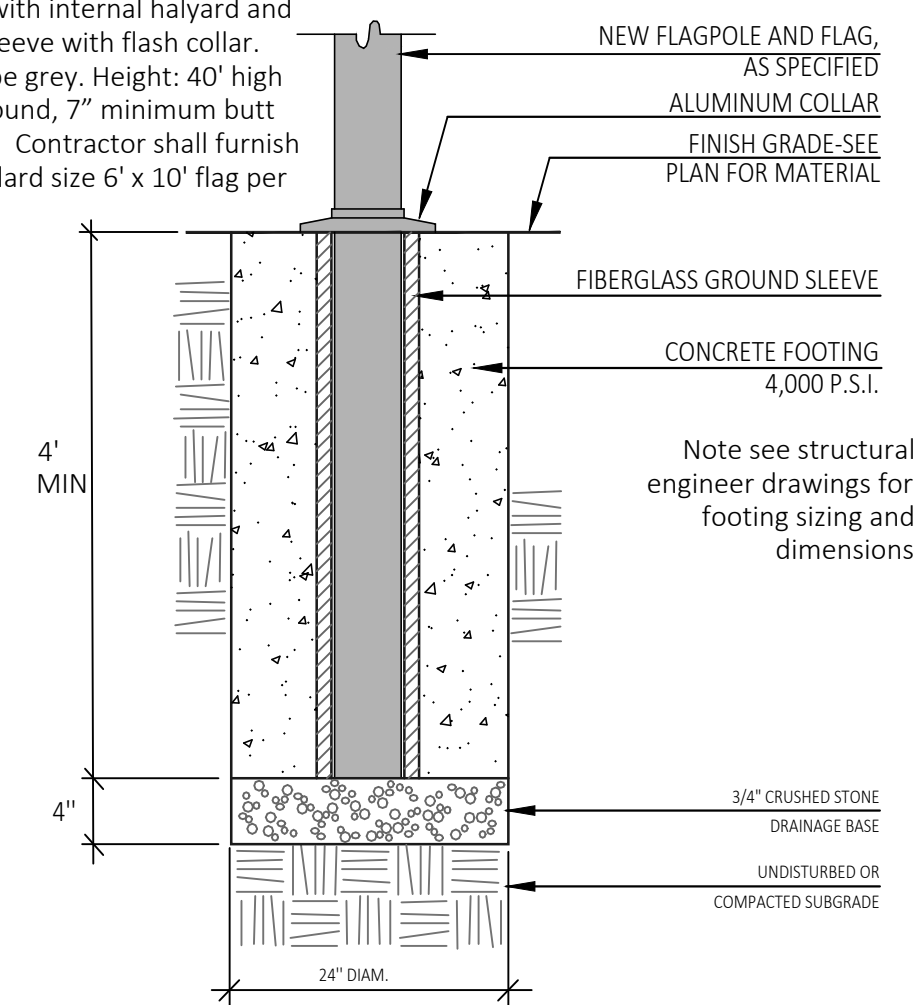
03 FIRE HYDRANT
SCALE: NTS



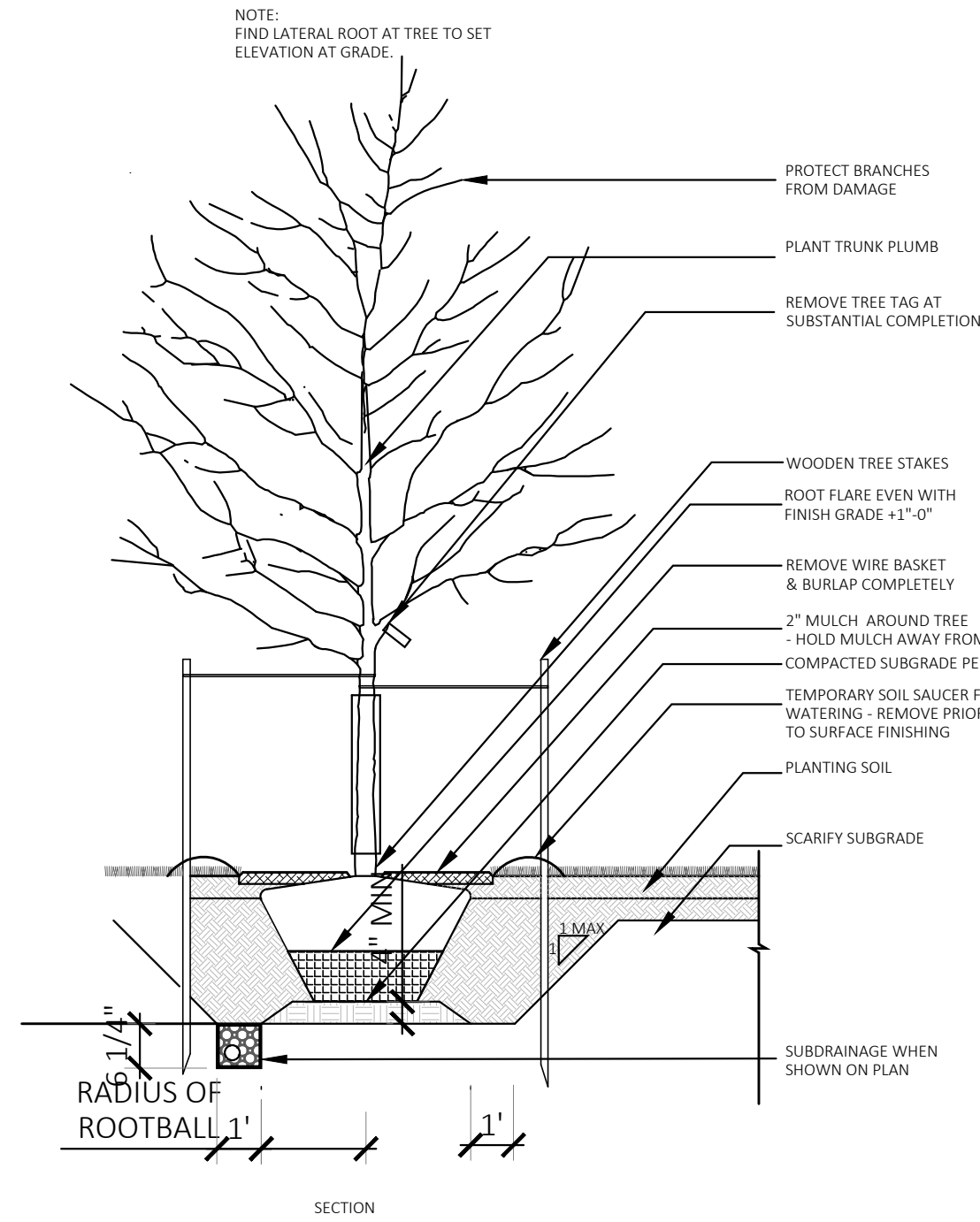
06 TYPICAL DUMPSTER ENCLOSURE
SCALE: nts

02 THRUST BLOCK
SCALE: NTS

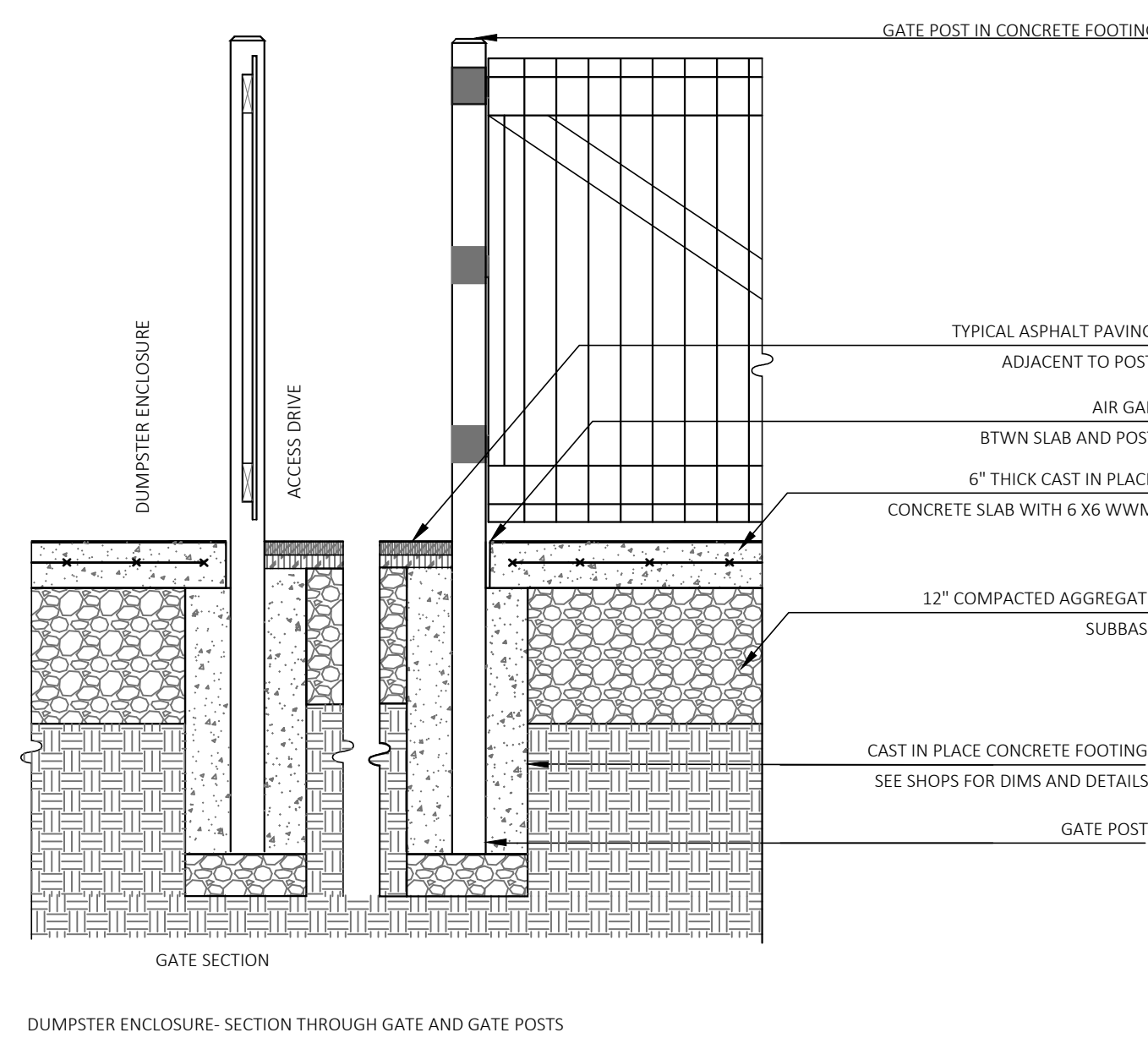
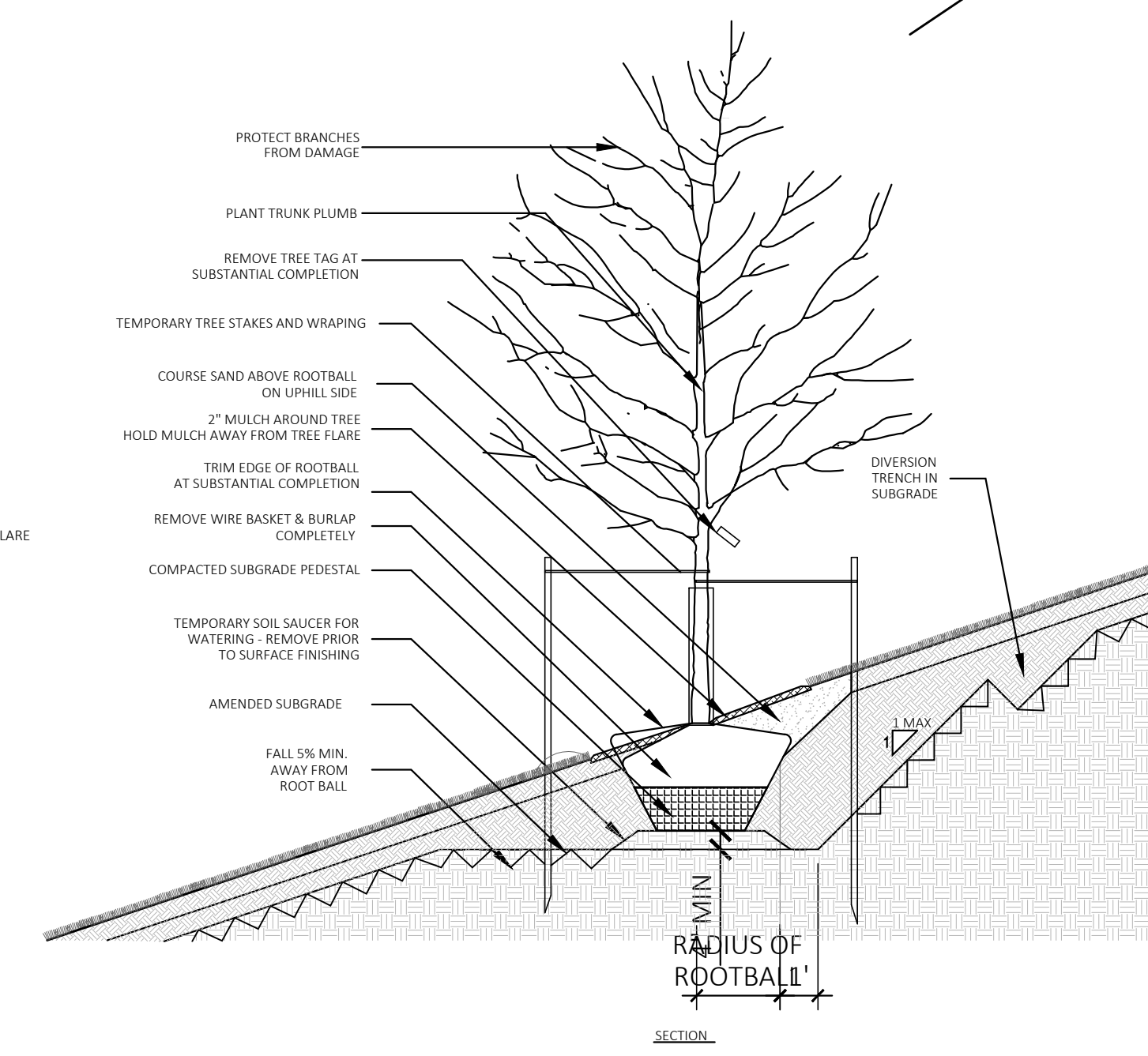
Flagpole shall be fiberglass commercial-grade ground set flagpole with internal halyard and ground sleeve with flash collar. Color to be grey. Height: 40' high above ground, 7" minimum butt diameter. Contractor shall furnish one standard size 6' x 10' flag per pole.



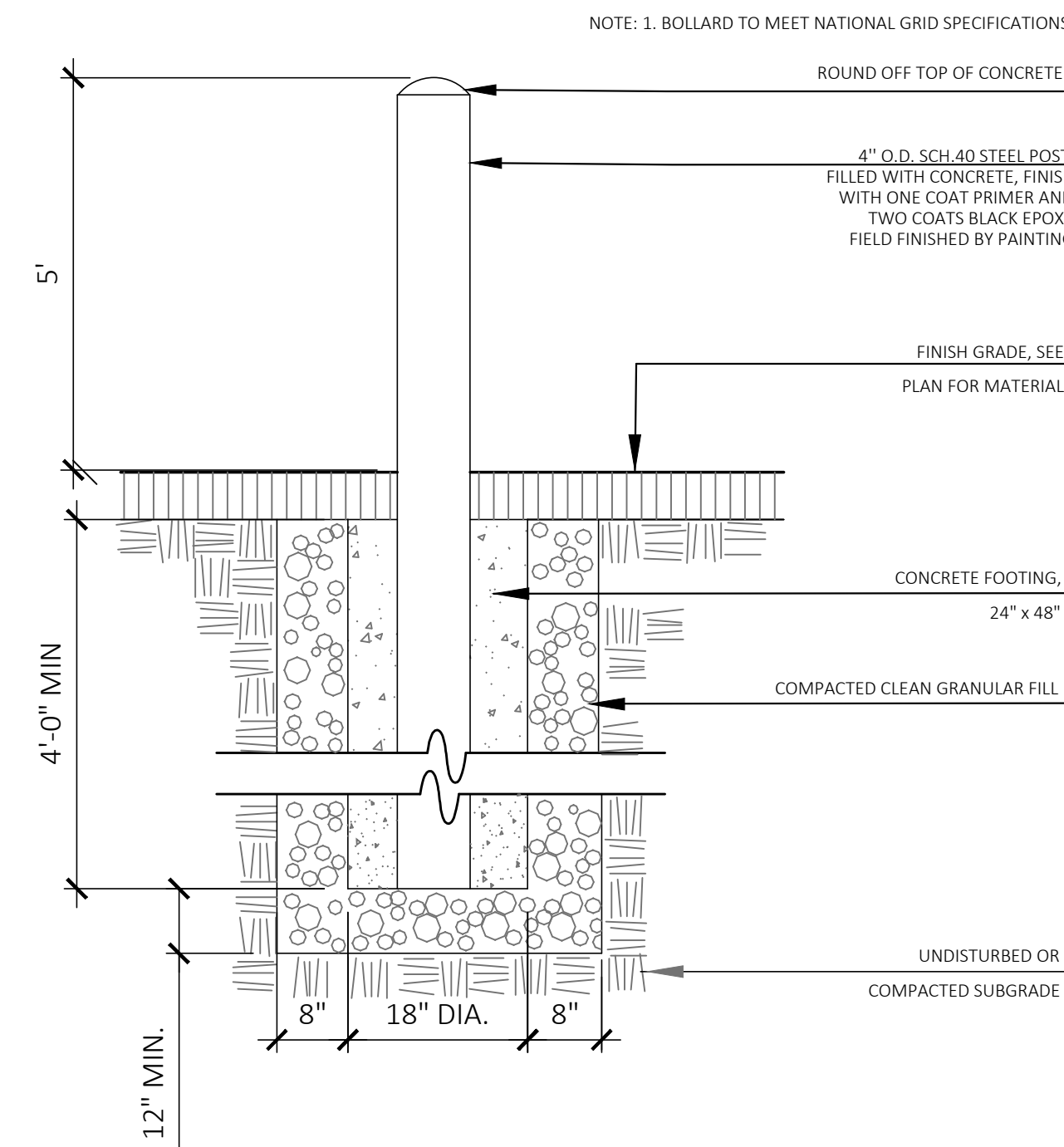
04 FLAG POLE FOOTING
SCALE: NTS



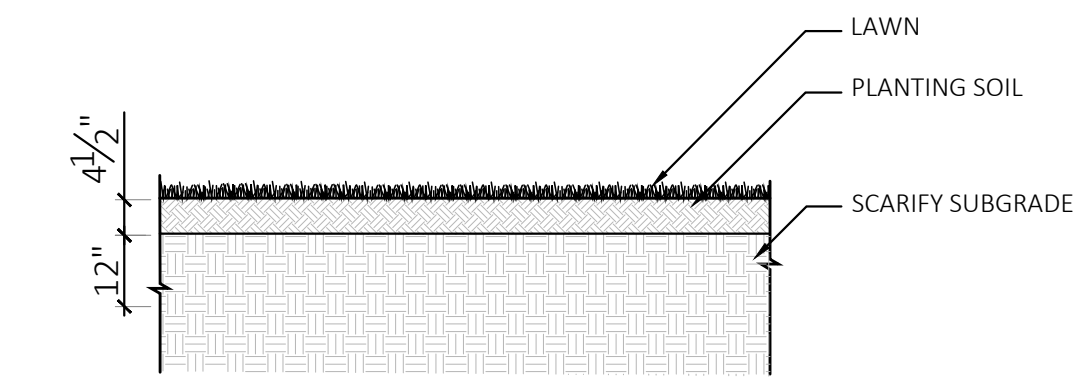
05 TYPICAL TREE PLANTING
SCALE: NTS



DUMPSTER ENCLOSURE- SECTION THROUGH GATE AND GATE POSTS

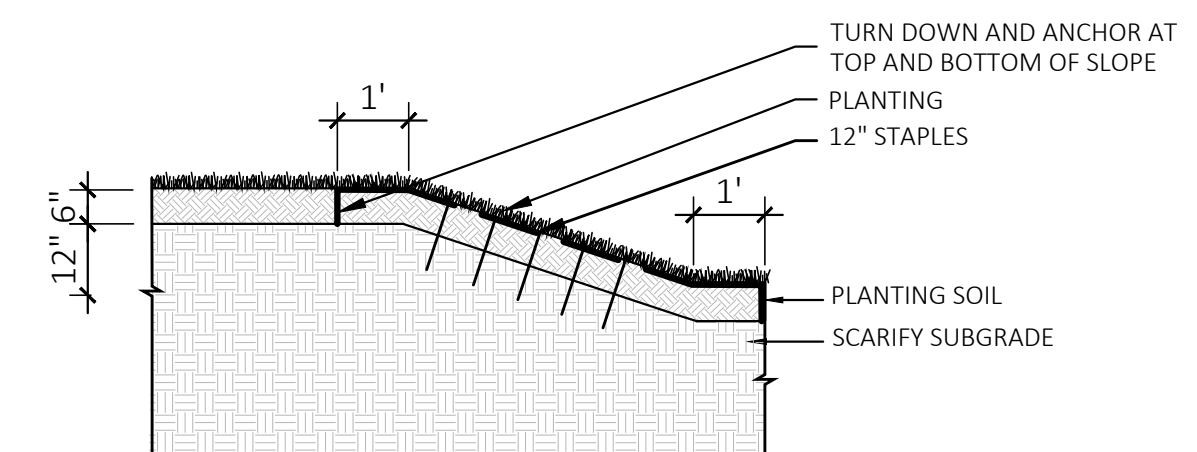


07 UTILITY BOLLARD
SCALE: NTS



07 LAWN PLANTING
SCALE: 1/2" = 1'-0"

- SEED MIX FOR ALL AREAS DISTURBED BY CONSTRUCTION:
Green Wave Hybrid Sun & Shade
30% Zodiac Chewings Fescue
25% Marvel Creeping Red Fescue
15% SPF30 Hybrid Bluegrass
15% Spark Perennial Ryegrass
10% Benchmark Perennial Ryegrass
5% Gaelic Kentucky Bluegrass



08 PLANTING ON SLOPE
SCALE: 1/2" = 1'-0"

EROSION CONTROL FABRIC
TURN DOWN AND ANCHOR AT
TOP SIDES AND BOTTOM OF SLOPE

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SITE DETAILS

40B COMPREHENSIVE
PERMIT SET
NOT FOR CONSTRUCTION
75% DD LEVEL DRAWINGS

Revisions

Date: 04.01.2021

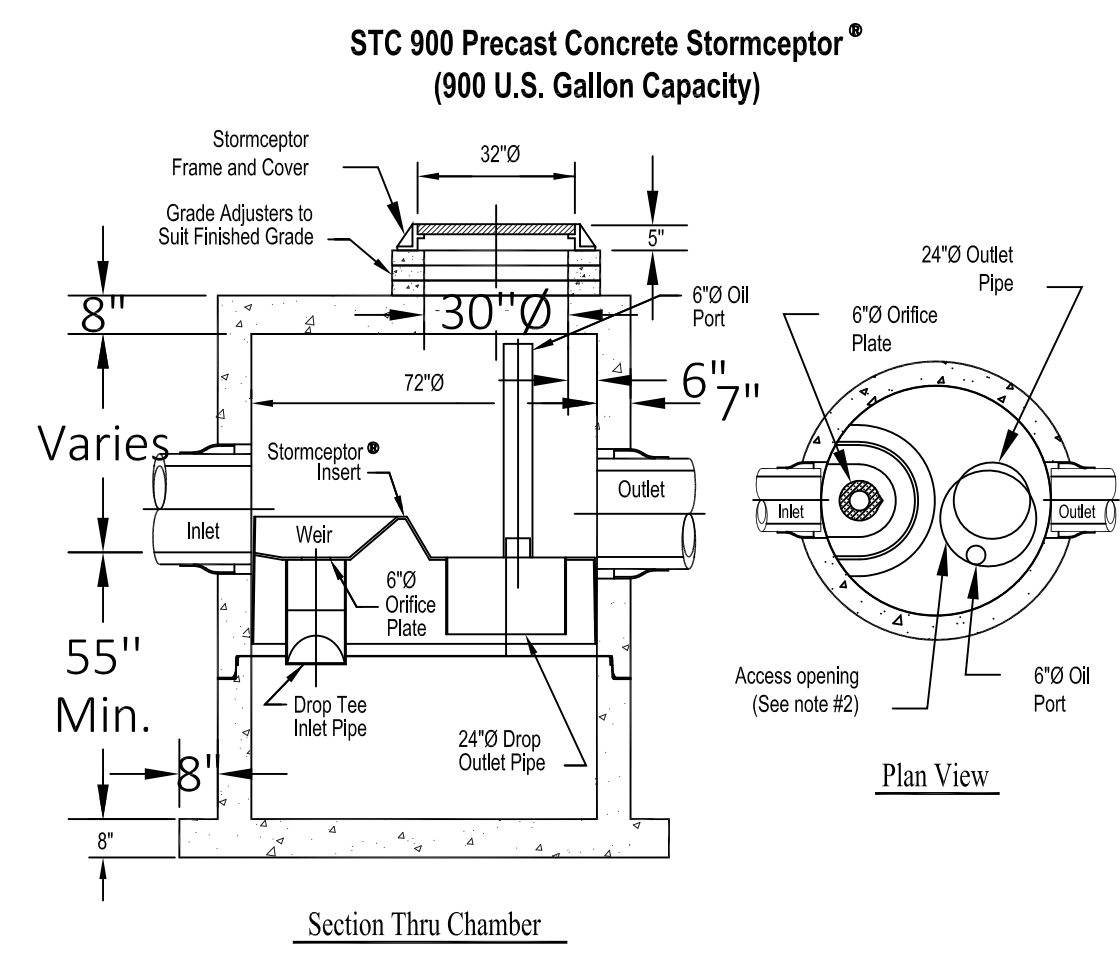
Sheet Number

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Drawn By: RL

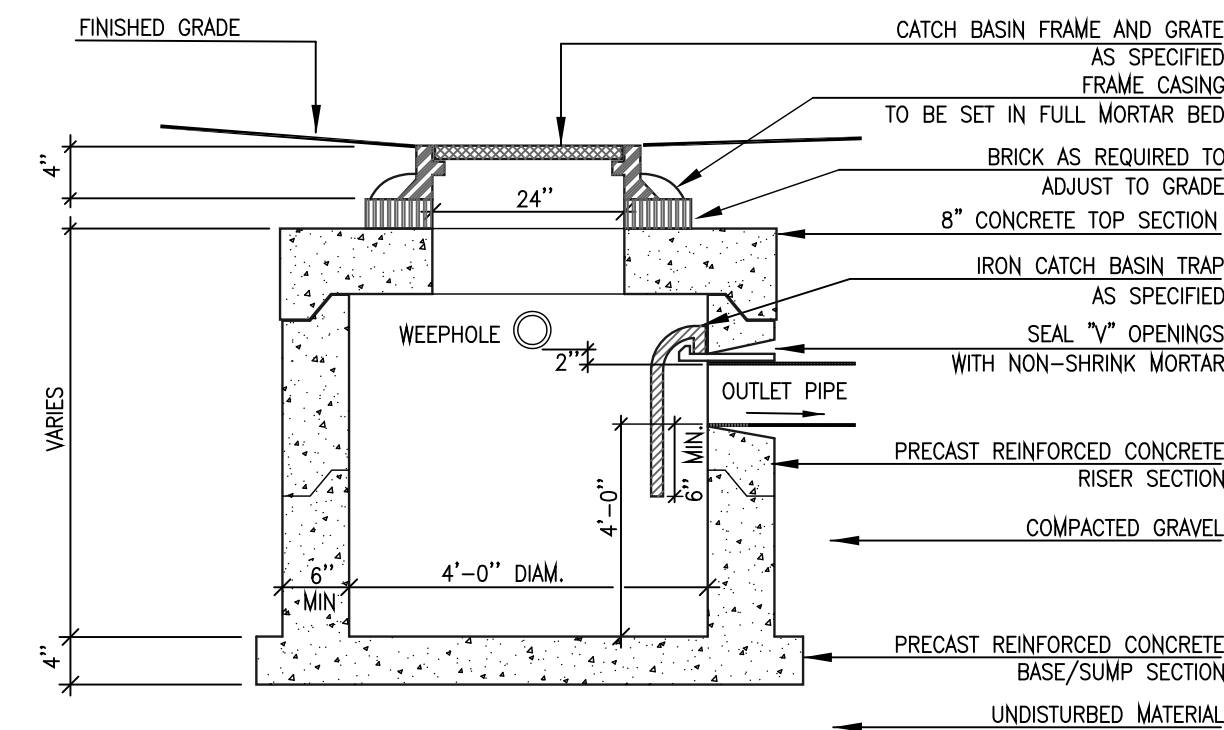
LC- 502

Checked By: GPH



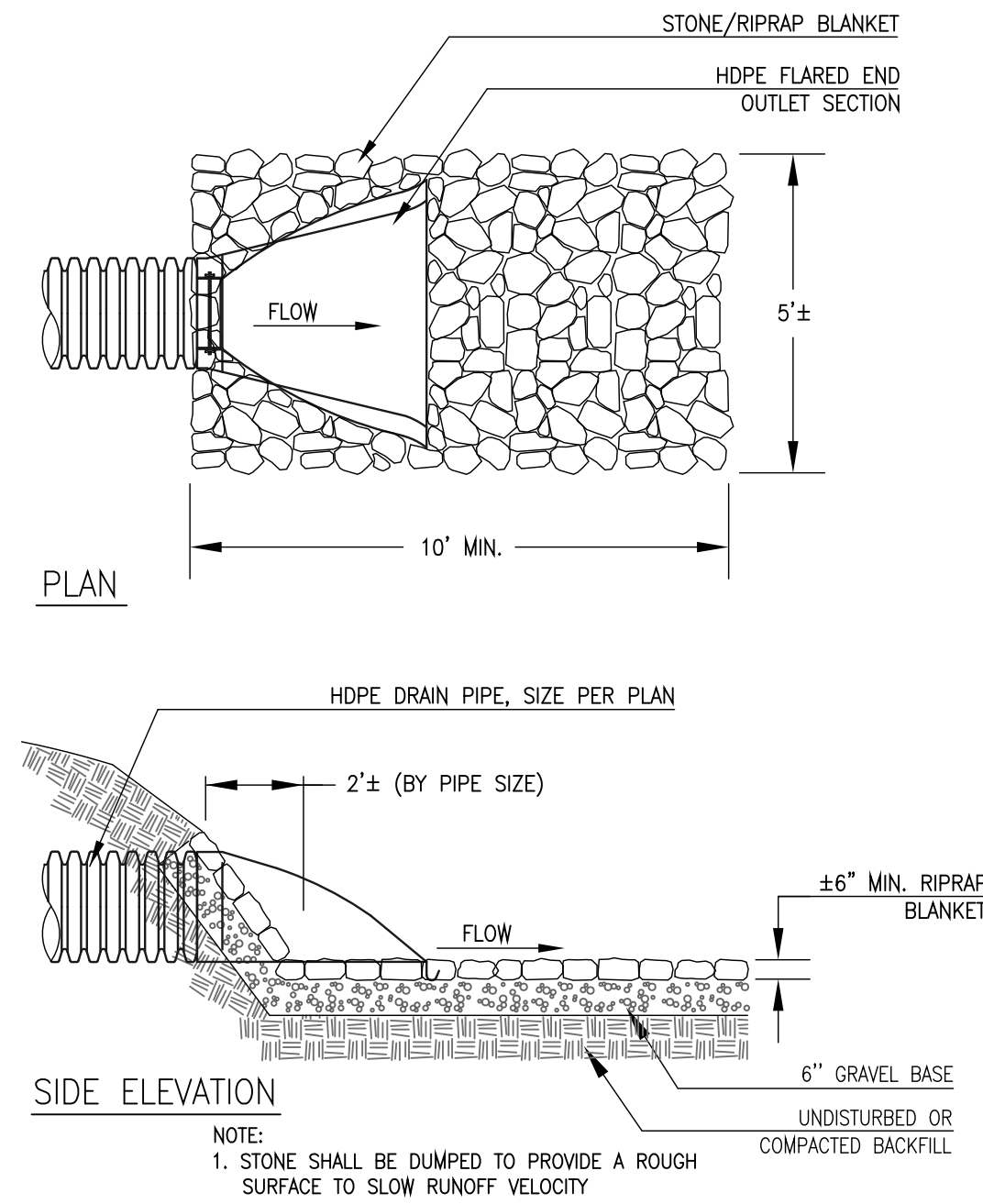
- Notes:
1. The Use Of Flexible Connection is Recommended at The Inlet and Outlet Where Applicable.
 2. The Cover Should be Positioned Over The Outlet Drop Pipe and The Oil Port.
 3. The Stormceptor System is protected by one or more of the following U.S. Patents: #4985148, #5498331, #5725760, #5753115, #5849181, #6068765, #6371690.
 4. Contact a Concrete Pipe Division representative for further details not listed on this drawing.

01 STORMCEPTOR WATER QUALITY STRUCTURE
SCALE: NTS

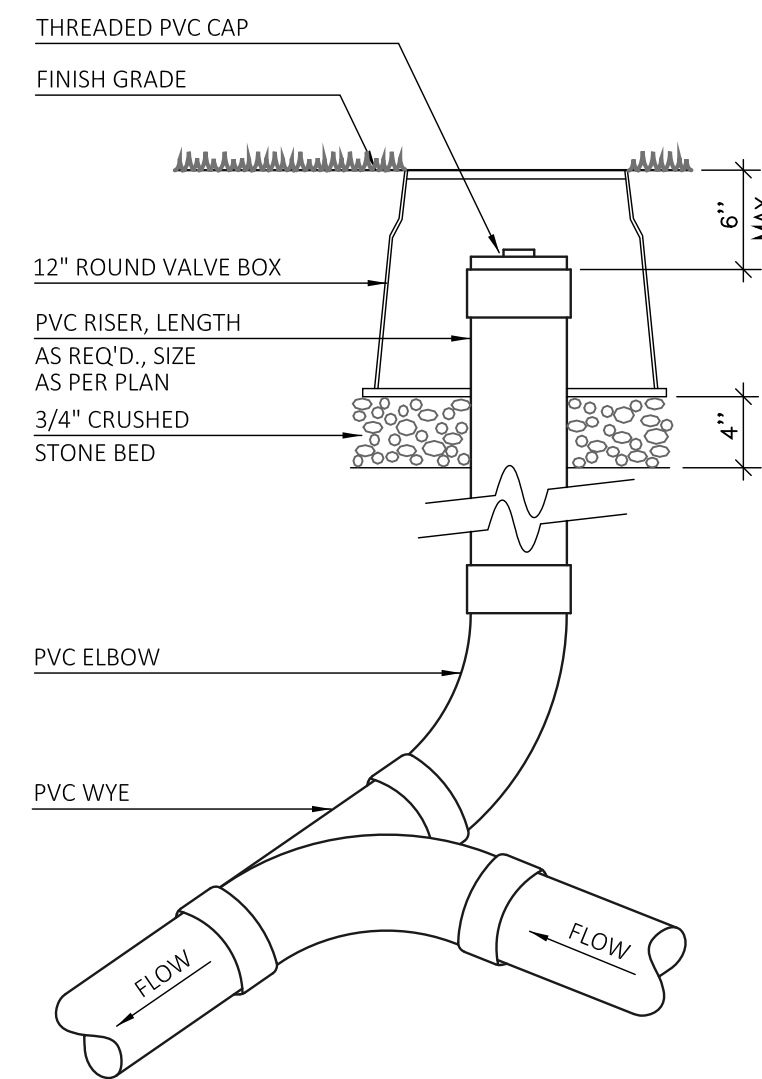


- NOTES:
1. WEEPHOLES TO BE 4" PVC PIPE 12" LONG PLACED THROUGH EACH WALL OF CATCH BASIN. OUTSIDE END TO BE COVERED WITH 1/4" MESH GALVANIZED WIRE SCREEN. PLACE 1/4 CY SCREENED GRAVEL (1" - 1 1/2") AROUND OUT SIDE END OF PIPE. USE MINIMUM OF 3 WEEPHOLES PER BASIN.

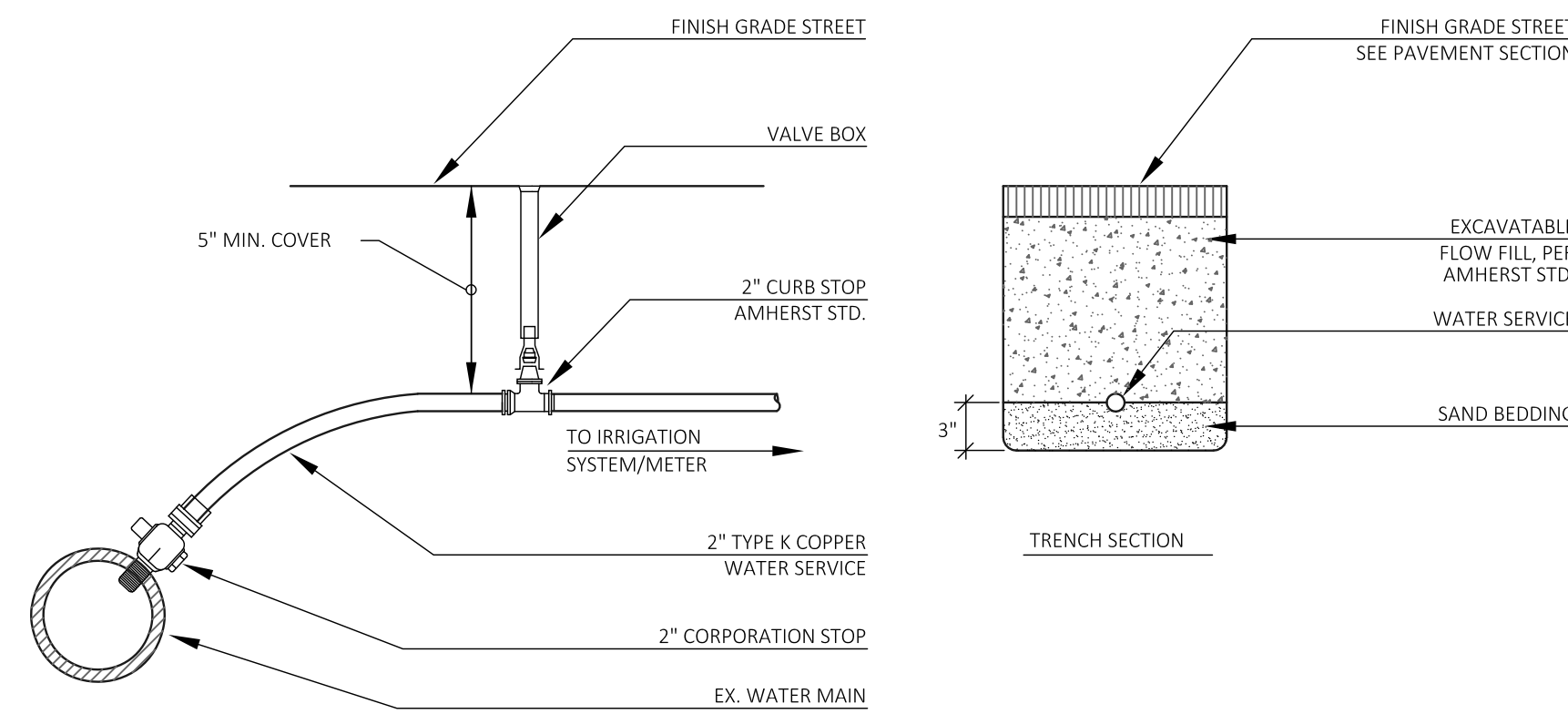
02 CATCH BASIN
SCALE: NTS



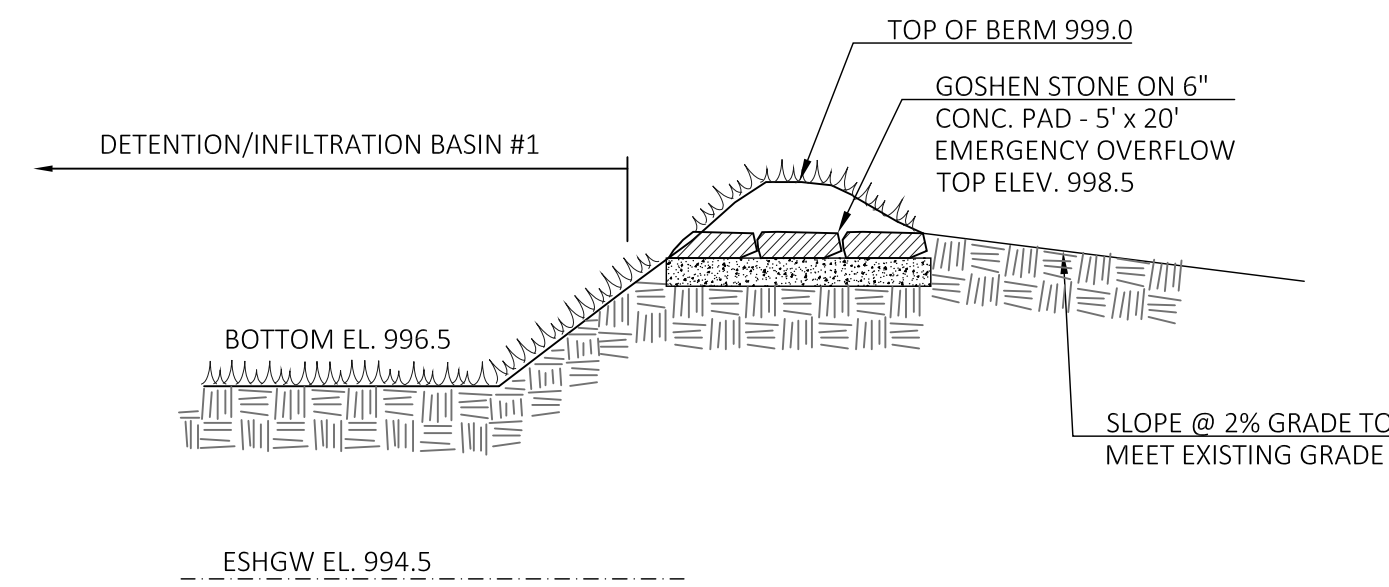
03 FLARED END OUTLET
SCALE: NTS



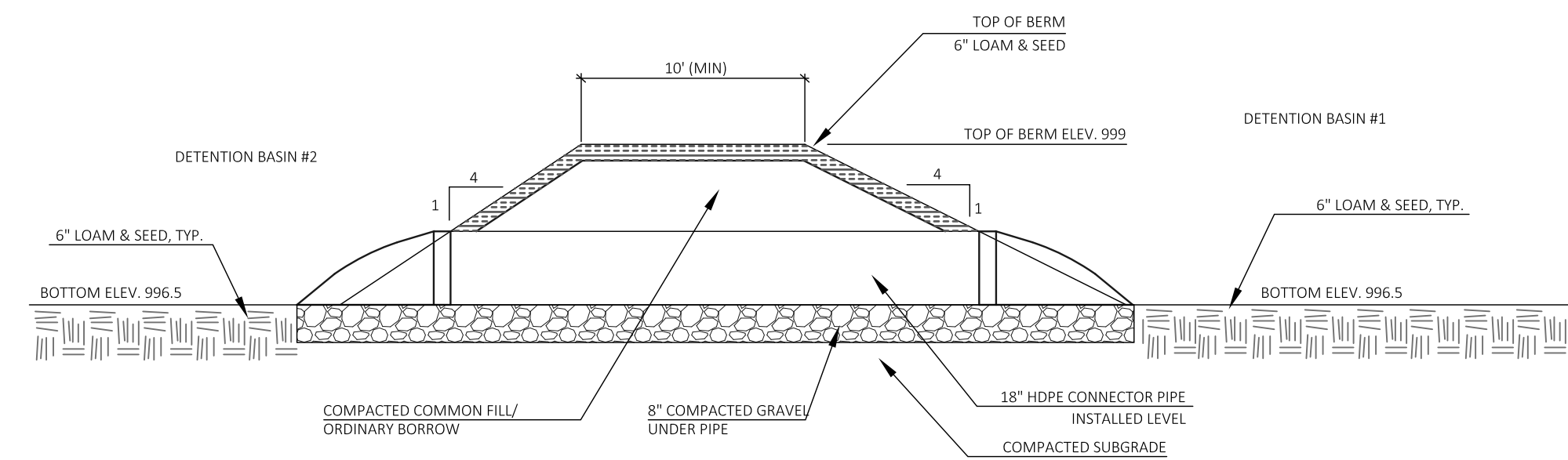
04 DRAIN LINE CLEANOUT
SCALE: NTS



05 WATER CONNECTION DETAILS
SCALE: NTS



06 EMERGENCY OVERFLOW SPILLWAY
SCALE: NTS



07 BERM & CONNECTOR PIPE BETWEEN DETENTION BASINS
SCALE: nts



ANSER ADVISORY
Owners Project Manager
98 Magazine Street, Boston, MA 02119
Office: 617.445.3555
www.anseradvisory.com



JONES WHITSETT ARCHITECTS

Architecture
308 Main Street, Greenfield, MA 01301
(413) 773-5551
office@joneswhitsett.com
http://joneswhitsett.com



Landscape Architecture
Civil Engineering
4 Allen Place, Northampton, Massachusetts 01060
(413) 582-7000
bdg@berkshiredesign.com
http://www.berkshiredesign.com



103 Terrace Street
Roxbury, MA, 02120
Tel: 617 - 708-1071 / Cell: 617 - 939-7543
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MONTACHUSETT VETERANS' OUTREACH CENTER
Murdock Ave & Oak Street
WINCHENDON, MA

SITE DETAILS

40B COMPREHENSIVE PERMIT SET
NOT FOR CONSTRUCTION
75% DD LEVEL DRAWINGS

Revisions

Date: 04.01.2021

Scale:

Drawn By: GPH

Checked By: RL

Sheet Number

LC- 503



1 PROPOSED GARDEN LEVEL
 1/16" = 1'-0"

JWA
 JONES WHITSETT
 ARCHITECTS

308 Main Street
 Greenfield, MA 01301
 T. 413.773.5551
 F. 413.773.5551
 office@joneswhitsett.com
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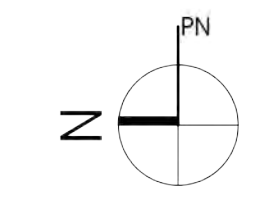
PROPOSED GARDEN LEVEL FLOOR
 PLAN

MONTACUSETT VETERANS' OUTREACH
 CENTER
 MURDOCK AVE & OAK ST
 WINCHENDON, MA

Proj. Number: 1920
 Date: 4/1/2021
 Scale:
 Drawn By: Author
 Revisions:

NOT FOR
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A101





2 PROPOSED FIRST FLOOR
 1/16" = 1'-0"

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 JONES WHITSETT
 ARCHITECTS

308 Main Street
 Greenfield, MA 01301
 T. 413.773.5551
 F. 413.773.5551
 office@joneswhitsett.com
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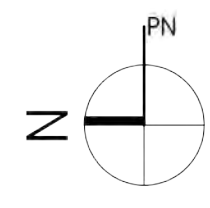
PROPOSED FIRST FLOOR PLAN

MONTACHUSETT VETERANS' OUTREACH
 CENTER
 MURDOCK AVE & OAK ST
 WINCHENDON, MA

Proj. Number: 1920
 Date: 4/1/2021
 Scale:
 Drawn By: Author
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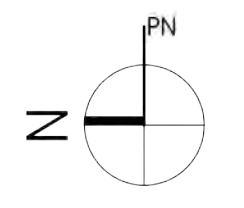
NOT FOR
 CONSTRUCTION

A102



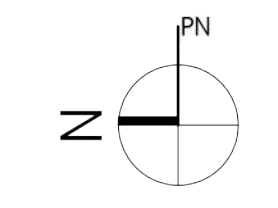


3 PROPOSED SECOND FLOOR
 1/16" = 1'-0"





4 PROPOSED ROOF PLAN
 1/16" = 1'-0"



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308 Main Street
 Greenfield, MA 01301
 T. 413.773.5551
 F. 413.773.5551
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PROPOSED ROOF PLAN

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 WINCHENDON, MA

Proj. Number:	1920
Date:	4/1/2021
Scale:	
Drawn By:	Author
Revisions:	

NOT FOR
 CONSTRUCTION

A104

1 2 3 4 5 6 7 8

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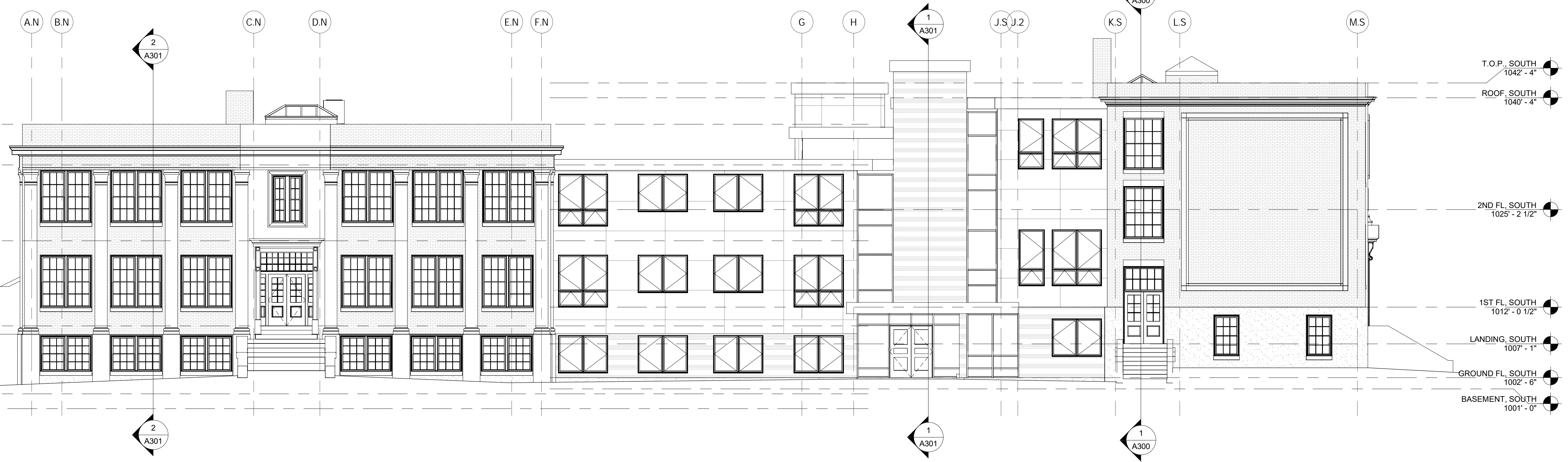
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E

F



1 SOUTH ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"

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JONES WHITSETT
ARCHITECTS

308 Main Street
 Greenfield, MA 01301
 T. 413.773.5551
 F. 413.773.5551
 office@joneswhitsett.com
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BUILDING ELEVATIONS

MONTACUSETT VETERANS' OUTREACH
CENTER
 MURDOCK AVE & OAK ST
 WINCHENDON, MA

Proj. Number:	1920
Date:	4/1/2021
Scale:	1/8" = 1'-0"
Drawn By:	Author
Revisions:	

NOT FOR
 CONSTRUCTION

A200

1 2 3 4 5 6 7 8

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- GENERAL NOTES**
1. Precast pilasters to remain.
 2. Cast site to be inspected and reinstalled.
 3. Existing steel truss to be inspected and cleaned.
 4. Refer to Structural Report and Masonry Restoration Specifications.
 5. Existing exterior unit masonry to be repaired.
 6. Exterior stairs to remain and be enlarged from below to meet new grade.
 7. Exterior stair rails are not shown in massing and elevations. Most are to be replaced with code compliant variations.
 8. Exterior vents to be removed, filled and comparable panel to be reinstalled at same location to maintain appearance.
 9. Existing unbraced aluminum door frames to be replaced with new.
 10. Existing Steeple West Elevation exterior door to remain.
 11. New exterior doors at existing buildings to be replaced with insulated, paneled doors and sashes.
 12. Existing wood canopy on north and south elevations to be rebuilt in-kind.
 13. Existing lower level openings at Steeple to be expanded to meet egress requirements.
 14. Existing historic windows to be replaced per window specifications and in keeping with Dept. of Interior Standards.
 15. Existing Steeple chimney to be rebuilt from re-used brick units.
 16. Existing Poland roofing chases to be reviewed for retention.
 17. Skylights to be added to existing roof tops.
 18. Existing rear subgrade storage areas in Steeple to be demolished and removed.
 19. Existing north, basement level boiler room in Poland to be demolished and removed.
 20. Cladding for new construction to consist of fiber cement panel and plank metal horizontal siding.
 21. Grading lines shown for illustration purposes. See Site Plan for grading details.
 22. Raised floor levels in Steeple and Poland indicated on Building Section Sheets A300 and A301.



1 PROPOSED SOUTH ELEVATION - RENDERED
1/8" = 1'-0"

D

E

F



2 PROPOSED WEST ELEVATION - RENDERED
1/8" = 1'-0"

JWA
JONES WHITSETT
ARCHITECTS

308 Main Street
Greenfield, MA 01301

T. 413.773.5551
F. 413.773.5551

office@joneswhitsett.com

Consultants:
PLACETAIR
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PROPOSED ELEVATIONS - RENDERED

MONTACHUSETT VETERANS' OUTREACH
CENTER
MURDOCK AVE & OAK ST
WINCHENDON, MA

Proj. Number:	1920
Date:	4/1/2021
Scale:	As indicated
Drawn By:	Author
Revisions:	

NOT FOR
CONSTRUCTION

A200R

1 2 3 4 5 6 7 8

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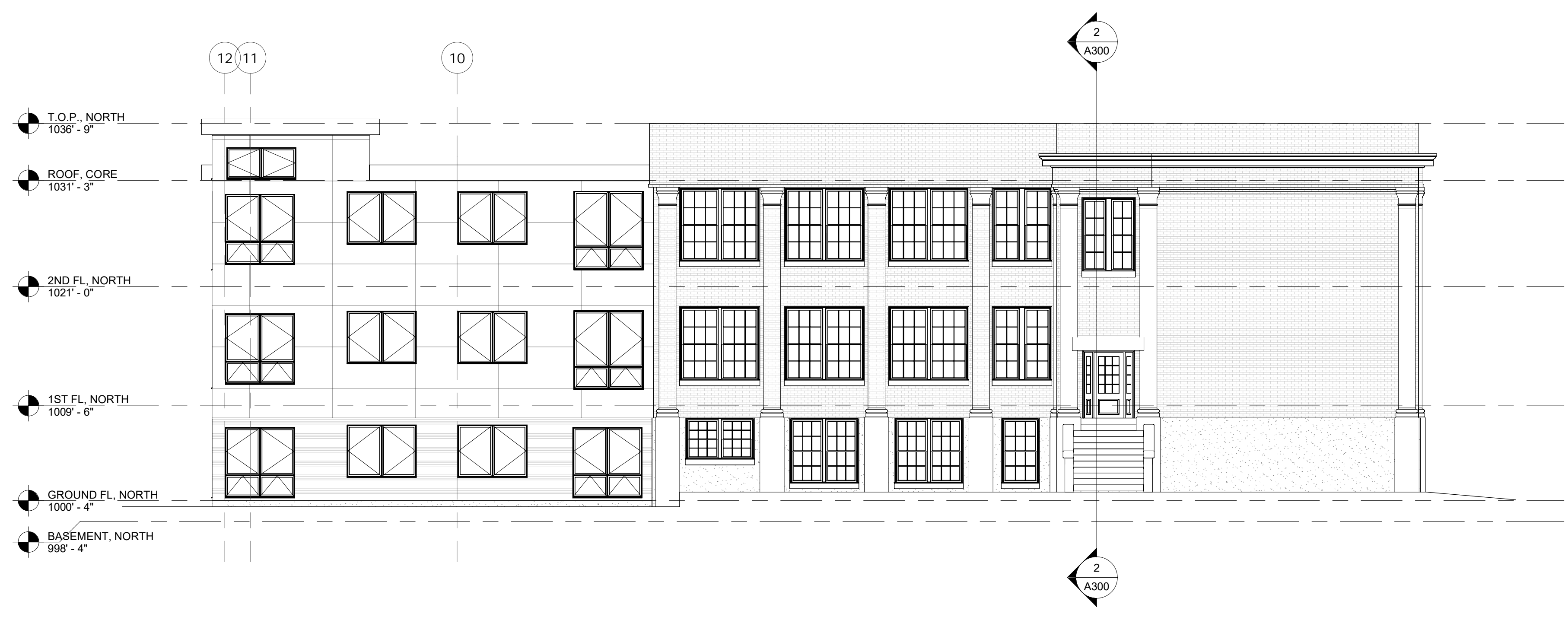
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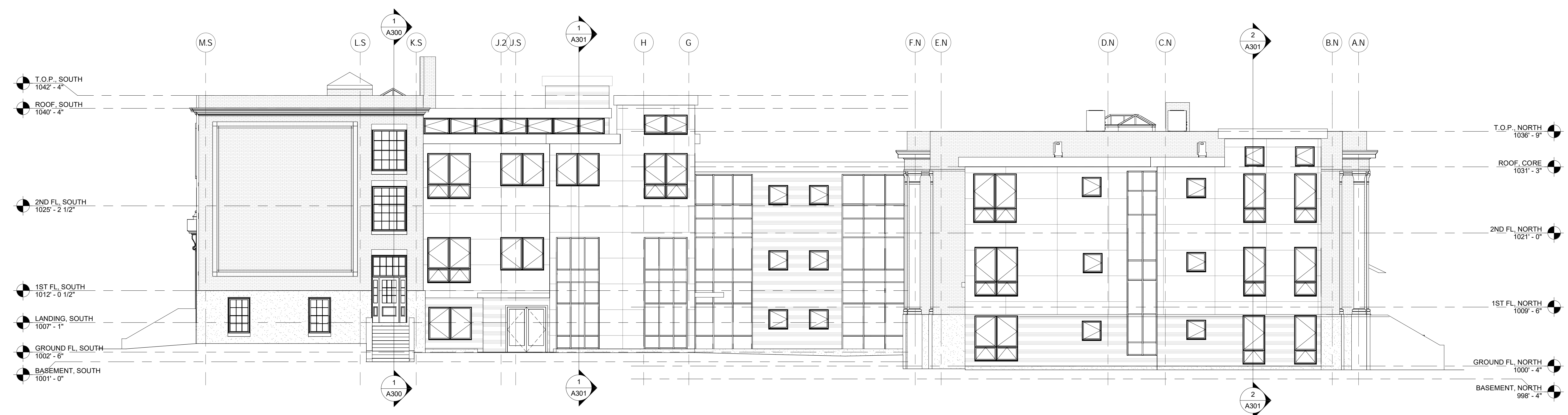
D

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1 NORTH ELEVATION
1/8" = 1'-0"



2 EAST ELEVATION
1/8" = 1'-0"

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JONES WHITSETT
ARCHITECTS

308 Main Street
 Greenfield, MA 01301
 T. 413.773.5551
 F. 413.773.5551
 office@joneswhitsett.com
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BUILDING ELEVATIONS

MONTACHUSETT VETERANS' OUTREACH
CENTER
MURDOCK AVE & OAK ST
WINCHENDON, MA

Proj. Number:	1920
Date:	4/1/2021
Scale:	1/8" = 1'-0"
Drawn By:	Author
Revisions:	

NOT FOR
CONSTRUCTION

A201

1 2 3 4 5 6 7 8

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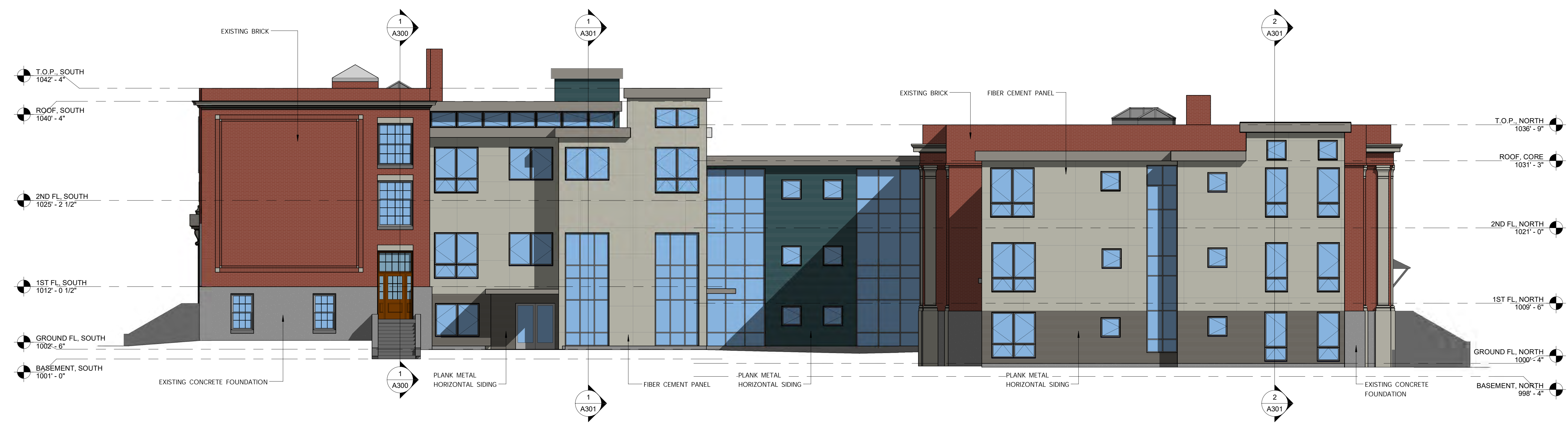
D

E

F



1 PROPOSED NORTH ELEVATION - RENDERED
1/8" = 1'-0"



2 PROPOSED EAST ELEVATION - RENDERED
1/8" = 1'-0"

- GENERAL NOTES**
1. Plaster to remain.
 2. Cast site to be inspected and reinstall.
 3. Existing steel lintels to be inspected and cleaned.
 4. Refer to Structural Report and Masonry Restoration Specifications.
 5. Existing exterior unit masonry to be repaired.
 6. Exterior stairs to remain and be enlarged from below to meet new grade.
 7. Exterior stair rails are not shown in massing and elevations. Most are to be replaced with code compliant variations.
 8. Exterior vents to be removed, infilled and comparable panel to be reinstated at same location to maintain appearance.
 9. Existing, unoriginal aluminum door frames to be replaced with new.
 10. Existing Streater West Elevation exterior door to remain.
 11. New exterior doors at existing buildings to be replaced with insulated, paneled doors and sillsides.
 12. Existing wood canopy on north and south elevations to be rebuilt in-kind.
 13. Existing lower level openings at Streater to be expanded to meet egress requirements.
 14. Existing historic windows to be replaced per window specifications and in keeping with Dept. of Interior Standards.
 15. Existing Streater chimney to be rebuilt from re-used brick units.
 16. Existing Poland rooftop chases to be reviewed for retention.
 17. Skylights to be added to existing roof tops.
 18. Existing rear subgrade storage area in Streater to be demolished and removed.
 19. Existing north, basement level boiler room in Poland to be demolished and removed.
 20. Cladding for new construction to consist of fiber cement panel and plank metal horizontal siding.
 21. Grading lines shown for illustration purposes. See Site Plan for grading details.
 22. Placed floor levels in Streater and Poland indicated on Building Section Sheets A300 and A301.

JWA
JONES WHITSETT
ARCHITECTS

308 Main Street
Greenfield, MA 01301

T. 413.773.5551
F. 413.773.5551

office@joneswhitsett.com

Consultants:

PLACETAIR
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PROPOSED ELEVATIONS - RENDERED

MONTACHUSETT VETERANS' OUTREACH
CENTER
MURDOCK AVE & OAK ST
WINCHENDON, MA

Proj Number:	1920
Date:	4/1/2021
Scale:	As indicated
Drawn By:	Author
Revisions:	

NOT FOR
CONSTRUCTION

A201R

1 2 3 4 5 6 7 8

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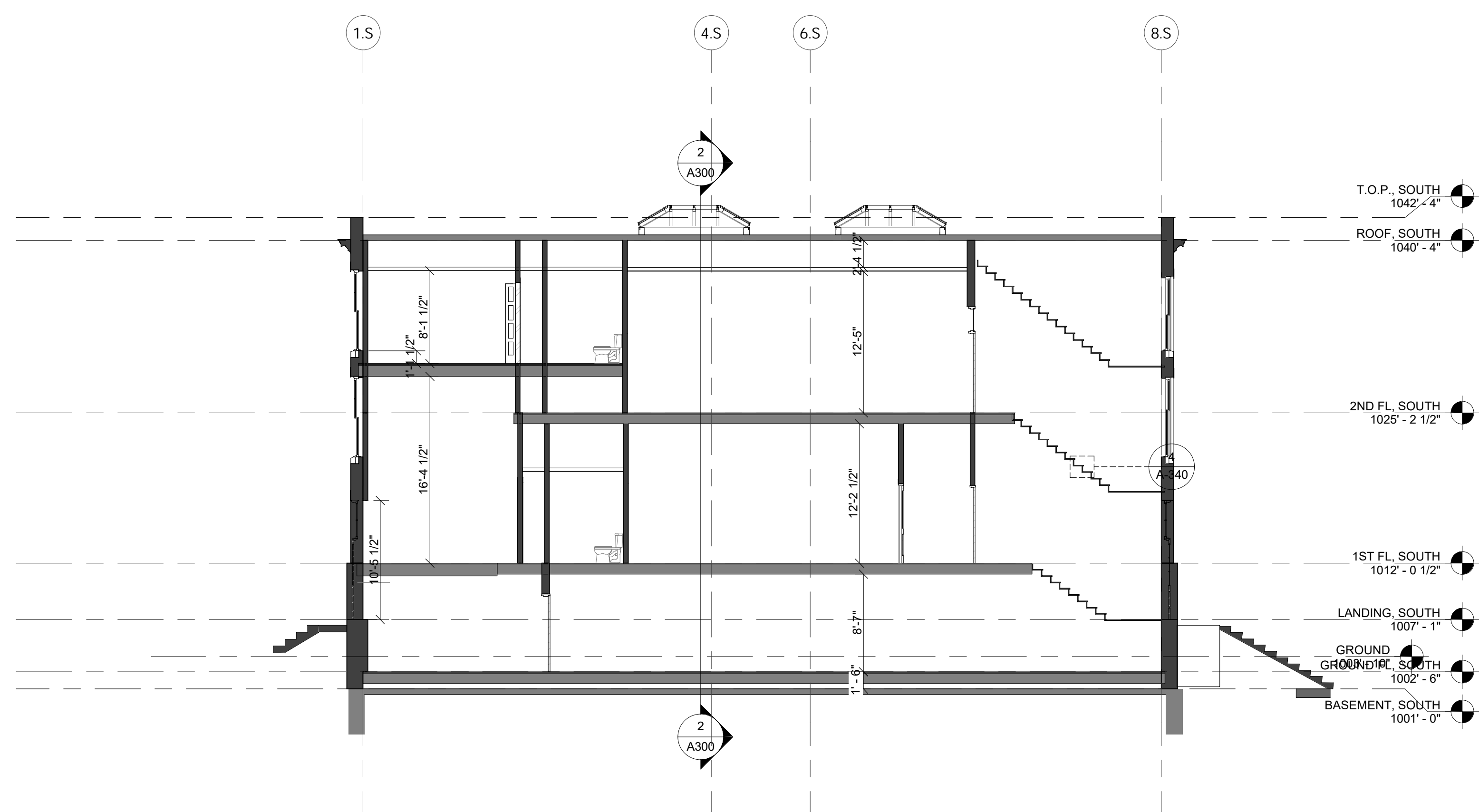
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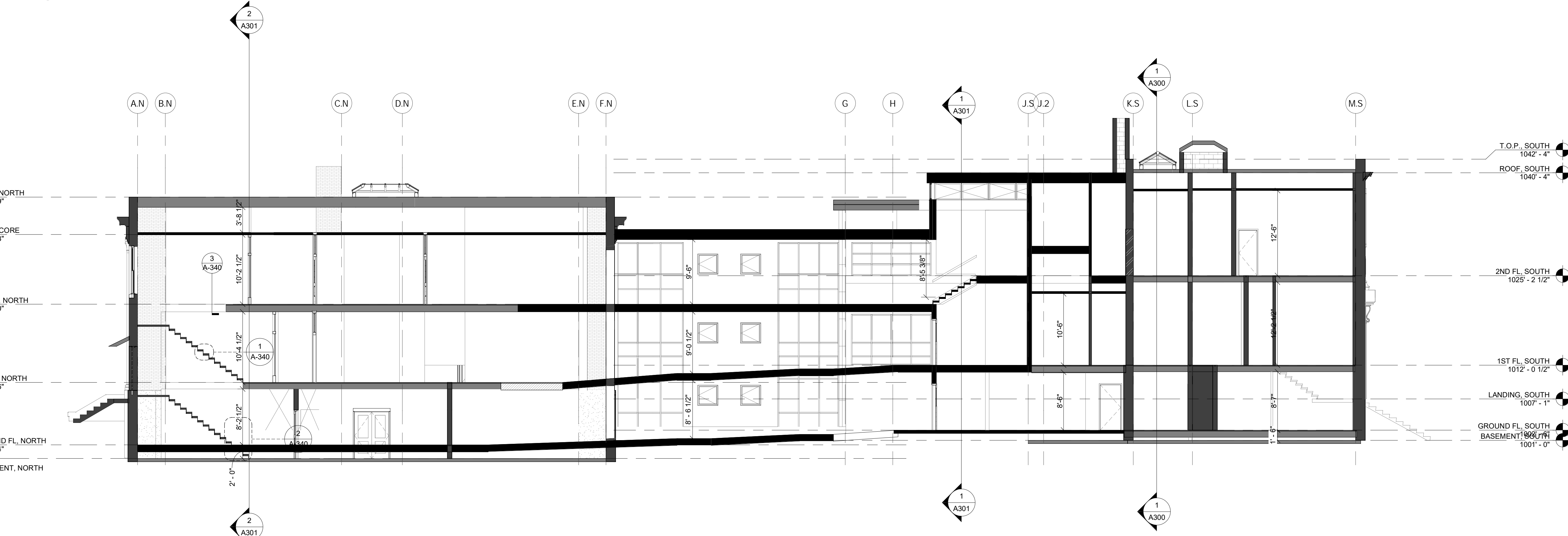
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E

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1 E/W THROUGH POLAND
1/8" = 1'-0"



2 N/W SECTION THROUGH PROPOSED RAMP & CONNECTOR
1/8" = 1'-0"

JWA
JONES WHITSETT
ARCHITECTS

308 Main Street
Greenfield, MA 01301
T. 413.773.5551
F. 413.773.5551
office@joneswhitsett.com
Consultants:
PLACETAIR
elton+hampton

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PROPOSED BUILDING SECTIONS

MONTACUSETT VETERANS' OUTREACH
CENTER
MURDOCK AVE & OAK ST
WINCHENDON, MA

Proj. Number: 1920
Date: 4/1/2021
Scale: 1/8" = 1'-0"
Drawn By: Author
Revisions:

NOT FOR
CONSTRUCTION

A300

1 2 3 4 5 6 7 8

A

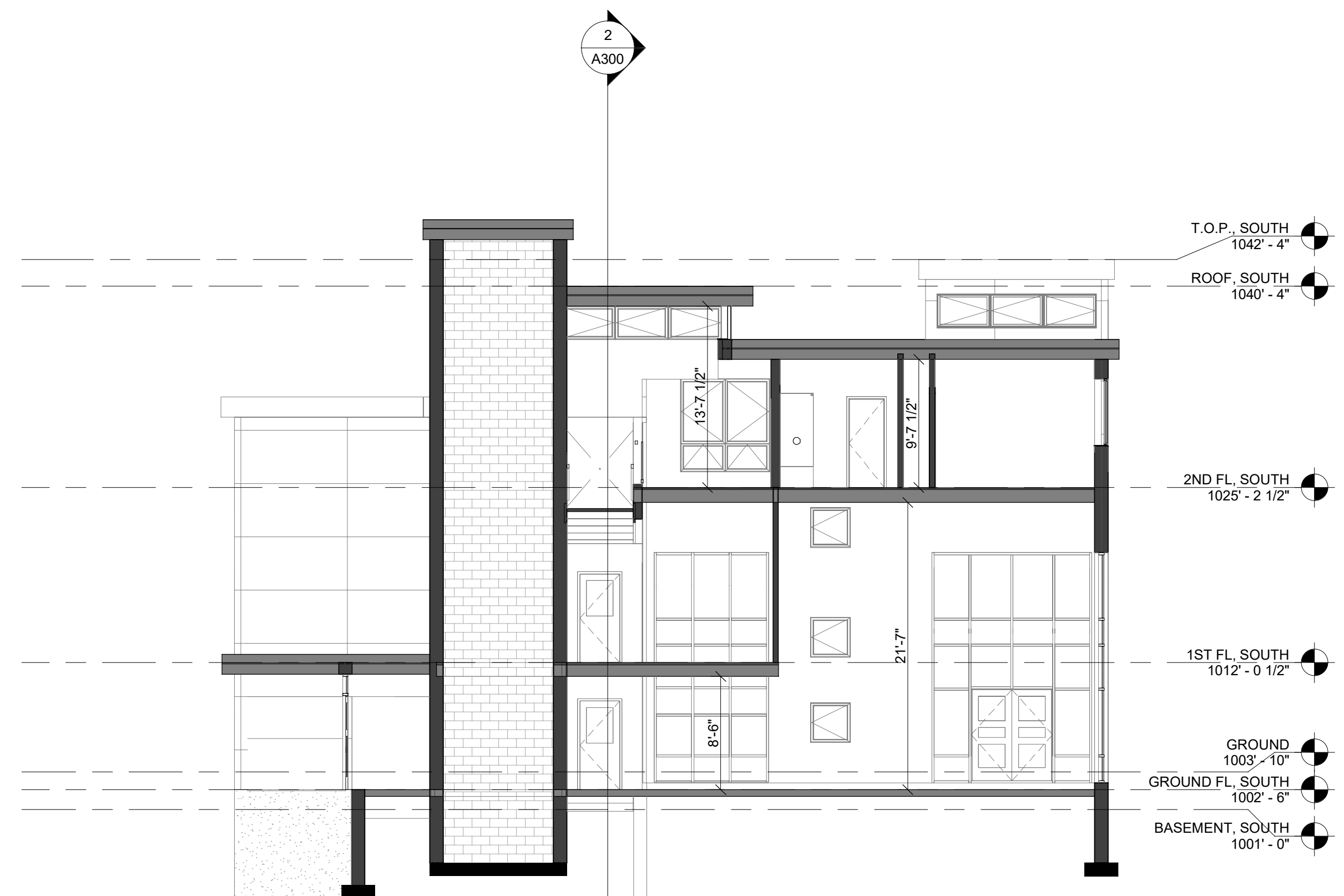
B

C

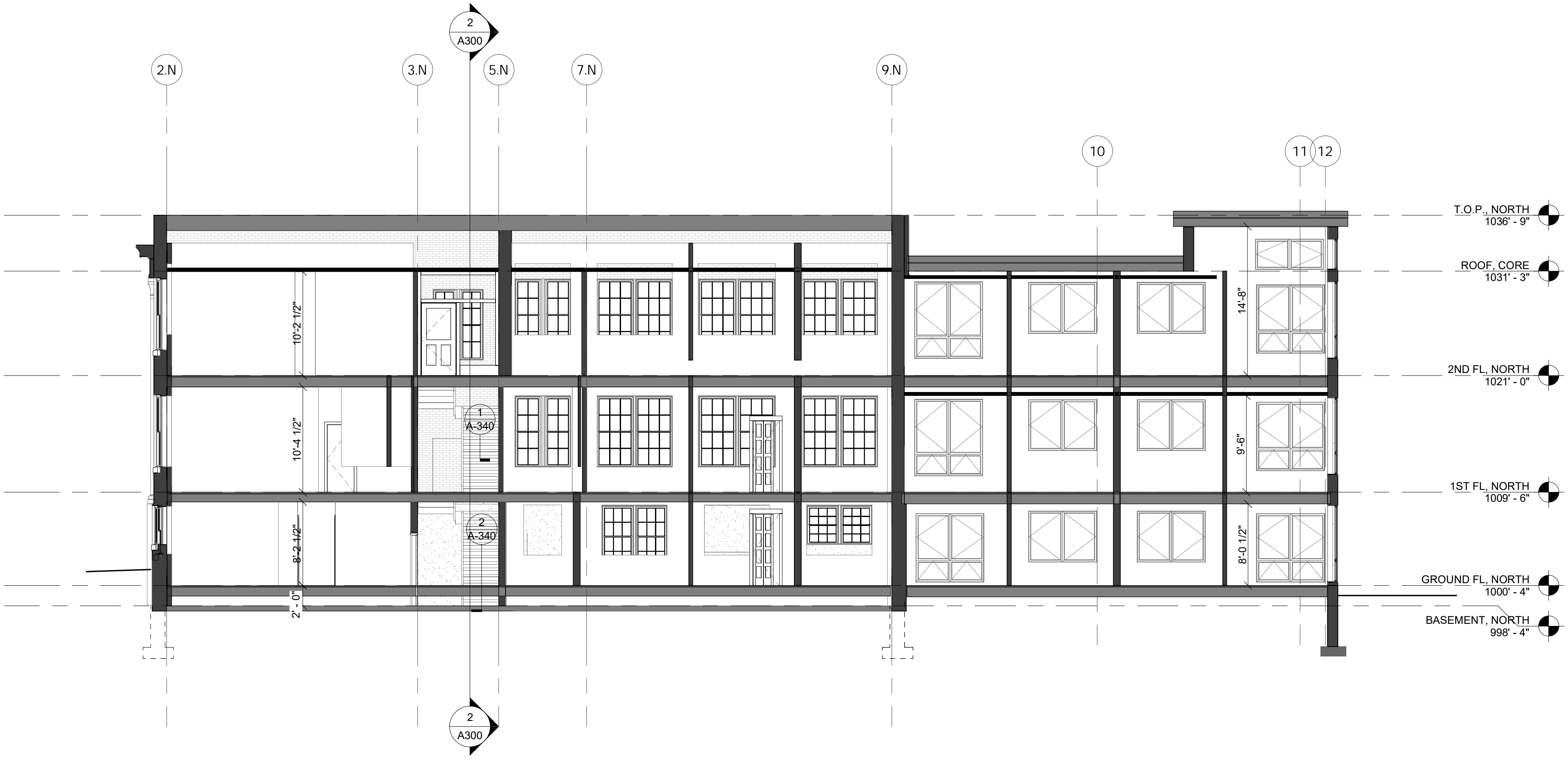
D

E

F



1 E/W SECTION THROUGH ELEVATOR
1/8" = 1'-0"



2 E/W SECTION THROUGH STREETER ADDITION
1/8" = 1'-0"

JWA
JONES WHITSETT
ARCHITECTS

308 Main Street
Greenfield, MA 01301

T. 413.773.5551
F. 413.773.5551

office@joneswhitsett.com

Consultants:
PLACETAILED
elton+hampton

Berkshire
Design
Group

PROPOSED BUILDING SECTIONS

MONTACUSETT VETERANS' OUTREACH
CENTER
MURDOCK AVE & OAK ST
WINCHENDON, MA

Proj. Number:	1920
Date:	4/1/2021
Scale:	1/8" = 1'-0"
Drawn By:	Author
Revisions:	

NOT FOR
CONSTRUCTION

A301



1 VIEW FROM NORTHWEST
NTS



2 VIEW FROM SOUTHEAST
NTS

JWA
JONES WHITSETT
ARCHITECTS

308 Main Street
 Greenfield, MA 01301
 T. 413.773.5551
 F. 413.773.5551
 office@joneswhitsett.com
 Consultants:

PLACETAILED
 elton+hampton

Berkshire
 Design
 Group

PROPOSED MASSING VIEWS

MONTACHUSETT VETERANS' OUTREACH
 CENTER
 MURDOCK AVE & OAK ST
 WINCHENDON, MA

Proj. Number: 1920
 Date: 4/1/2021
 Scale:
 Drawn By: JD
 Revisions:

NOT FOR
 CONSTRUCTION

A310